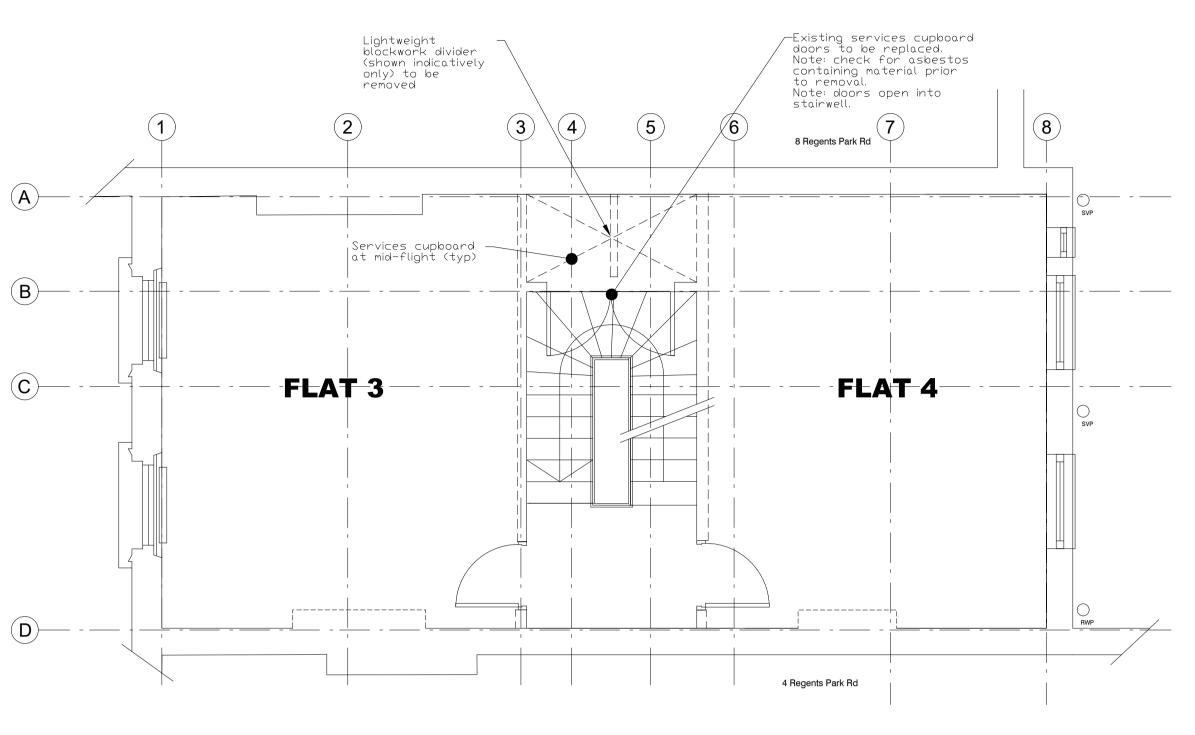
The contractor must check and confirm dimensions.
 All discrepancies are to be reported to and resolved by the engineer before works are commenced.

3. Drawings are not to be scaled.

NOTES.

- All work and materials are to be in accordance with the building regulations and to comply with all relevant codes of practice and British Standards.
  - All drawings are to be read in conjunction with the notes on this drawing.
  - 6. Thermal insulation to be provided to give: 6.1. U-value to flat roofs of 0.18 w/m² k.
  - All structural timber to be pressure preservative treated. All cut ends to be site treated.
  - All electrical works to be designed and installed by a competent person, being a member of an approved self-certification



## EXISTING STAIR PLAN (showing flight from 1st to 2nd)

4 Regents Park Rd

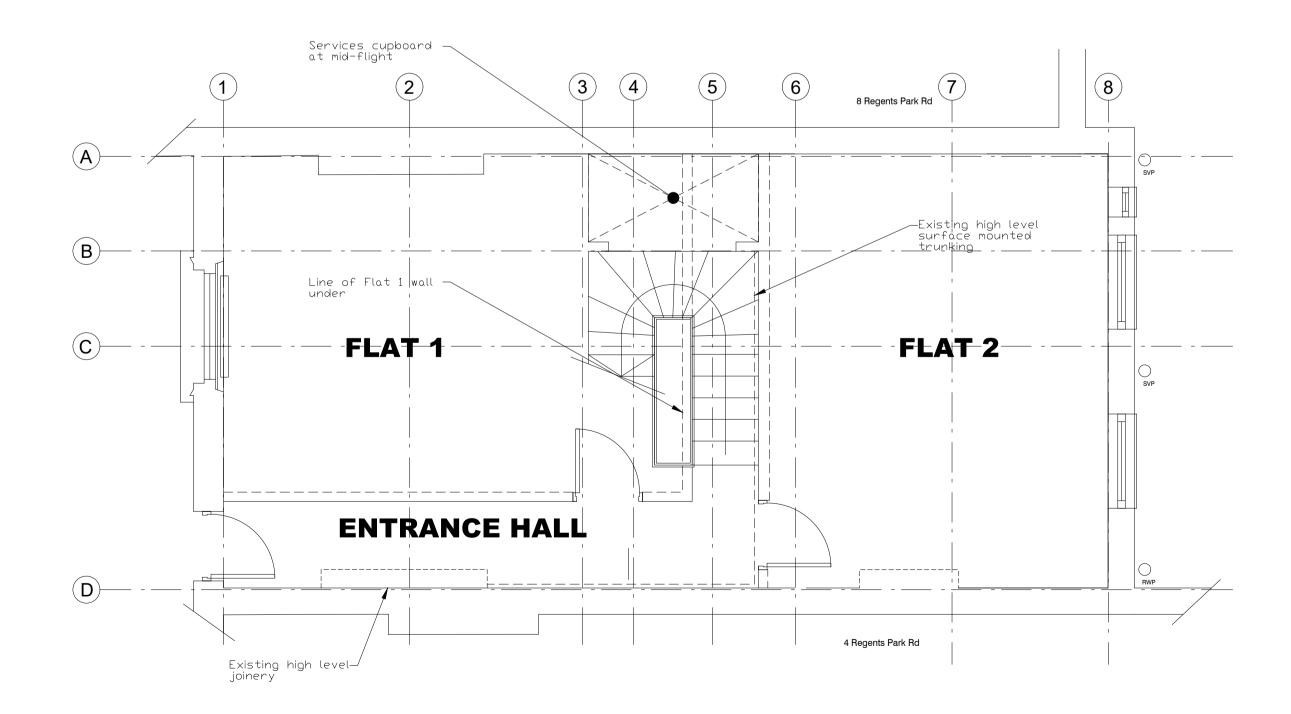
Existing services cupboard doors to be replaced.
Note: check for asbestos containing material prior to removal.
Note: doors open into

FLAT 6

—Line of Flat 6 wall over

8 Regents Park Rd

EXISTING STAIR PLAN
(showing flight from Ground to 1st)



Lightweight blockwork divider (shown indicatively only) to be removed

Services cupboard at mid-flight (typ)

FLAT 5

Extent of existing roof access hatch over

Extent of existing — rooflight over

**(5)** 

**GROUND FLOOR PLAN** 

B 07/04/21 Issued for Tender RER
A 16/10/20 Issued for Comment RER
No. Date REVISIONS BY

6 REGENTS PARK RD London NW1 7TX

## PART

EXISTING STAIR / COMMON PARTS PLAN

## Richard F. Gill & Associates Consulting Structural Engineers 48 Great Western Studios, 65 Alfred Road, London, W2 5EU

Tel: London 7402 9534		Shenfield (01277) 200056				
Scale:	<u>Date</u>		Drawing		B	
1:50	10/2	20	No.			
<u>Drawn</u>	<u>Checked</u>		20133-3			
RFR						