

Gladys Road

Planning Application Design and Access Statement Revision A

1 Gladys Road
West Hampstead
NW6 2PU
June 2021

1. Introduction

- 1.1 This document provides supporting documentation for the full planning application for the creation of a flat roof in order to make a roof terrace to the rear of 1 Gladys Road, West Hampstead, to be read in conjunction with Drawings 2021.06.10 - TS-GRCN - Gladys Road - Planning Drawings - Revision B.
- 1.2 The proposed design is to convert an existing sloped roof to the existing rear extension of the house, to a flat roof with double doors leading out, to make a small roof terrace with metal railings, allowing for more natural light into rear of the house, as well as some much-needed outdoor amenity space to the flat.
- 1.3 The proposal seeks to create a sympathetic roof terrace space that considers the surrounding area and neighboring properties, keeping within the style of other roof terraces in the area, while allowing the flat some much needed outdoor space.

2. Site Context

- 2.1 Gladys Road is situated a short distance from West Hampstead station within the London Borough of Camden.
- 2.2 It is a residential street lined with terraced Victorian brick houses within a cluster of similar parallel residential streets.
- 2.3 1 Gladys Road is located on the west side of Gladys Road and is an end of terrace house, being the first house on the left as you head north. The front façade faces east and the rear faces west, *figure 2.1*.
- 2.4 The house is not listed, does not sit within the flood risk zone and is not within a Conservation Area.



Fig.2.1 Site Location Map

3. Existing Building

- 3.1 1 Gladys Road is an end of terrace Victorian residential house conversion, built around 1890, consisting of two flats. Flat 1 is a two bedroom duplex flat situated on the first and second floor of the house, with its own private entrance on the ground floor. Flat 1A is on the ground and lower ground floor with a private entrance on the lower ground floor and has sole use of the rear garden. To the north is 3 Gladys Road and to the south is the gardens of 20 and 22 Hemstal Road, *figure 3.1*.



Fig.3.1 Satellite Location Map

- 3.2 The owner of Flat 1 Gladys Road owns the entire freehold of the house, with Flat 1A being a leaseholder.
- 3.3 The building is a solid brick house, with solid load bearing masonry construction with an existing small rear extension from lower ground to first floor.
- 3.4 The street elevation is in harmonious character with the surrounding properties incorporating decorative features that are typically built in this era, *figure 3.2*.
- 3.5 The rear elevation is relatively simple and again is in-keeping with the surrounding properties, with minimal decorative features. With a simple existing extension at lower ground, ground, and first floors only, *figure 3.3*
- 3.6 The side south elevation is the end of terrace, therefore is a fully brick and plain façade with no detail or services visible, *figure 3.4*.
- 3.7 The entrance to Flat 1 Gladys Road is a private entrance located on the ground floor of the house. With a large entrance hall and stairs leading up to the first floor. On the first-floor half landing there is a good sized family bathroom and on the first floor there is a large kitchen and open plan living/dining space. On the second floor there are two good sized bedrooms, *figure 3.5*.



Fig. 3.2 Front View



Fig. 3.3 Rear View



Fig. 3.4 Side View

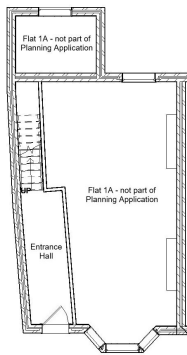
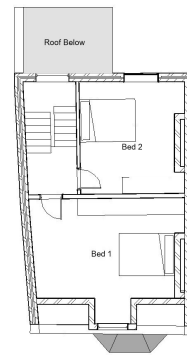
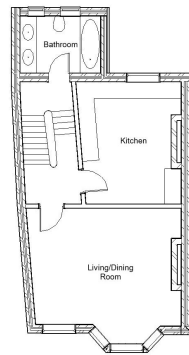


Fig. 3.5 Existing Floor Plans



4. Proposed Design

- 4.1 The proposal for 1 Gladys Road is to remove the existing single sloped roof and rebuild the roof as a flat roof terrace, while keeping the sloped wall to give the impression of a maintained sloped roof, in order to gain a small roof terrace off the second floor half landing, *figure 4.1 & 4.2.*
- 4.2 The existing large window will be replaced with a same width double door with the same lintel height going down to the new roof level, *figure 4.1 & 4.2.*

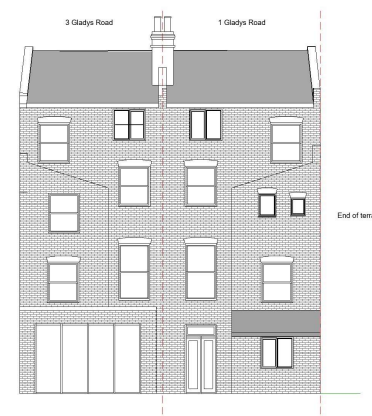


Fig. 4.1 Existing Rear Façade



Fig. 4.2 Proposed Rear Façade

- 4.3 The new roof terrace will create much needed external space and will add approximately 5sqm or external amenity space to the flat.
- 4.4 The proposed design will have minimal impact on the surrounding area, with the existing parapet to the South elevation being maintained, therefore will not be noticeable from Gladys Road, *figure 4.3*. Great care was taken to minimize the impact to neighbouring properties and views from the street, by choosing materials that are in-keeping with surrounding balconies and roof terraces, *figure 4.3 & 4.4*.



Fig. 4.3 Existing street view from Gladys Road



Fig. 4.4 Visualisation of proposed street view from Gladys Road

5 Materials

- 5.1 The materials proposed for the new roof terrace will take inspiration from surrounding materials and will be sympathetic to the surrounding area and Local Policies.
- 5.2 The flat roof will have the minimum fall required for rainfall and will have a levelled composite deck laid on top, in a dark natural wood colour, *figure 5.1*. Composite decking has been chosen as it is low maintenance and does not expand and contract in variable weather conditions and has a long life.
- 5.3 The new double doors leading onto the roof terrace will be wooden, double glazed patio doors, painted white to keep a simple look to match the rear façade, *figure 5.2*.



Fig. 5.1 Example of Composite decking to be used



Fig. 5.2 Example of double doors

- 5.4 The new proposed railings will be metal railings to match existing surrounding roof terrace railings, painted in black.
- 5.5 The bricks that will be taken out to create the flat roof will be re-used to build the wall up again to make it level and will follow the existing Flemish bond.

6 Access

- 6.1 The main access to the flat will not be changed in this proposal.
- 6.2 The access to the proposed roof terrace will be off the second floor half landing, *figure 6.1*.

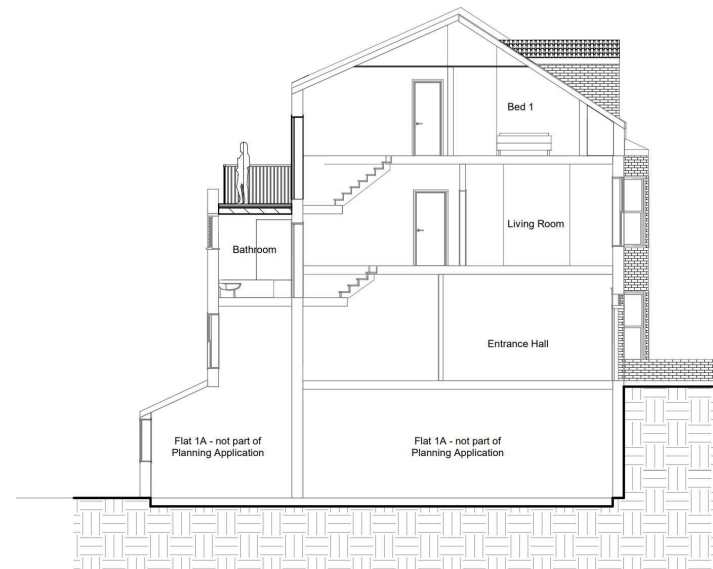


Fig. 6.1 Proposed section showing access from second floor half landing onto roof terrace

7 Privacy & Overlooking

- 7.1 Much thought has been given to the matter of privacy to neighbouring properties and overlooking.
- 7.2 Although creating a new roof terrace at second floor half landing level to the rear of 1 Gladys Road will create an aspect of overlooking, there will be no direct view into any habitable residential spaces.
- 7.3 Due to the layout of streets in this area, all the rear gardens from Gladys Road, Hemstal Road and Kylemore Road look in towards each other. The closest properties are that of 20 and 22 Hemstal Road. The rear of the buildings is approximately 12m and 15m away from the edge of the roof terrace to the nearest points. Opposite at 29 Kylemore Road, the building is approximately 20.5m away from the edge of the roof terrace. The neighbouring property, 3 Gladys Road will not be affected as there are no window on the south elevation and all other windows are at too obscure angle from the roof terrace to see into.
- 7.4 Although no internal spaces can be overlooked, obviously the rear gardens of Gladys Road, Hemstal Road and Kylemore Road all back onto one another. Although by creating the roof terrace there will be a visual into these gardens there is an existing large window in its place that can currently overlook all the gardens.
- 7.5 The creation of the roof terrace will only bring this view forward by approximately 2m, therefore very little additional overlooking will be visible that cannot be seen from the existing second floor half landing window, or from the second floor rear bedroom window.
- 7.6 There are at least six existing roof terraces in the immediate vicinity of 1 Gladys Road, overlooking the surrounding rear gardens.

8. Planning and surrounding Context

Planning History

- 8.1 There has been no historical planning application submitted for 1 Gladys Road.

Local Planning History

- 8.2 The review of Camden Councils planning records has demonstrated that there are several relevant consents of similar proposed works in the surrounding area, *figure 8.1*. Some examples:
- 8.3 Flat C 11 Gladys Road London NW6 2PU. Planning reference: 2011/5012/P. Permission granted January 2012. "Installation of dormer window on rear roofslope, balustrading to create roof terrace on existing rear second floor level flat roof and two rooflights on front roofslope all in connection with existing flat (Class C3)."
- 8.4 23 GLADYS ROAD LONDON NW6 2PU. Planning reference: 2011/5876/P. Permission granted January 2012. "Erection of dormer extension at roof level with two windows and double doors, including use of rear flat roof at second floor level as a terrace with glass and steel balustrade to dwelling house (Class C3)."
- 8.5 21 Gladys Road London NW6 2PU. Planning reference: 2014/0614/P. Permission granted July 2014. "Erection of rear dormer roof extension, associated creation of 2nd floor rear terrace with balustrade and installation of front rooflight."

- 8.6 Not only have there been a number of similar carried out proposals on Gladys Road, but there are also numerous examples within an immediate vicinity of 1 Gladys Road, on both 36-20 Hemstal Road and 29-15 Kylemore Road, *figures 8.2 & 8.3*.
- 8.7 Many of the houses/flats of 36-20 Hemstal Road have roof terraces with black metal railings, however, it seems these are either originals or put in before planning permission was required as no planning applications were found.
- 8.8 Both 29 and 27 Kylemore Road have roof terraces, both directly behind 1 Gladys Road, *figure 8.2* as well as numerous other houses along Kylemore Road.
- 8.9 Flat C 29 Kylemore Road London NW6 2PS. Planning reference: 2013/8266/P. Permission granted March 2014. "Enlargement of rear dormer" with roof terrace.



Fig. 8.1 Example of roof terrace's on Gladys Road



Fig. 8.2 Example of roof terrace's on Kylemore Road (Numbers 29 & 27)

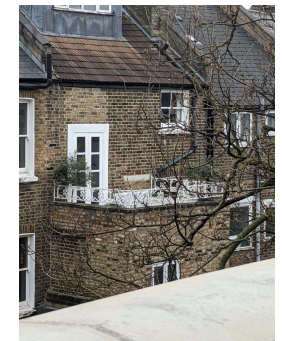


Fig. 8.3 Example of a roof terrace on Hemstal Road

9. Policy Context

9.1 Planning policy considerations have been taken from the following:

- Camden Local Plan; adopted 2017
- Camden Design CPG; adopted January 2021
- Camden Home Improvements CPG; adopted January 2021
- The London Plan; adopted January 2017

9.2 When developing this proposal, the above policies were considered in order to design for the area and according to both The London Plan and Camden's Local Plan.

9.3 Design was considered in order to be in-keeping with the surrounding area and sympathetic to what already exists around.

9.4 The scale of the roof terrace was also considered, to make sure the proposal was not dominant to the existing building or to the surrounds and would blend with the existing building.

10. Summary

10.1 The proposed roof terrace to the rear of 1 Gladys Road provides much needed outdoor amenity space to the flat especially in the current times, with more people working from home. The design endeavors to subtly adapt the existing roof to make it into a usable outdoor space, while blending into the existing building and surroundings by using high quality and sympathetic materials.

Appendix

Architectural Drawings:

2021.03.02 - TS-GRCN - Gladys Road - Site Location Plan

2021.06.10 - TS-GRCN - Gladys Road - Planning Drawings - Revision B

2021.04.15 - TS-GRCN - Gladys Road - Overlooking Block Plan and Site Photos

2021.06.30 - TS-GRCN - Gladys Road - Planning Drawings - Section through Parapet and roof terrace