



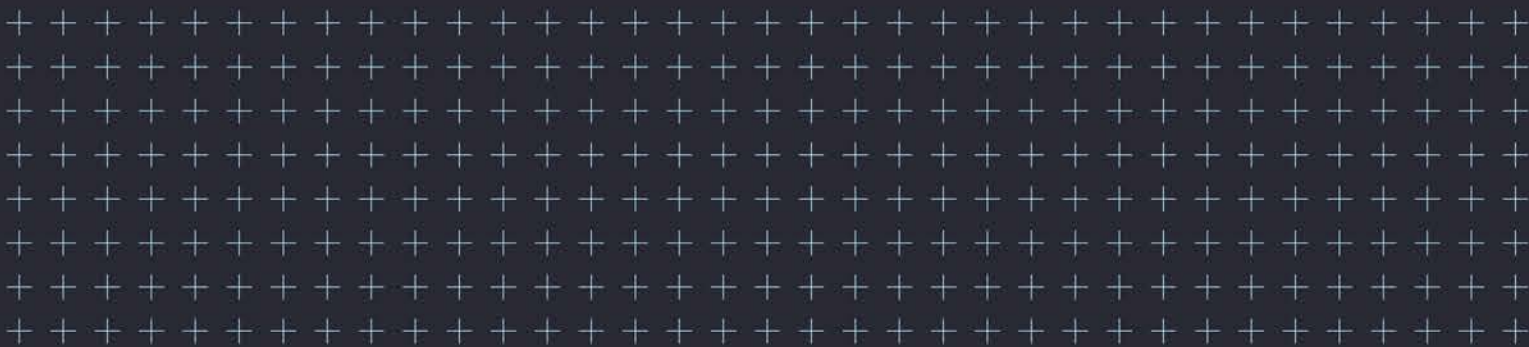
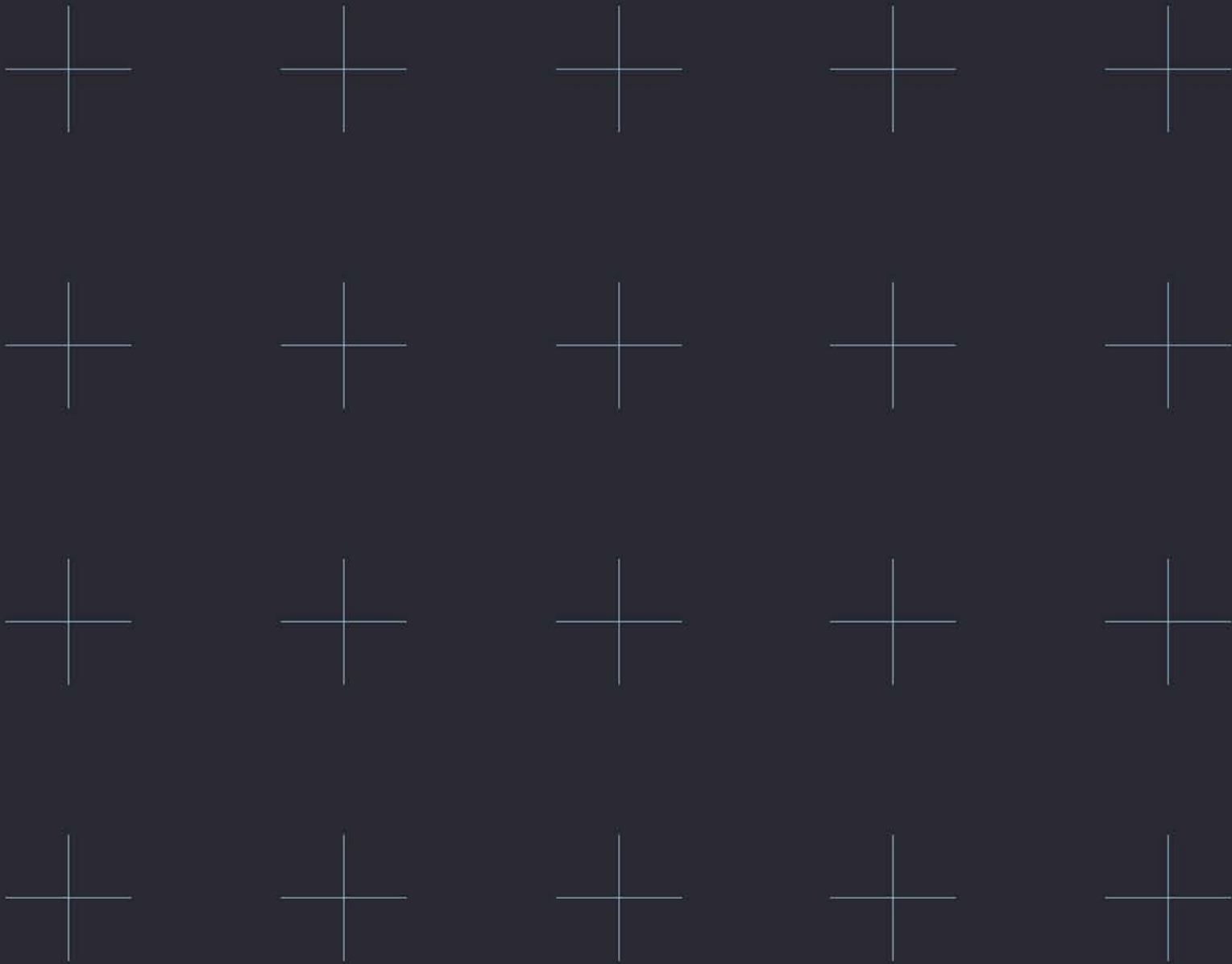
Architects
Designers
Masterplanners

Planning Application Design Statement

**29 PRIORY TERRACE,
CAMDEN**

June 2021
Doc Ref. 749.SD.001A
Revision: A

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**WE ARE A PRACTICE OF ARCHITECTS
AND DESIGNERS WHO ARE PASSIONATE
ABOUT THE LEGACY OF OUR WORK AND
STRIVE TO EXCEED OUR CLIENTS'
EXPECTATIONS**

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1 PROCESS

Proposal Statement

The application is the alteration of existing rear elevation for a proposed rear extension to 29 Priory Terrace.

The proposal, seeks to add 24sq.m to the rear of the property to accommodate the growing family.

The proposed extension for 29 Priory Terrace is a single storey extension which rises to align with the first floor finish floor level for a flush threshold terrace. The proposed extension extends 1.8m higher than the finish terrace level to prevent overlooking to the neighbouring properties with a rendered finish to match the existing rear facade.



Fig.1 Proposed extension and alterations highlighted

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1 PROCESS

Evaluation and setting

The site is located less than half a mile away from Kilburn High Road Station within the Priory Road - Conservation Area in the borough of Camden. The site is surrounded largely by residential properties.

The proposed site occupies a 295sq.m plot within the middle of a long row of terrace semi-detached houses on Priory Terrace. The terrace/semi-detached houses are part of a small row of streets that culminate within the conservation area. At the junction between Abbey Road and Priory Road sites two Grade II listed buildings; St Mary's Church and the St Mary's Hall.

The existing building and neighbouring houses are characterised by C19 suburban development with a largely homogeneous appearance. This is combined of raised front door entries with double width steps presented alongside an arched window in a projecting bay window. There are few villas at the start and end of Priory Terrace which are majority brick with stucco details, the remaining terraces are full stucco. The roof profile is shallow pitch with clay tiles with detailed cornices and extended porches on some properties.

The strong architectural building frontages leads you past the C19 terrace houses, up the shallow hill gradient to Abbey Road. The rear of the property is rendered but symmetrical in form with large bays that continue from lower ground to first floor.

The proposal in this document explains in detail the extent of works and clear rationale driving the planning application.

GUNN's design proposal has considered

- The site's context regarding the local area and the neighbouring buildings.
- The street-scene.
- Massing and heights of other buildings on the junction of Priory Terrace.
- The setting and outlook of the site.

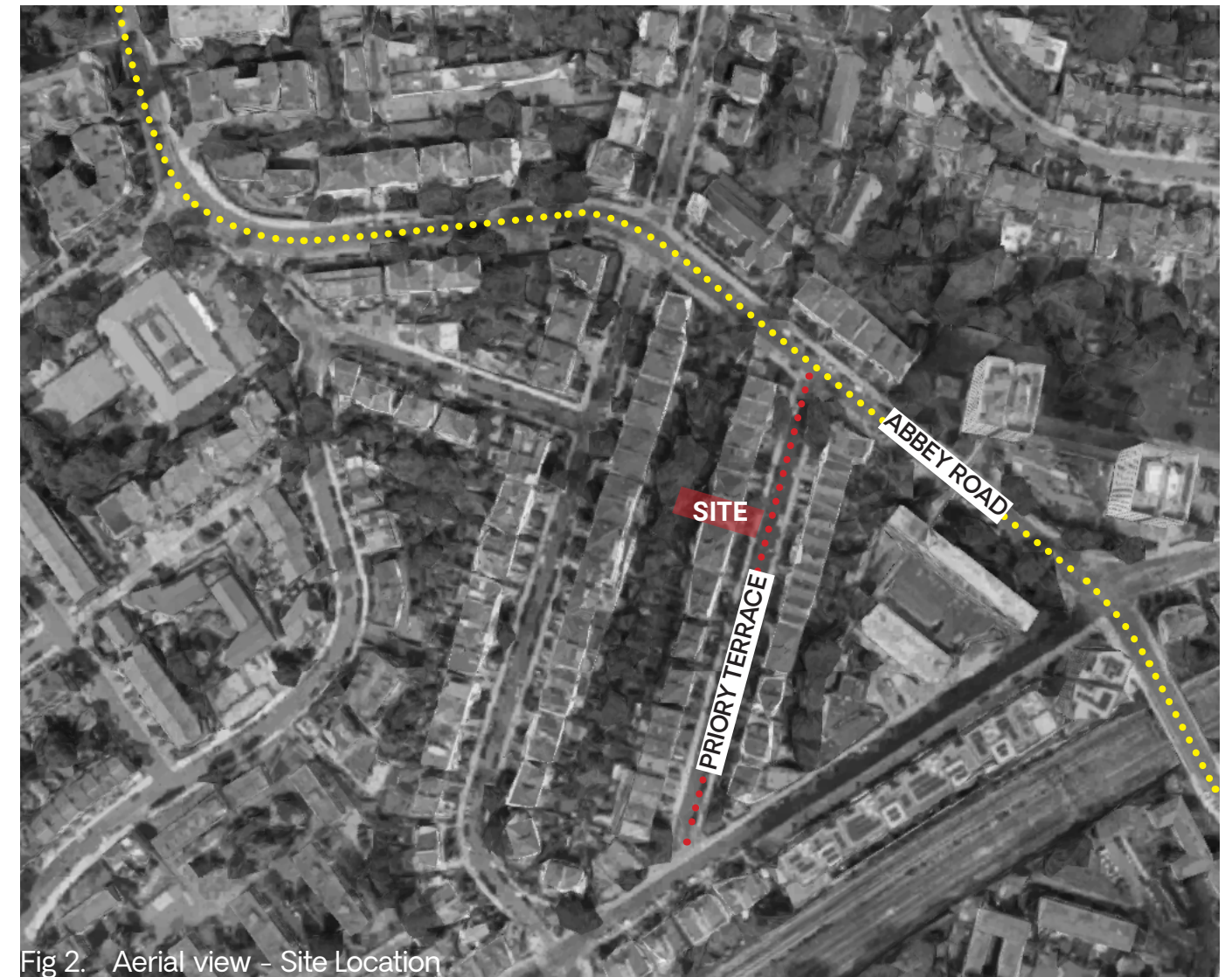


Fig 2. Aerial view – Site Location

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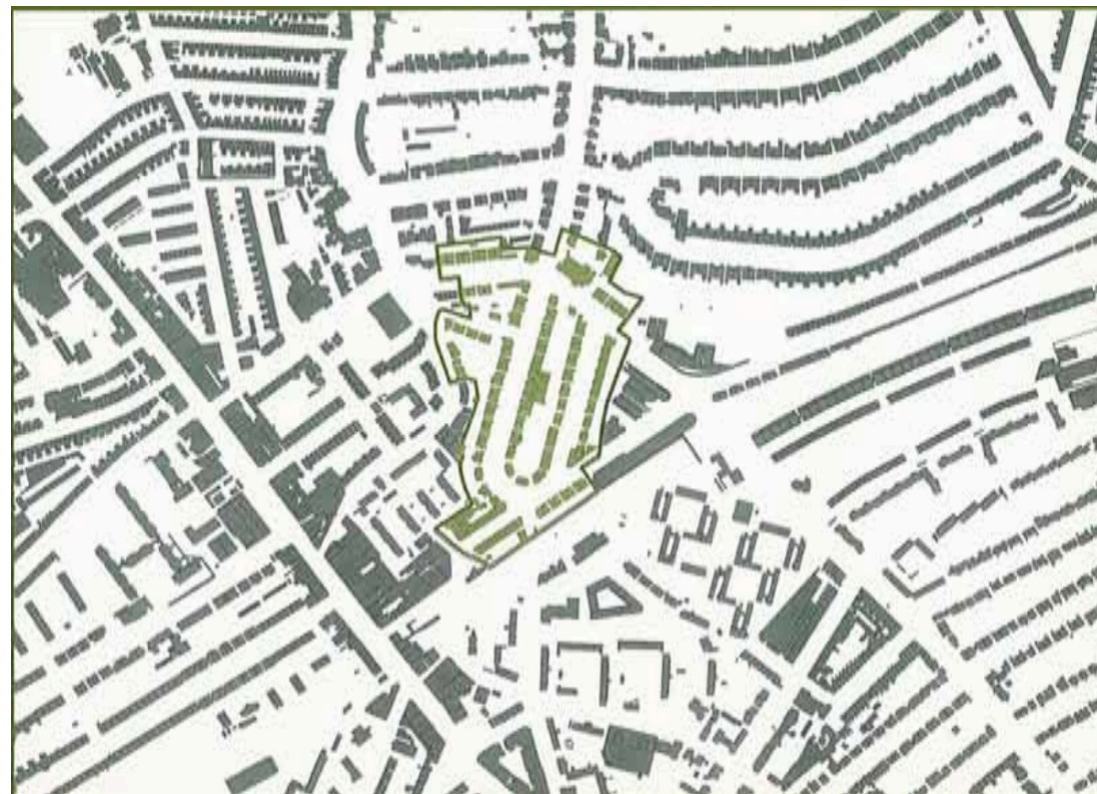


Fig.3 Camden borough extent and location of 29 Priory Terrace within the Priory Road Conservation Area



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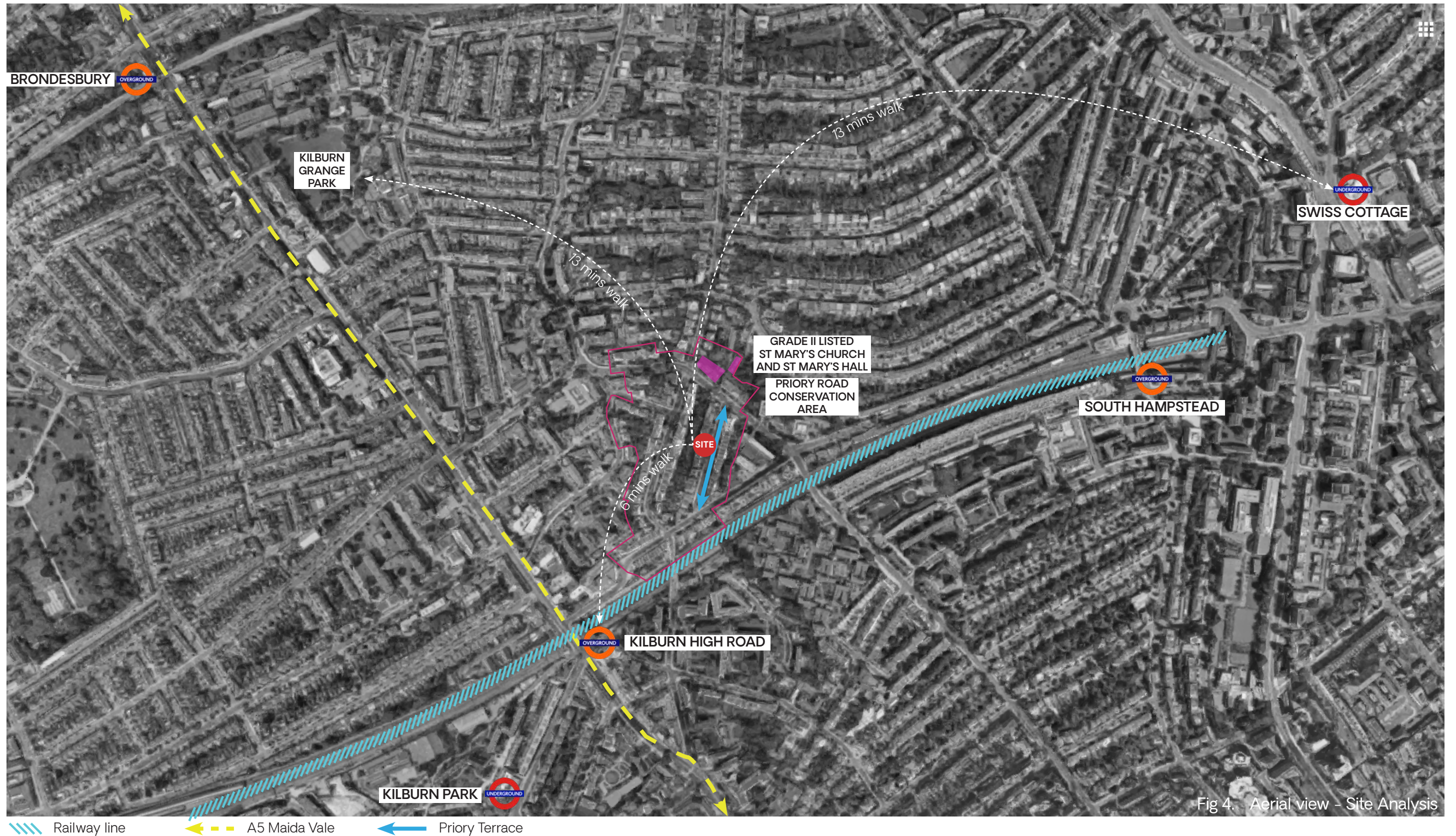


Fig 4. Aerial view - Site Analysis

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2 CONTEXT

Existing building

The existing building is a 4-storey semi detached home built in the C19 with a pitched roof and separate access to the rear of the property.

There have been two significant planning applications along Priory Terrace that replicate the proposed extension to 29 Priory Terrace are; **2012/2848/P** and **2020/4383/P**. The first application was a Householder application and the second was a planning application both granted planning approval. Other application along the street relate to the TPOs and alterations to doors, windows, and the addition of dormers.

These above applications will be covered in more detail in the following pages.



Fig.5 View onto 29 Priory Terrace 01



Fig.6 View onto 29 Priory Terrace 02

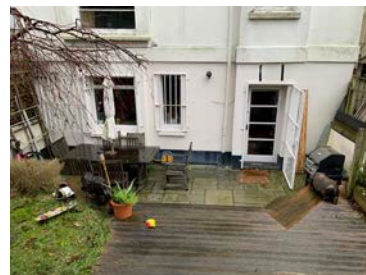


Fig.7 View onto 29 Priory Terrace 03



Fig.8 Site location - Bird's Eye View

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2 CONTEXT

Local Context

The site is located in the middle of Priory Terrace within a 7 minute walk from Maida Vale High Street, the closest local shops and restaurant. This area of Camden is characterised by sloping streets heading towards Hampstead. Almost the entirety of the Priory Road area is residential, featuring detached, semi-detached and terrace houses.

The streetscape is defined by 3-4 storey houses with shallow tiled pitched roofs with brick and/or stucco facades.



Fig.9 Site Location - views



① Fig.10 Site photos views 01



② Fig.11 Site photos views 02



③ Fig.12 Site photos views 03



④ Fig.13 Site photos views 04



⑤ Fig.14 Site photos views 05

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2 CONTEXT

Local materiality

The immediate vicinity is distinguishable through two predominant materials, dark brown multi brick and stucco/rendered typologies. The local area is also characterised by dark clay tile roofs and arched windows and porches. The colour palette mixes between lightly toned stucco and dark-multi brown brick on Priory Terrace.

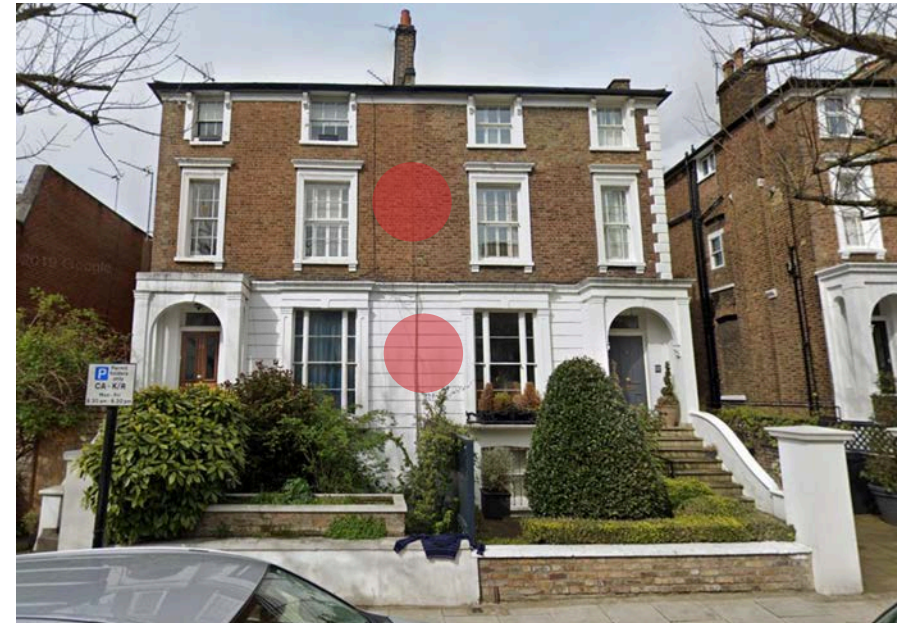


Fig.15 Brick/Stucco detailing

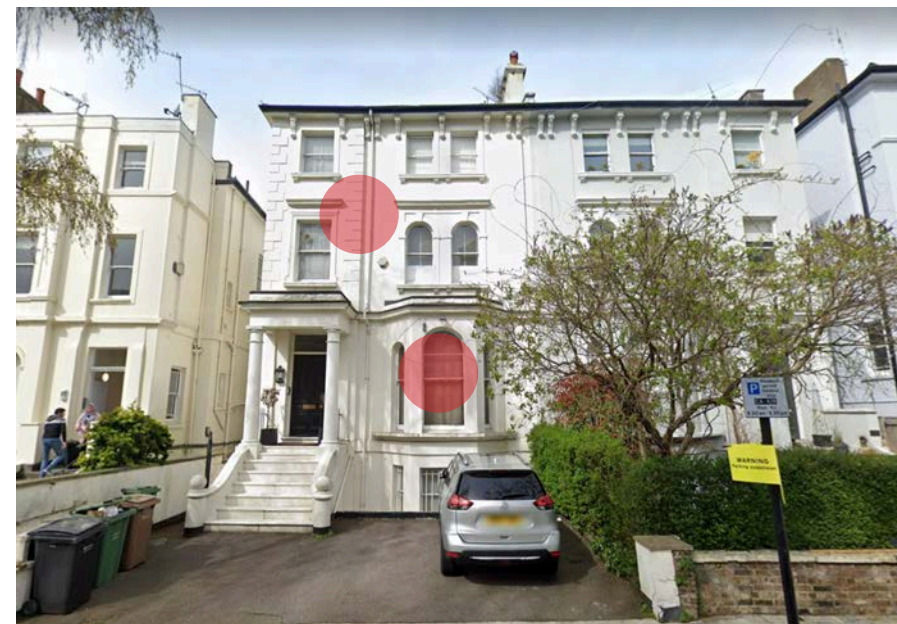


Fig.16 Stucco and glazed detailing

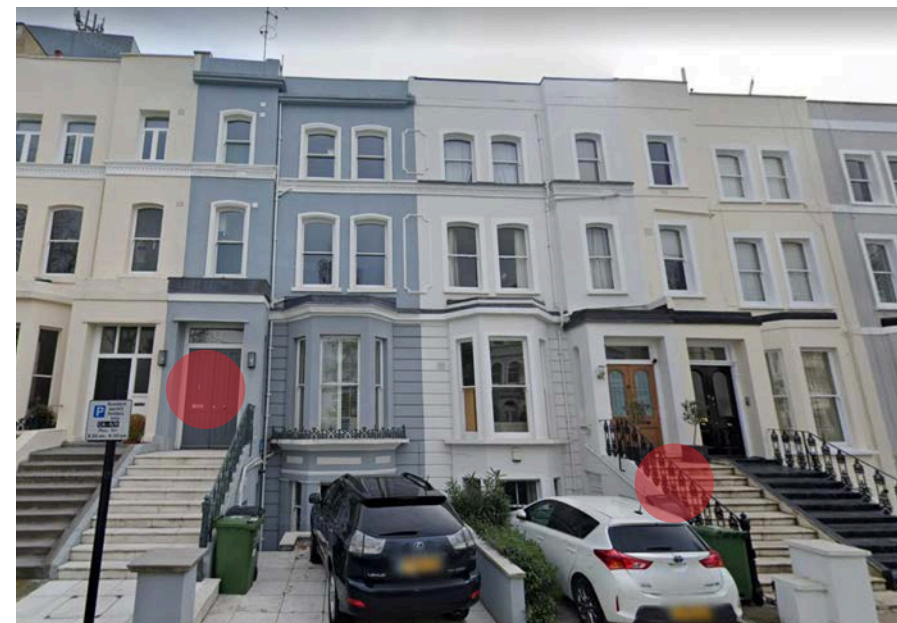


Fig.17 Timber door and iron handrail balustrade detailing

2 CONTEXT

Relevant Local Planning Applications

There has also been a recent application on 29 Priory Terrace; **2021/1277/P**. The certificate of lawfulness was also undertaken by GUNN and was granted approval with minimal comments.

The proposed rear extension has very little differences in comparison to the permitted development scheme below. The approved certificate of lawfulness became the basis for the proposal.

NO. 29 PRIORY TERRACE 2021/1277/P - CERTIFICATE OF LAWFULNESS

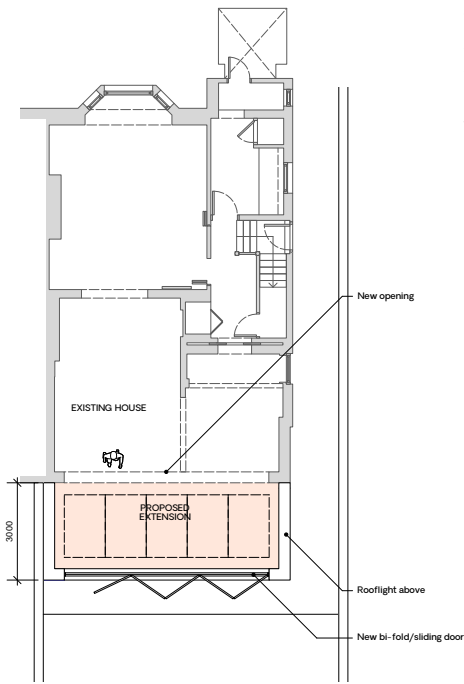
Proposed single storey rear extension.

Status: GRANTED (Submitted: 12th May 2021)



Fig.18 Site context map

Fig.19 Plan of certificate of lawfulness



- CERTIFICATE OF LAWFULNESS NOTES
- 1 No more than 3m extension from the original rear wall of the property.
 - 2 No more than 3m eaves height. As this is a flat-roofed proposal, the eaves are measured from the level of the roof finish).
 - 3 The external rendered wall finish is similar to that of the main building.
 - 4 The proposal takes up less than 50% of the remaining curtilage of the property.

1. Do not scale off this drawing.
2. Any discrepancies to be referred to the Architect.
3. This drawing is to be read in conjunction with all relevant specifications and other drawings issued by the Architect, and other specialists.
4. This drawing is copyright and is not to be reproduced without Gunn Associates permission.
5. IF IN DOUBT, ASK.

Note added:	17.03.2021	DG	B
Wall opening widened.	25.02.2021	DG	A
Revision description	Date	Drawn	Rev

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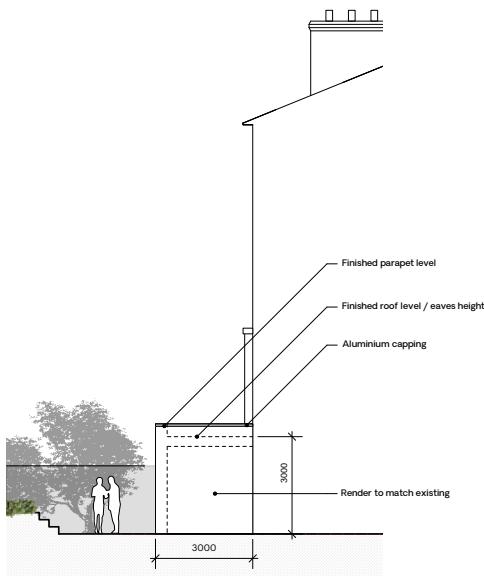
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Client:
Design Your Basement Limited
Project:
29 Priory Terrace, NW6 4DG
Drawing title:
Proposed Lower Ground Plan
Drawing No:
749.PL.001
Revision
B

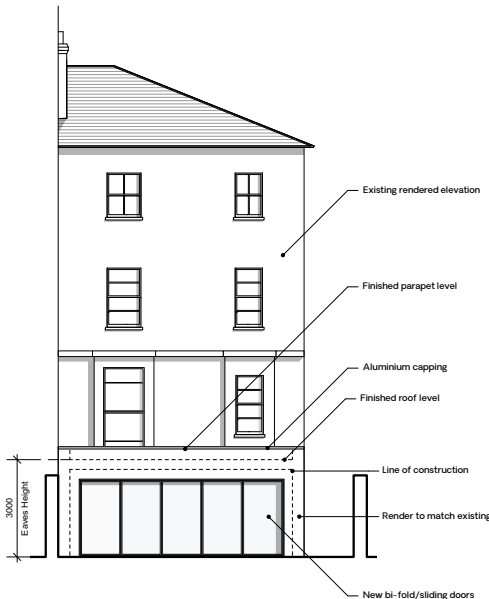
Status:
Lawfulness
Date:
22.02.2021

Drawn by:
LC
Scale:
1:100 @ A3

Fig.20 Elevations of certificate of lawfulness



1 Proposed Side Elevation
Scale: 1:100



2 Proposed Rear Elevation
Scale: 1:100

- CERTIFICATE OF LAWFULNESS NOTES
- 1 No more than 3m extension from the original rear wall of the property.
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Finished roof level noted:	19.04.2021	DG	C
Note added:	17.03.2021	DG	B
Minor amendments:	24.02.2021	DG	A
Revision description	Date	Drawn	Rev

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Client:
Design Your Basement Limited
Project:
29 Priory Terrace, NW6 4DG
Drawing title:
Proposed Rear & Side Elevations
Drawing No:
749.PL.002
Revision
C

Status:
Lawfulness
Date:
22.02.2021

Drawn by:
LC
Scale:
1:100 @ A3

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2 CONTEXT

Relevant Local Planning Applications

NO. 3A PRIORY TERRACE 2012/2848/P - Householder Permission

Replacement of existing rear door and window at lower ground floor level with full width glazed door to dwelling house.

Status: GRANTED (Submitted: 23rd July 2012)



Fig.21 Site context map

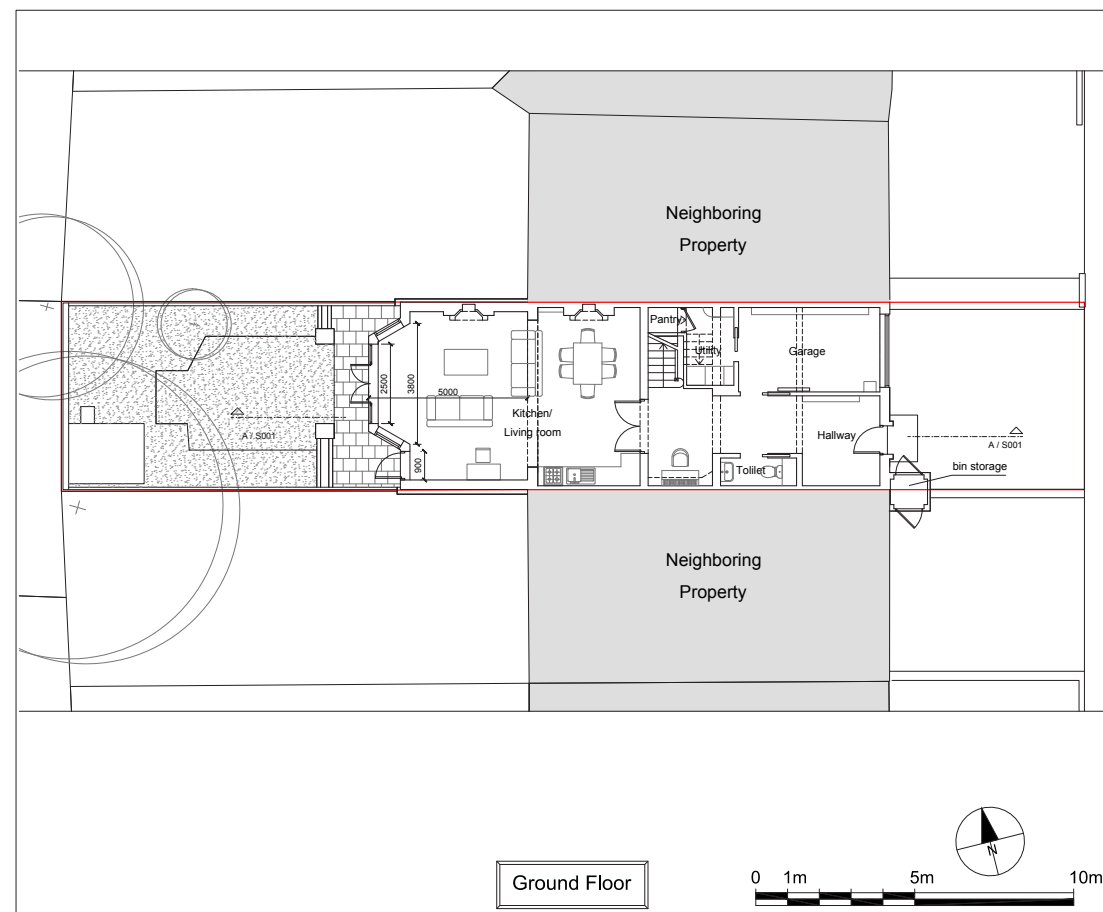


Fig.22 Plan of approval

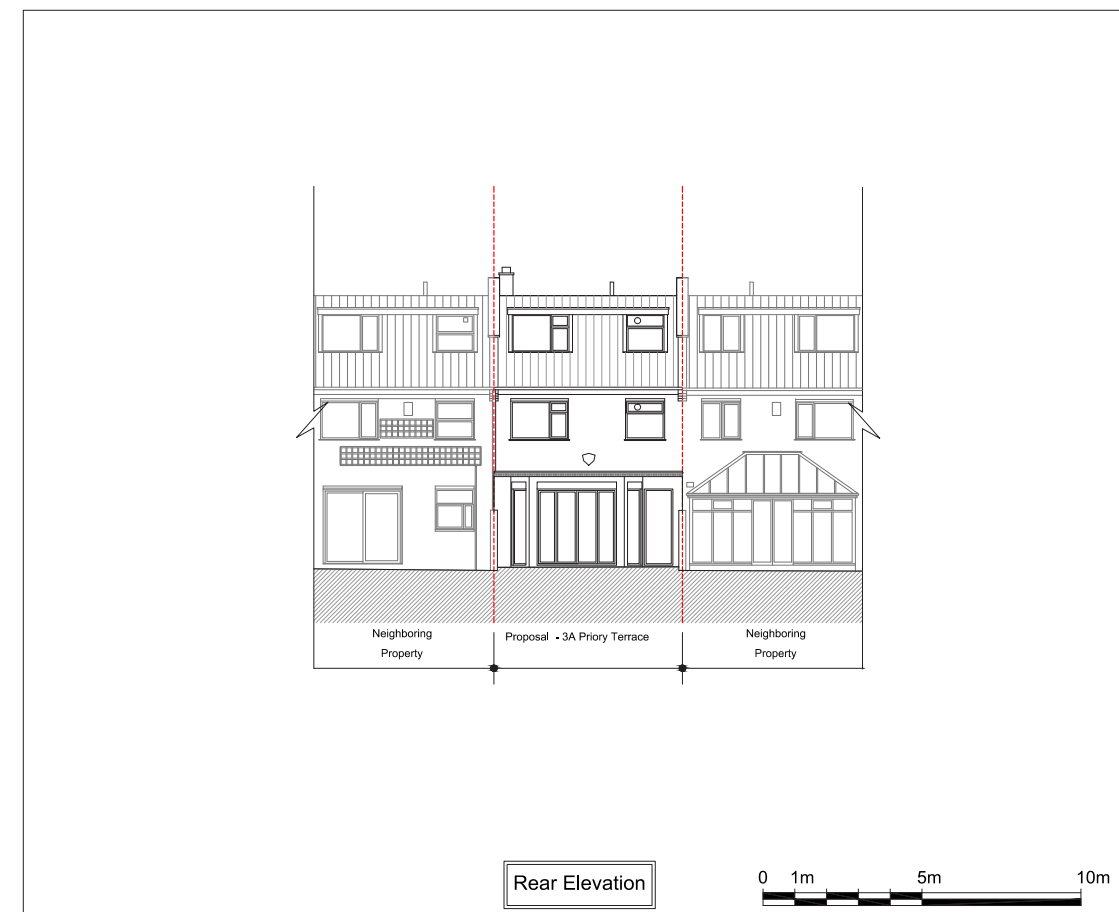


Fig.23 Elevation of approval



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2 CONTEXT

Relevant Local Planning Applications

NO. 6B PRIORY TERRACE 2020/4383/P - Full Planning Permission

Erection of single storey rear extension on first floor level following demolition of existing single storey conservatory to residential flat .

Status: GRANTED (Submitted: 14th January 2021)



Fig.24 Site context map

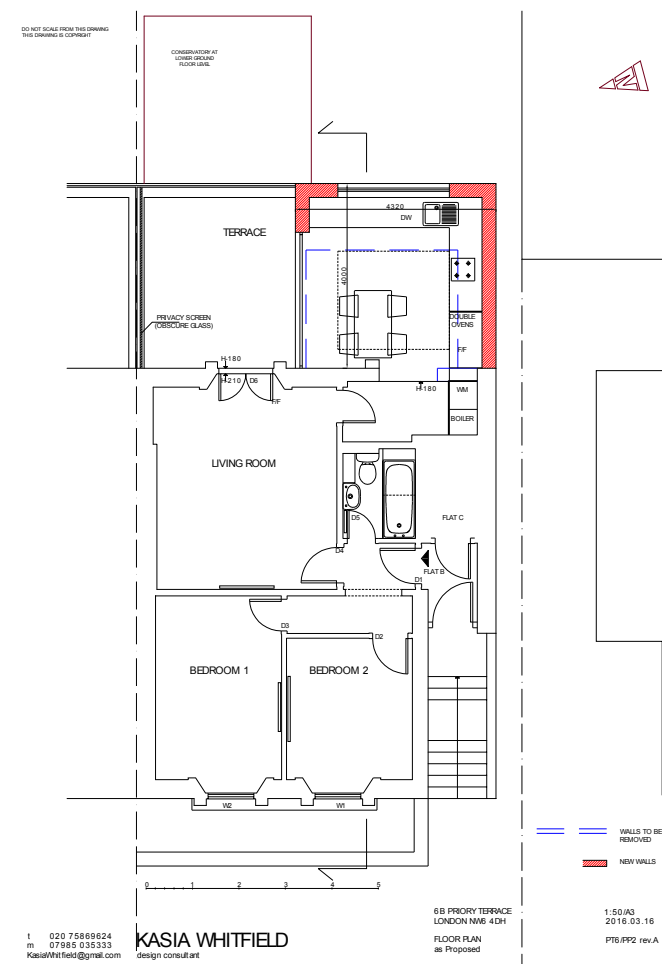


Fig.25 Plan of approval



Fig.26 Elevation/Section of approval

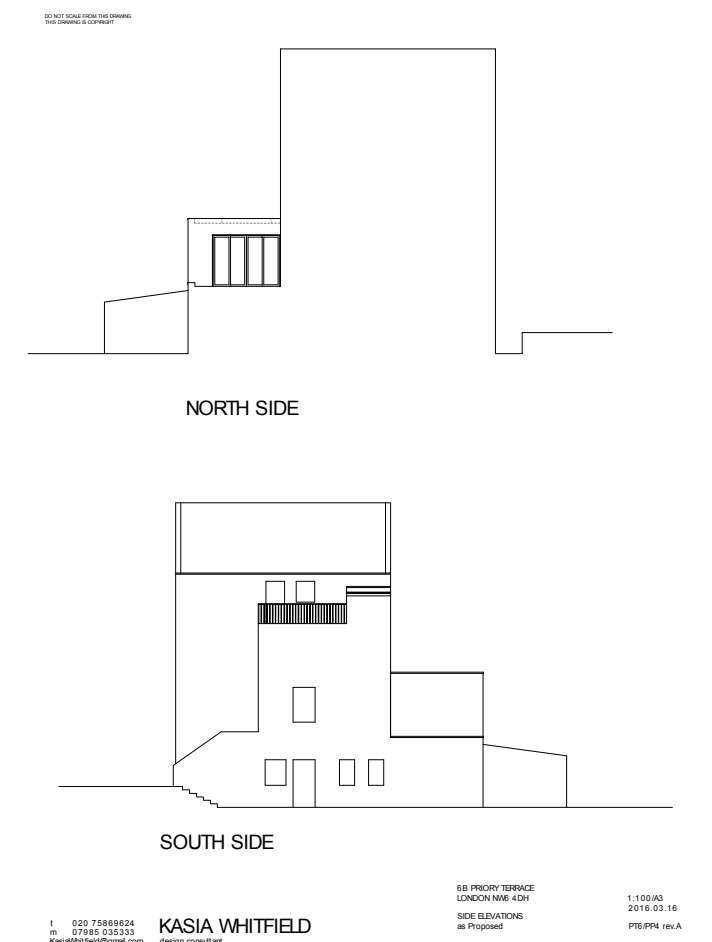


Fig.27 Elevation of approval

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3 ACCESS

Transport Connections

The site has a PTAL score of 6a, the second best rating achievable. The site is a short distance from many overground and underground stations and minutes away from local bus routes. The site is a short distance from Maida Vale High Street.

- Kilburn High Road Station - National Rail, located 6 minutes away.

There are also numerous buses in the area, connecting the site to distant overground and underground stations. The bus stop routes within the vicinity are:

- Belsize Road/Abbey Road- bus route 189, 31, and 139 located 6 minutes away
- Kilburn High Road - bus route 16, 32, 316, 332, 98, and 206 located 8 minutes away

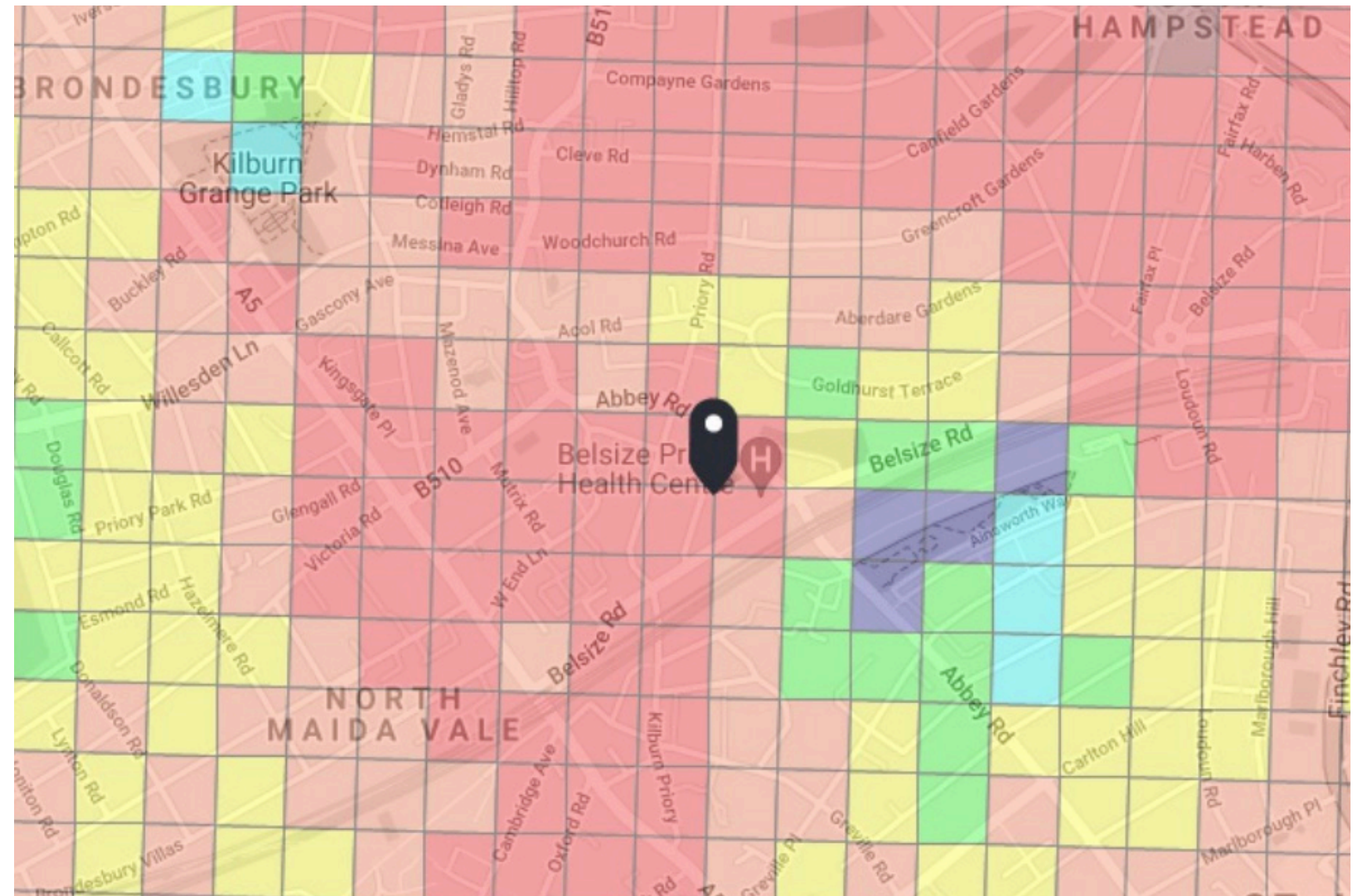


Fig.28 PTAL map of site

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Fig 30. Aerial view - Transport routes

/// Railway line
 ● Site
 ● Bus stops

3 ACCESS

Site Opportunities

The proposal looks to utilise existing dead space in the garden presently. The current rear/side access is squashed in an amphitheater shaped garden which makes the rear elevation feel very claustrophobic. The extension consequently provides breathing room to the garden and rear.

It is envisaged that extending the building line to the rear will enhance the flow of the habitable rooms internally. This internal reconfiguration vastly improved the use of the garden.

The surrounding applications set the tone for the height of the proposal and the levels have been adjusted to work with this accordingly. The proposed rear will have an enhanced decking/patio area introduced a flush threshold to the new proposed side access level. Entry to the front, rear, and side of the property will all remain as existing.

The stucco/rendered proposed extension extends into the terrace tiered garden area. Bench seating will be integrated into the patio steps.

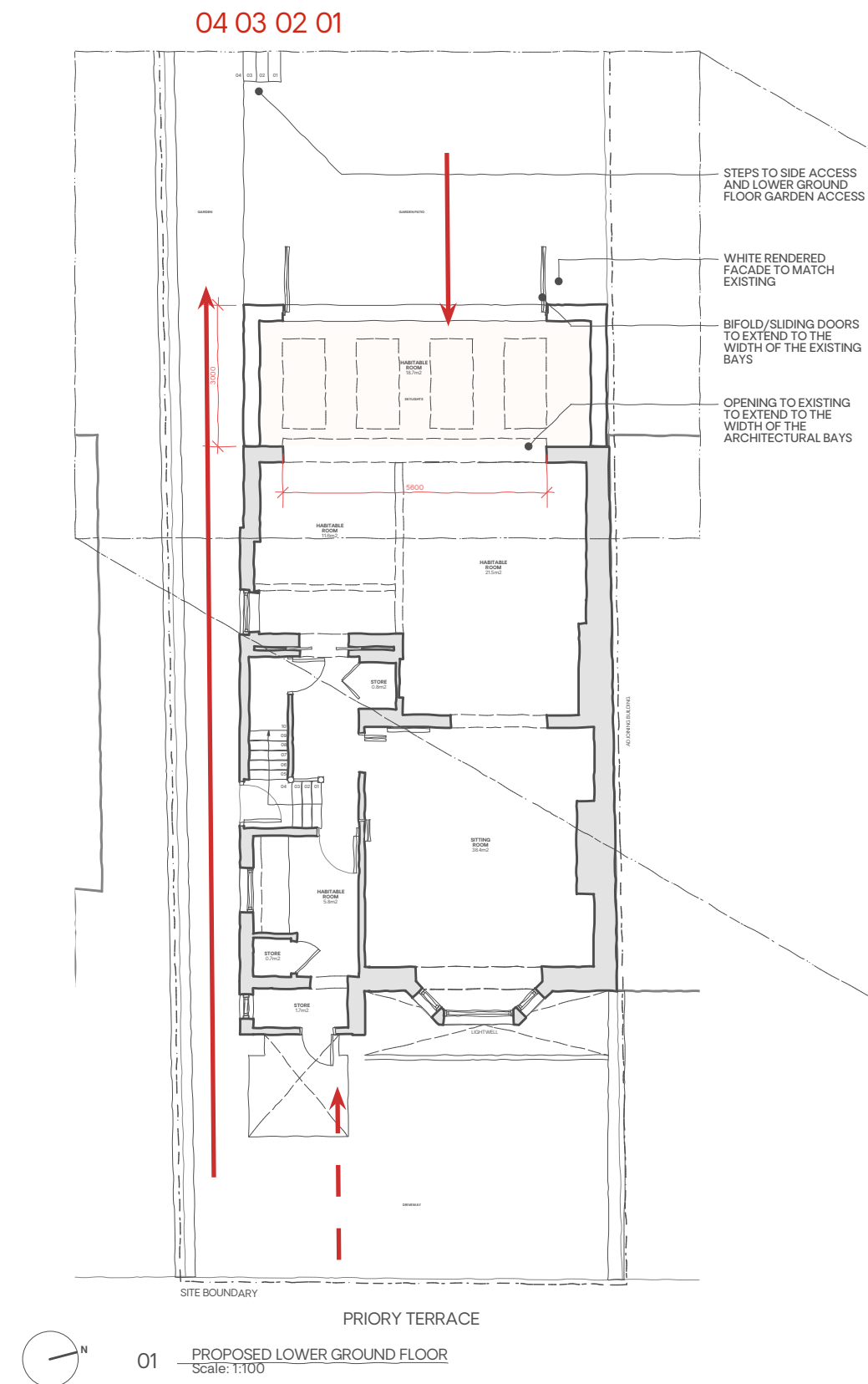


Fig.31 Access diagram of the proposed development

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4 USE

Justification within physical context

The site sits within the Priory Road - Conservation Area within the borough of Camden.

The character of the conservation area remains crucial with the design. The whole frontage and existing detailing will remain as existing, only the unseen rear facade will have works. Extending the lower ground floor to the rear will allow the internal reconfiguration to be amended for the better and will provide further structural stability to the property.

The scale of the development will be harmonious with other single storey extensions in the close proximity. The diagram of the proposal shown to the right identifies how the existing building footprint and chaotic arrangement to the garden. The white rendered portion of the proposal matches the existing, with the black aluminum trim to reconcile the C19 with the contemporary.

Given the above the proposal will have no overlooking or perceived amenity issues to any neighboring properties with the 1.8m high side elevations from terrace level. The proposed single storey development will have little to no impact on the visual amenity.



Fig.32 29 Priory Terrace rear elevation

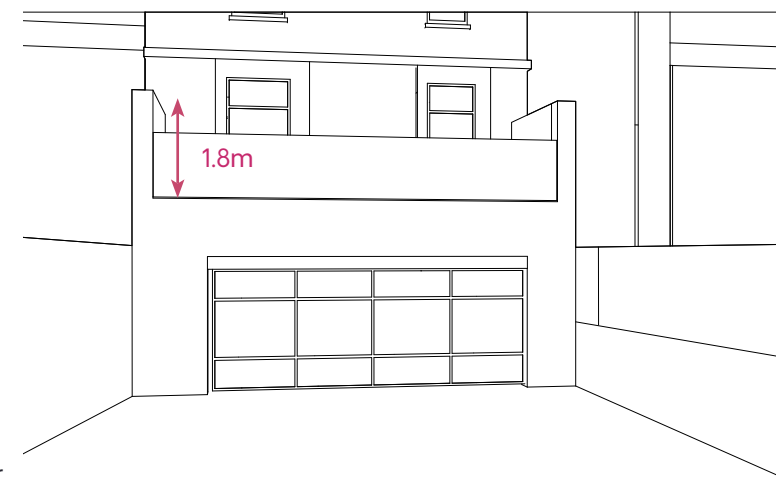


Fig.33 Proposal in sketch form to rear

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5 SITE LAYOUT

Footprint

Existing 95 sq.m
Proposed 119 sq.m

As demonstrated to the right, the building footprint of the proposed extension is only marginally bigger but provides a much better flow and better way of living for the family.

Increased
Footprint: 24 sq.m

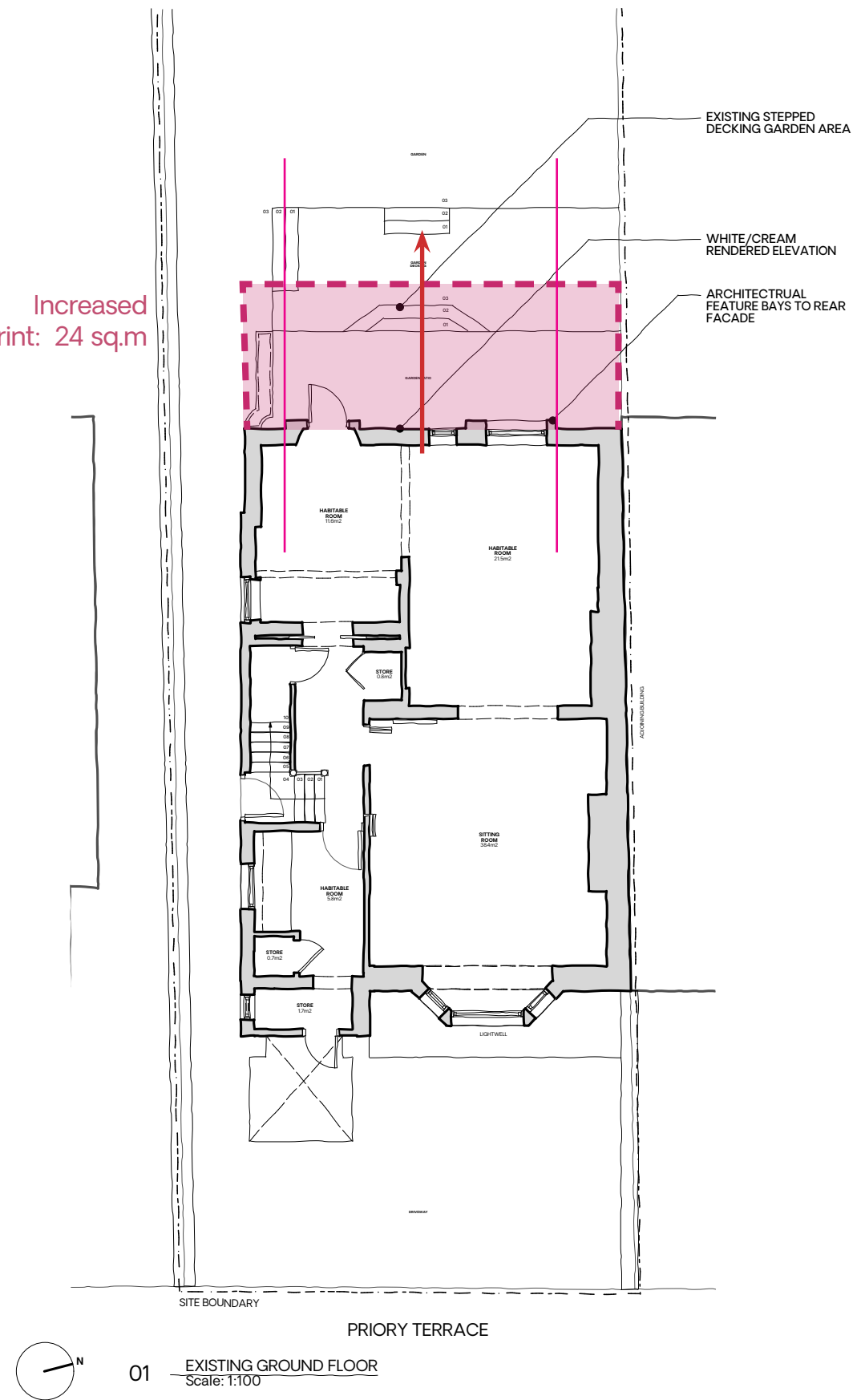


Fig.34 Ground floor existing layout with overlaid proposed footprint overlay

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5 SITE LAYOUT

Footprint

The residential area is characterised by a mixture of large semi-detached houses, of 3-4 stories.

The colour palette of the proposal reflects the light render/stucco features, found along Priory Terrace. The scale of the development will be a harmonious with other extensions on Priory Terrace and will have little to no impact on the C19 homogeneous building frontages.

The proposal uses a glazed skylight and a glazed door to meet as a connection to the outside. The glazed skylights to the terrace can be walked on and are positioned in a rhythm to the same width as the opening and glazed door at lower ground floor.

The proposed single storey development will have little to no impact on the visual amenity and will replicate in materiality, mass, and finish as closely to the existing building as possible.

It is felt that the proposed footprint is respectful towards the site, the approved certificate of lawfulness echoes this. It maximises the poorly utilised narrow garden/patio area of the site.

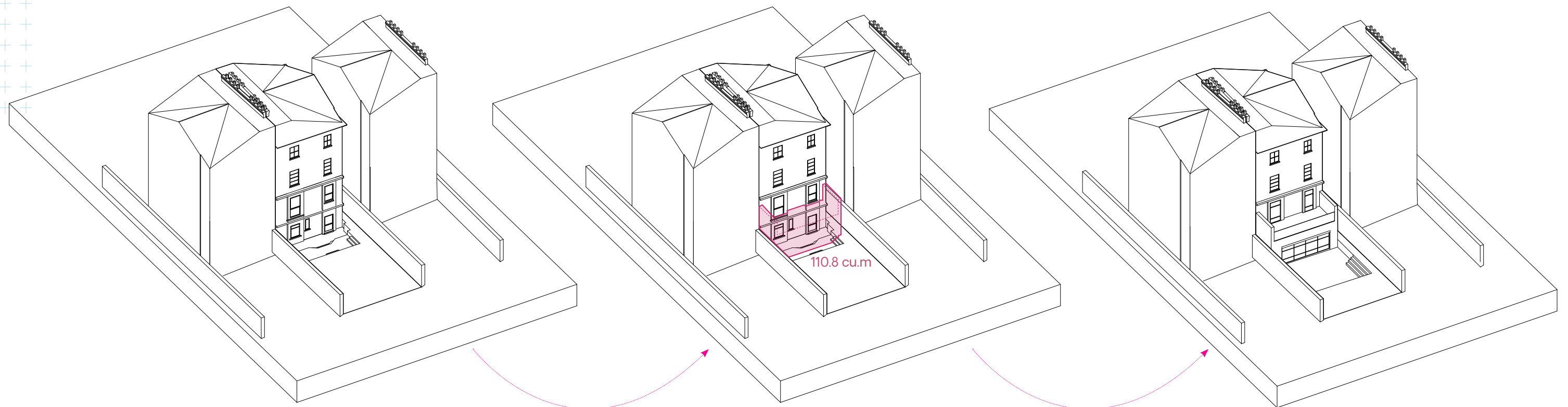


Fig.35 Existing to proposed extension volume increase

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6 APPEARANCE

Concept Rationale

GUNN's approach is to provide a harmonious consistency between the alterations of the proposal and the existing property to elevate the property to a high design standard.

The proposal features a simple material palette that highlights the delicate nature on Priory Terrace and the greater priory road conservation area in a revitalised contemporary fashion. This palette harmonises the colours found on the street whilst elevating the function of the house all in respect to the character of the area.

The large garden is used as a catalyst for the design acting as a delicate central point to the openings created in the building. It is now framed by the entrance of the property and acts as a stage to the terrace above.

The treatment of the building mass seeks to provide dynamism at a small scale that compliments the housing and scenic gardens to the proposal.

With the alterations to the existing and providing a new area to the rear that is respectful to the neighbouring properties the house as a whole will feel fresh and cohesive.

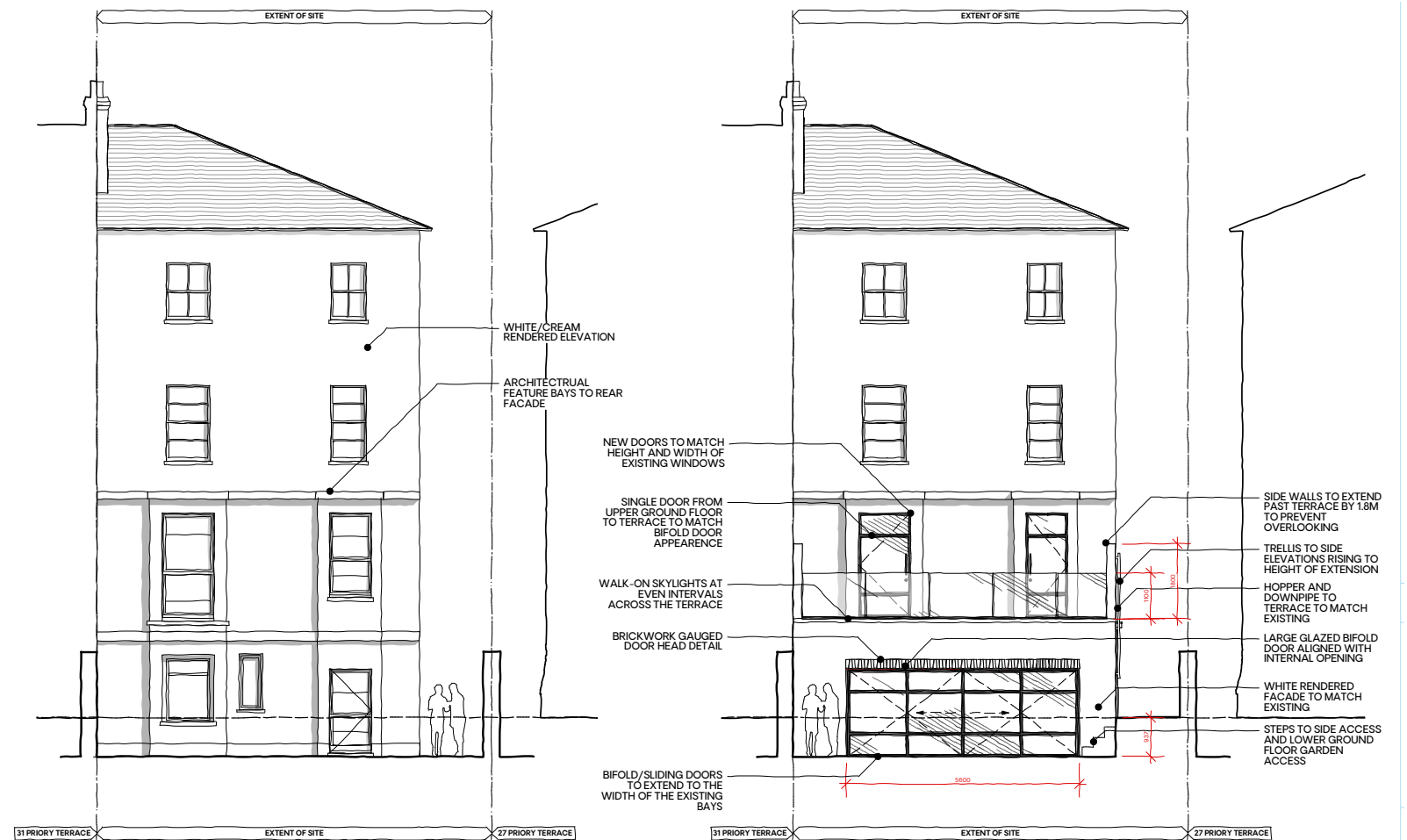


Fig.36 Proposed extension framing to existing rear bays and internal openings



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6 APPEARANCE

Material

The local area is also characterised by clay roof tiles which is continuous across Priory Terrace.

This palette shown on the right harmonises the colours found on the street. The contemporary advantage of using slim-line aluminium glazing links to the C19 glazing units on the street and the glazing units themselves they improve HVAC services to the home.

The proposal allowing it to blend into the garden, Priory Terrace, and the greater Kilburn area.

Fig.37 Diagrammatic material and aesthetic profile



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