

DESIGN AND ACCESS STATEMENT

9 June 2021

3/18 Aberdare Gardens, NW6 3PY



PHOTO 01: Rear elevation 18 Aberdare Gardens with Flat 3 at ground level.

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INTRODUCTION

This Design & Access Statement has been prepared to support the Planning Application for the proposed alterations to the Ground Floor Flat (known as No. 3/18) located at 18 Abdare Gardens, NW6 3PY. The proposed works include: the extension of the existing single storey rear extension; new glazed openings to the extension; replacement of pitched glazed roof and flat roof to the extension with new flat roof incorporating rooflights; new window to side passage; alterations to the floor levels and minor internal modifications; and replacement of all existing windows to front and side elevations at ground floor level with like-for-like windows to match existing.

This statement should be read in conjunction with the following drawings:

- 2219.01.00 - Location Plan
- 2219.01.01 - Existing Site/Ground Floor Plan
- 2219.01.02 - Existing Ground Floor Plan
- 2219.01.03 - Existing Roof Plan
- 2219.02.01 - Existing Rear Elevation
- 2219.02.02 - Existing Side Elevation
- 2219.02.03 - Existing Front Elevation
- 2219.03.01 - Existing Sections AA + BB

- 2219.01.10 - Proposed Site/Ground Floor Plan
- 2219.01.11 - Proposed Ground Floor Plan
- 2219.01.12 - Proposed Roof Plan
- 2219.02.10 - Proposed Rear Elevation
- 2219.02.11 - Proposed Side Elevation
- 2219.02.12 - Proposed Front Elevation
- 2219.03.10 - Proposed Sections AA + BB

1.0 CONTEXT

1.1 Site

Located in West Hampstead, Abdare Gardens is made up of a series of two storey semi-detached houses with roof accommodation, many of which have been divided into flats. The street is composed of a harmonious rhythm of semi-detached residential properties of similar scale and aesthetic. These properties often benefit from having large rear gardens and smaller front gardens complete with mature planting.

The main elevations typically consist of red facing brickwork on the ground and first floors with terracotta tile and slate mansard-style roofs. Windows are largely timber framed. Many of the houses in the street have undergone alterations over the years, including the construction of rear extensions and some basements.

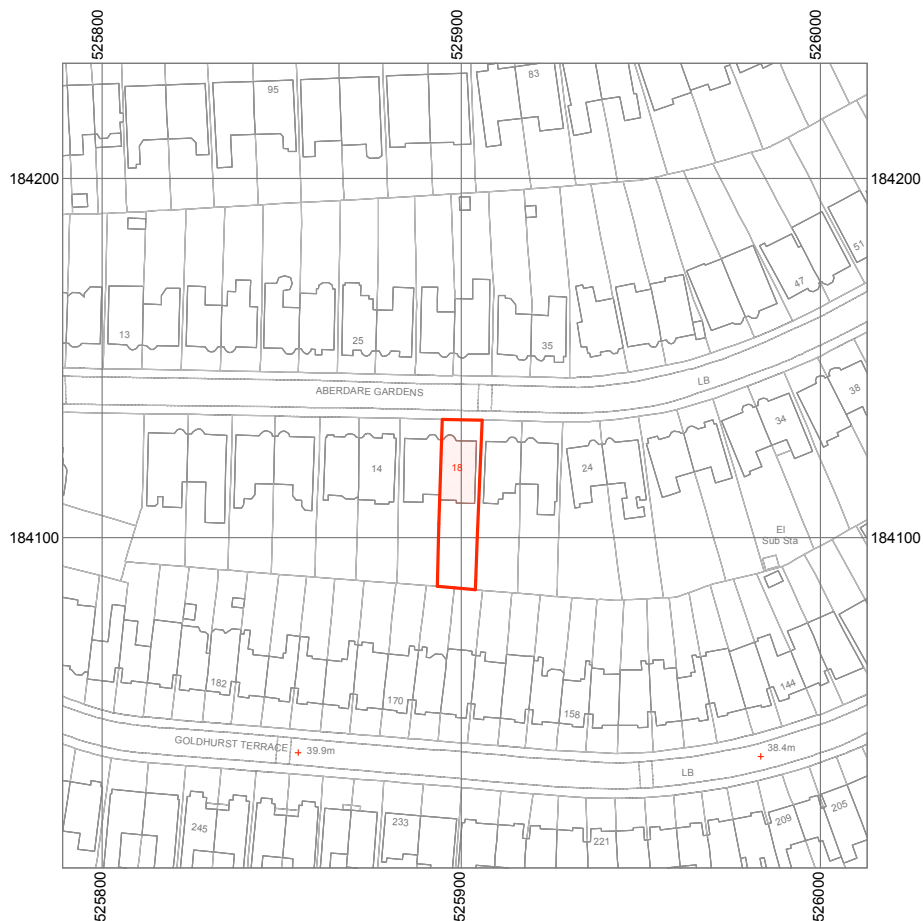
Abdare Gardens is located within the Swiss Cottage Conservation Area. It is not a listed building according to both the National Heritage List and the local list. Appropriate guidance has been sought to contribute to the design of the extension.

1.2 Existing Property

3/18 Aberdare Gardens is the ground floor flat within a three storey semi-detached property, located on the south side of Aberdare Gardens. A large private rear garden complete with mature landscaping provides ample outdoor space which is accessed directly off the rear of the flat, also with side access.

Alterations to the ground floor have been carried out over the years and include a single storey rear extension and various alterations to the interior.

1.3 Location Plan not to scale



1.4 Planning History

Council records for the site relating to this application and properties nearby indicate the following planning history:

3/18 Aberdare Gardens (Ground Floor Flat):

* Ref. 2003/2227/P: Full Planning Application (Sept 22 2003) - granted for replacement of conservatory with larger single storey rear extension at ground floor level plus widening of window to side passage (built);

Ground Floor Flat/16 Aberdare Gardens:

* Ref. 2003/0139/P: Full Planning Application (August 11 2003) - granted for erection of a part basement and ground floor rear extension.

21 Aberdare Gardens

* Ref. 2015/0847/P: Full Planning Application (June 15 2017) - granted for erection of a basement.

1.5 Planning Policies/Guidance

The proposed alterations to 3/18 Aberdare Gardens seek to comply with the relevant policies of Council's Development Plan. These include in particular:

- London Borough of Camden Planning Design Guide (CPG1)
- Swiss Cottage Conservation Area Design Guide

2.0 DESIGN

2.1 Proposed Works

External Alterations:

- removal of rear-facing end walls and roof to existing single storey rear extension, including glazing;
- extension of rear extension and installation of new double-glazed doors;
- rear extension to have 3 flat rooflights plus one linear angled rooflight;
- installation of new sash window in side wall to match existing;
- replacement of existing timber sash windows to front and rear elevations with like-for-like double-glazed units;
- raise level of rear terrace by 140mm to match new rear ground floor level.

Internal Alterations:

- removal of internal walls to existing rear dining and kitchen, plus ensuite and the construction of new wall/room layout to create improved living/dining/kitchen spaces;
- removal of stair within living room and raising of floor levels in that area and the rear extension;
- conversion of existing ensuite into family bathroom;
- upgrade of services and redecoration throughout.

2.2 Planning Impact & Amenity

In terms of privacy, overshadowing and daylight, the proposed alterations will have limited impact upon the adjacent properties and the flats above. The height of the rear extension adjacent to No. 16 will be similar to the existing and no higher than the tall ivy-clad dividing fence, and lower than the dividing brick party wall. On the opposite corner the height of the rear extension closest to No. 20 will be slightly lower than it currently is and will also have minimal impact.

The replacement of the pitched glazed roof to the existing rear extension with a flat roof with rooflights will reduce the light-spill from the flat, with the new linear angled rooflight also improving privacy for the occupants of No. 3/18.

The new window in the side wall to the existing rear extension will be fitted with obscure glass so will not impact upon privacy or result in excessive light spill. The replacement of the timber sash windows to the front and side façades with like-for-like double-glazed units will also have nil impact upon the building and streetscape.

3.0 ACCESS STATEMENT

Within the constraints of an existing building the works to the flat have been designed to allow ease of accessibility and use. The design complies as follows with the 16 Lifetime Homes Standards:

- 01 Car Parking:

The proposal will not affect existing car parking facilities for this property which are provided for on-street.

- 02 Access from car parking:

Access from on-street car parking will remain unchanged.

- 03 Approach:

Access from the street to the flat is stepped and will remain unchanged.

- 04 External entrances:

There will be no changes to the external entrances to the flat or building as a whole.

- 05 Communal Stairs:

Being a ground floor flat, there will be no changes to the communal stairs.

- 06 Doorways and Hallways:

Any new internal doors will have a minimum 750mm clear opening width.

- 07 Wheelchair accessibility:

Access to the flat remains unchanged, which is stepped without the inclusion of a lift. A ramp could be provided in the future if required.

- 08 Living Room:

The open plan living room within the flat will be raised to a level one step below that of the entrance lobby, with 2 steps down to the kitchen/dining area.

- 09 Bed space at the ground floor:

The existing bedrooms within the Ground Floor flat remain in their current locations, one of which will be able to be accessed from the entrance lobby level. A new bedroom is to be positioned within the rear extension.

- 10 WC at ground floor:

The existing ensuite within the Ground Floor flat will be altered to form a bathroom with WC accessed from the entrance lobby level.

- 11 Bathroom Walls:

Walls in the new bathroom and ensuites will be constructed either of masonry or timber studwork with plasterboard that will be capable of supporting adaptations such as handrails if required in the future.

- 12 Lift:

The inclusion of a future lift within the building has not been considered.

- 13 Main Bedroom:

The proposed internal reconfiguration will provide one large and two average size bedrooms, plus a further large master bedroom within the new extension. Both of the two larger bedrooms can be considered as the main room and could be adapted for future needs.

- 14 Bathroom Layout:

Both the family bathroom and ensuite are of sufficient size to be adapted in the future for access requirements.

- 15 Window Specification:

Any new windows will match the original windows as the house is located within a conservation area.

- 16 Fixtures and Fittings:

New switches, sockets, ventilation and service controls will be located at a height that is between 450mm and 1200mm from the floor where applicable.

4.0 SUMMARY

The proposed minor extension to the ground floor flat has been carefully developed to improve the internal spatial provisions within the dwelling while remaining sympathetic to the aesthetics of the building, the amenity of the neighbouring properties and the streetscape as a whole. The new roof design to the rear extension vastly improves privacy for both the occupants of No. 3/18 and the immediate neighbours, alongside reducing light-spill and improving the thermal performance of the south-facing living spaces.

The proposed extensions will have no impact upon the daylighting, overshadowing or privacy of the neighbouring properties.

5.0 SITE PHOTOS



PHOTO 02: Street/ front elevation of 18 Aberdare Gardens with No. 20 on LHS and No. 16 on RHS.



PHOTO 03: Front elevation of 18 Aberdare Gardens with flat No. 3 at ground level.

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PHOTO 04: View from street of side wall to 18 Aberdare Gardens with No. 20 on LHS.



PHOTO 05: Rear elevation of 18 Aberdare Gardens with No. 16 on LHS and No. 20 on RHS.



PHOTO 06: Rear elevation of 18 Aberdare Gardens showing part ground floor flat (flat 3/18) with No. 16 on LHS.



PHOTO 07: Rear elevation of 18 Aberdare Gardens showing part ground floor flat (flat 3/18) with No. 20 on RHS.



PHOTO 08: Side passage to 18 Aberdare Gardens looking towards the street entrance.



PHOTO 09: Rear garden to 18 Aberdare Gardens forming part of ground floor flat (flat 3/18) title.

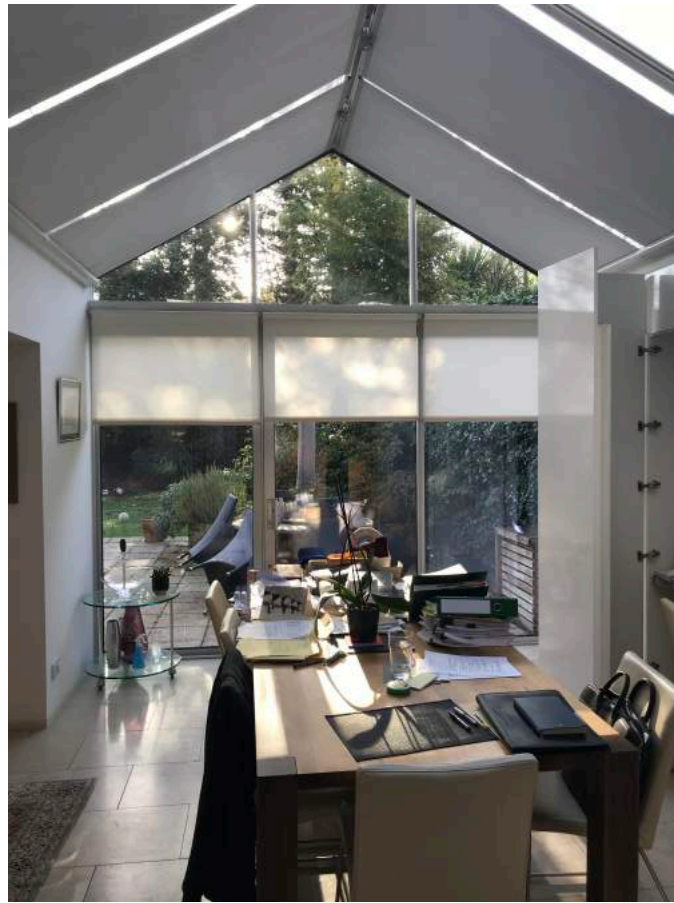


PHOTO 10: Interior view of dining room to 3/18 Aberdare Gardens with fully glazed pitched roof.



PHOTO 11: Interior view of dining room & kitchen to 3/18 Aberdare Gardens looking towards rear garden.

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PHOTO 12: Interior view of dining room to 3/18 Aberdare Gardens with fully glazed pitched roof.

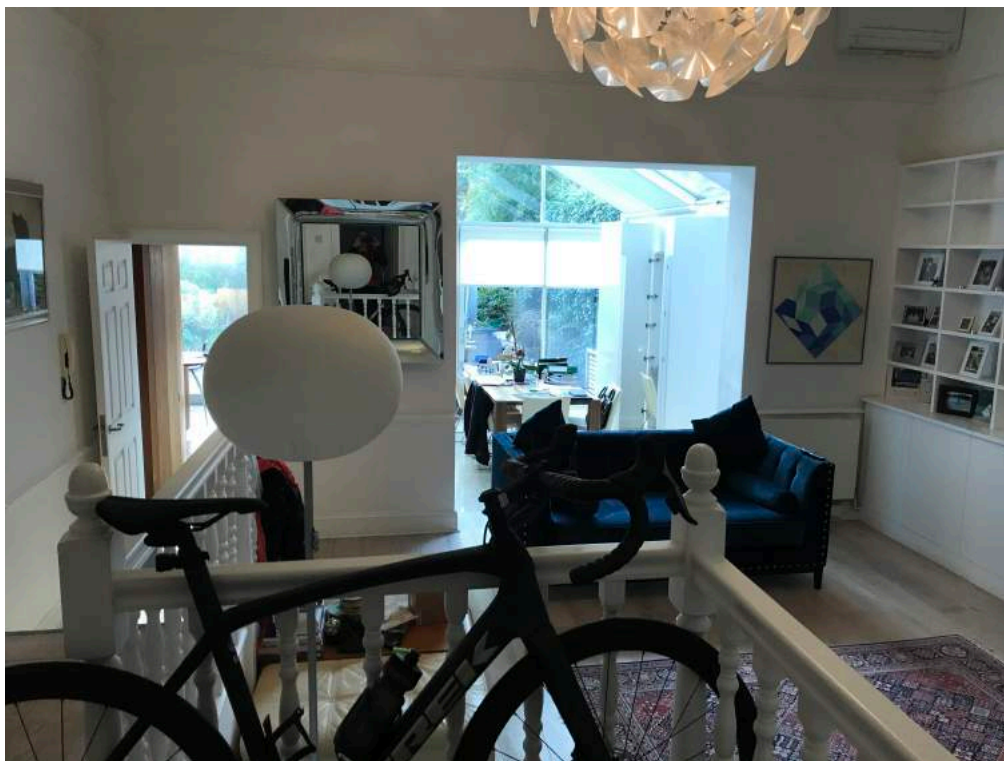


PHOTO 13: Interior view of living room to 3/18 Aberdare Gardens looking towards dining room & kitchen through to rear garden.