

Address: 4 ELLERDALE CLOSE, LONDON, NW3

The property is situated in the private cul-de-sac of Ellerdale Close and within 5 minutes walking distance from Hampstead train, station and shopping centre.



(view of existing front façade with protruding 1.5 storey tall block)

Assessment

- 4 Ellerdale Close is a private detached residential property within the Fitzjohns Netherhall conservation area and it is not a listed building.
- It is a masonry property with clay roof, painted timber windows and shutters, many in poor condition
- The ground floor has an existing front garage that sits over one and half storeys high from and protrudes awkwardly from the front façade. It is in poor condition and too small for modern vehicles.
- There is an existing side passage that is currently used as access to the rear garden.
- The existing front porch and associated railings on the first floor are in poor condition.

The Site and Surroundings

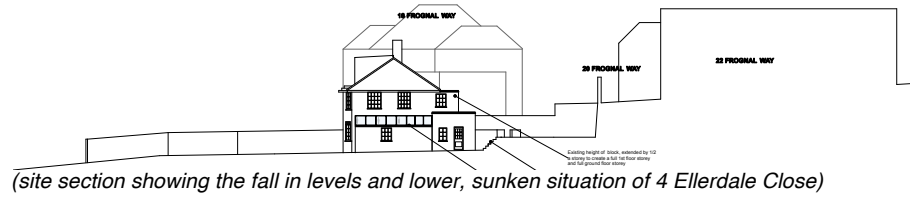
The site is 'sunken' compared to surrounding dwellings, due to a natural hill and fall in levels. The adjacent properties at 18 and 22 Froggnal Way, both have recent permissions, which now constitute quite substantial dwellings, which are taller and higher than 4 Ellerdale Close. No. 20 Froggnal Way has a garden boundary which meets the retaining wall of 4 Ellerdale Close, the house itself however is a fair distance away, and there is practically no visibility between the properties.



(site plan showing 22 Froggnal Way, lined in red, with 20 and 18 indicated also)



(Aerial photo, with relevant properties labelled)



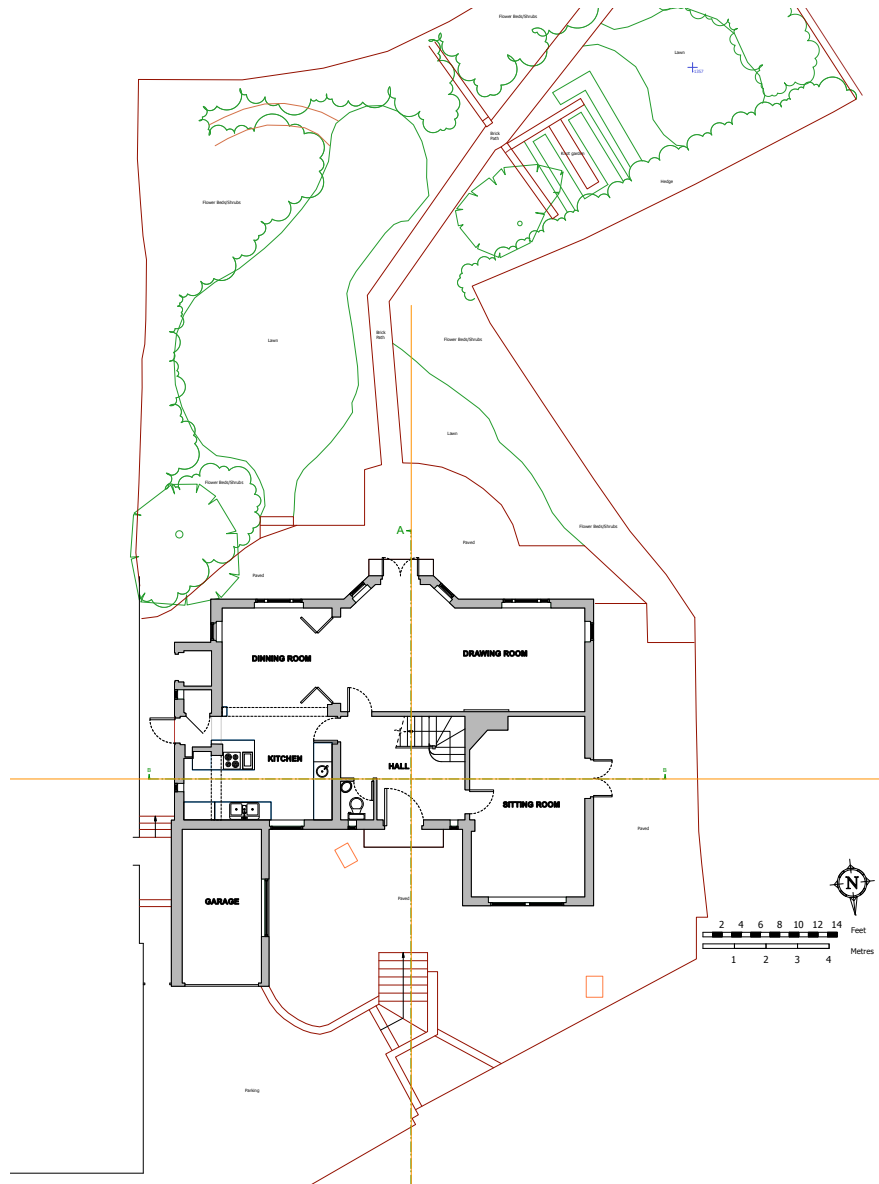
(Photo of the retaining wall, and boundary with the end of 20 Frognal Way's garden)



(Photos looking up at 18 Frognal Way, to show its greater elevation and taller stature)



(View from Froggnal Way, with no.20 on the left and no.18 on the right, 4 Ellerdale Close, is not visible due to its lower level)



(existing ground plan)

Design Statement:

The proposal is for a replacement side and front extensions (and reduction) and alterations to the existing fenestrations and alterations to hard landscaping at the front of the property.

The proposed scheme will provide a single storey front extension with the proposed materials matching the existing style and finishes. The existing '1.5 storey tall' garage will be replaced by a structure that is reduced in length and extended in width in comparison to the existing to create a more pleasing and symmetrical façade. This structure will also house 2no. flat rooflights to allow more light to enter into this proposed space.

The proposed first floor extension over the proposed (reduced and widened) garage provides more symmetry to the front façade, in what is a conservation area, aiming to preserve the character and only apply modest alterations and extensions, which are correct in scale and materials. It is proposed that the windows stay traditional in style and even the shutters are proposed to be retained or replaced, where possible.



(existing front façade)



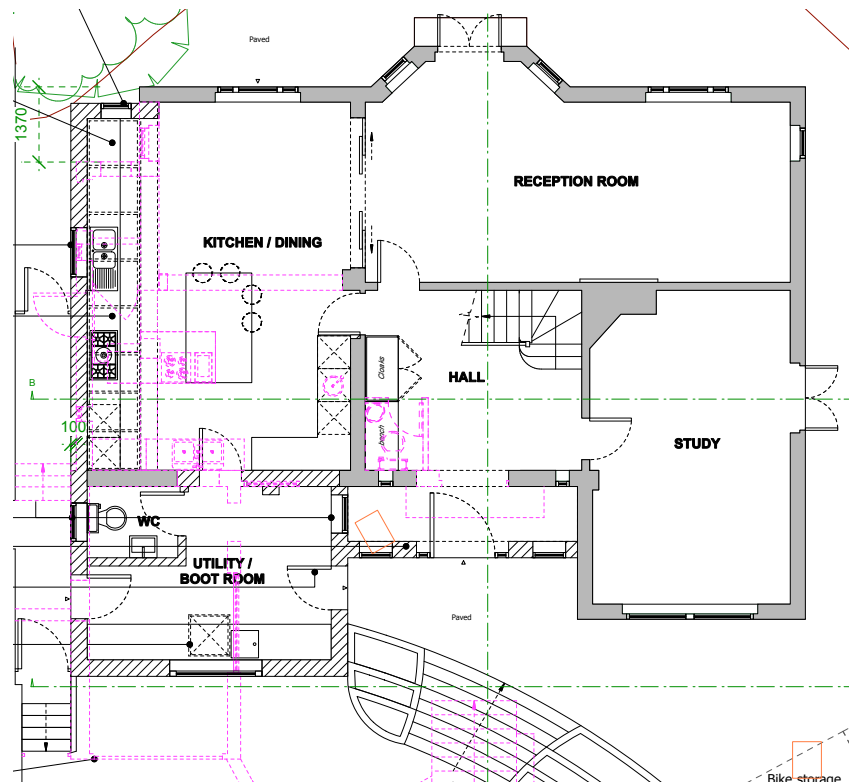
(proposed front façade)

The existing side structure is to be replaced in insulated brick walls to match the existing. The end of the existing side structure is to be made marginally longer, but stepped back from the rear façade, to maintain outline of the existing rear façade.



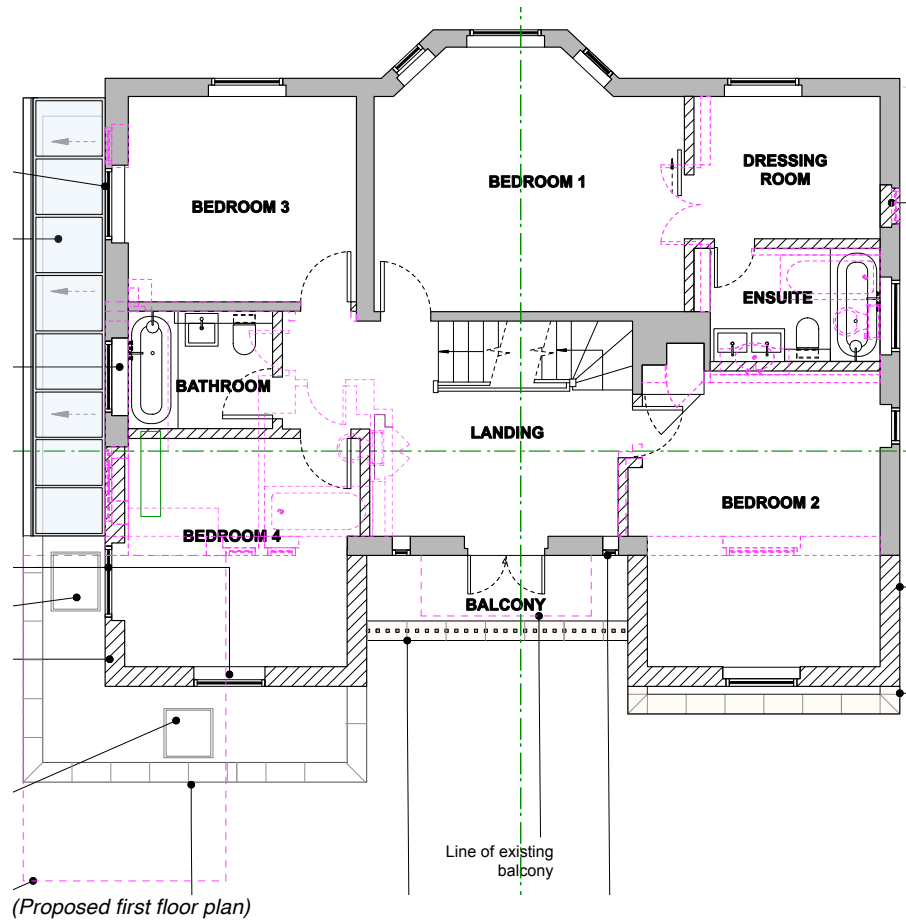
(side elevation, showing replacement side extension)

The works will include a glazed slope to the side infill. This glazed roof proposed to this side return would bring much needed light into the building and will not be visible from the street or from any public (or private) views.



(Proposed ground plan)

The proposal includes a new first floor extension above the existing study to have new windows and shutters to match existing. The brick is to match the existing, with a stone coping to the parapet for a traditional detail. The extension will be stepped back from the floor below and will provide symmetry to the front façade.



It is proposed to enclose the porch that is currently in poor condition and also to replace the existing balcony above, to have a coping stone and painted metal railings in order to suit the character of the property. The proposed porch is to have a painted timber door and two side windows. This will create a more secure entrance to the property.



The new gate to the side passage will provide better privacy and security to the rear of the property by preventing any direct access from any public space to the rear of the property. The existing steps and front walls are to be replaced with new stone clad steps and planters to provide more open space at the front of the property for turning and parking and to allow better access.

We have proposed that the window cill heights to the existing small windows are lowered, to match cill levels across the front façade.

All proposed materials are to match the existing.

Access Statement:

Current vehicular access to the building will be improved by allowing more room for turning; pedestrian access will be improved through a better and safer floor surface.

The extension would maximise the floor area internally, allowing flexible living space along with additional space for sanitary facilities, allowing for better-disabled or assisted living.

Conclusion:

The proposals seek to enhance the conservation area by applying alterations to the front façade, to form a visually pleasing and more symmetrical composition, by removing the unbalanced garage block, and reintroducing a structure of a more appropriate scale and shape, while mirroring this on the other side.

It was also decided that it was more beneficial to alter the front, and not the rear, as it was deemed that the enjoyment of the rear garden and views of it, down from 18 Frognal Way, and across from 3 Ellerdale Close, could be slightly affected. The proposals to the front façade affect no neighbouring properties, as they are not visible down the private driveway, or from 18, 20 and 22 Frognal Way, which are much higher and over bearing to 4 Ellerdale Close, and any side windows are proposed in obscure glazing to protect privacy.

Please consider the proposal favourably,

PEEK Architecture and Design Ltd.