

# Level Plan

## Section 106 Planning Obligations

### Pro forma

The purpose of the **Level Plan (LP)** is to help minimise construction impacts and relate to the on-site activity.

The design of any development needs to take account of the surrounding topography and in particular the levels of site where it adjoins the public highway. The Council will not adjust highway levels to meet accesses that do not sit at the required level. It will be a requirement of a Section 106/278 agreement for the developer to submit level plans to the Council for approval prior to implementation. These plans will need to show existing and proposed levels for channel, top of kerb, back of footway and any other features of relevance. You will also need to clearly show that any accesses or adjoining open areas will match the back of footway levels required.

The approved contents of the Level Plans must be complied with unless otherwise agreed with the Council in writing. The project manager shall work with the Council to review the Level Plans if problems arise in relation to the construction of the development. Any future revised plan must also be approved by the Council and complied with thereafter.

Please complete the questions below with any additional sheets, drawings and plans as required. The boxes will expand to accommodate the information provided, so please provide as much information as is necessary. **It is preferable if this document, and all additional documents, are completed electronically and submitted as Word/PDF files.**

# Contact

1. Please provide the full postal address of the site and the planning reference relating to the construction works.

Planning Application Reference: 2015/6424/P

Site Address: 13 kylemore Road London NW6 2PS

Name: Robert Hume

Address: 13 kylemore Road London NW6 2PS

Email: roberthumenow@icloud.com

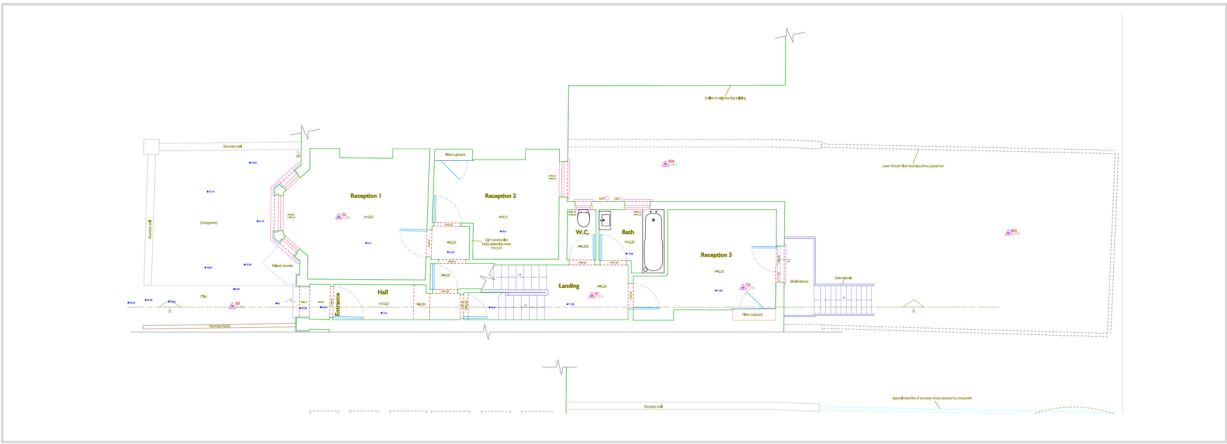
Phone: 07985760463

# Site

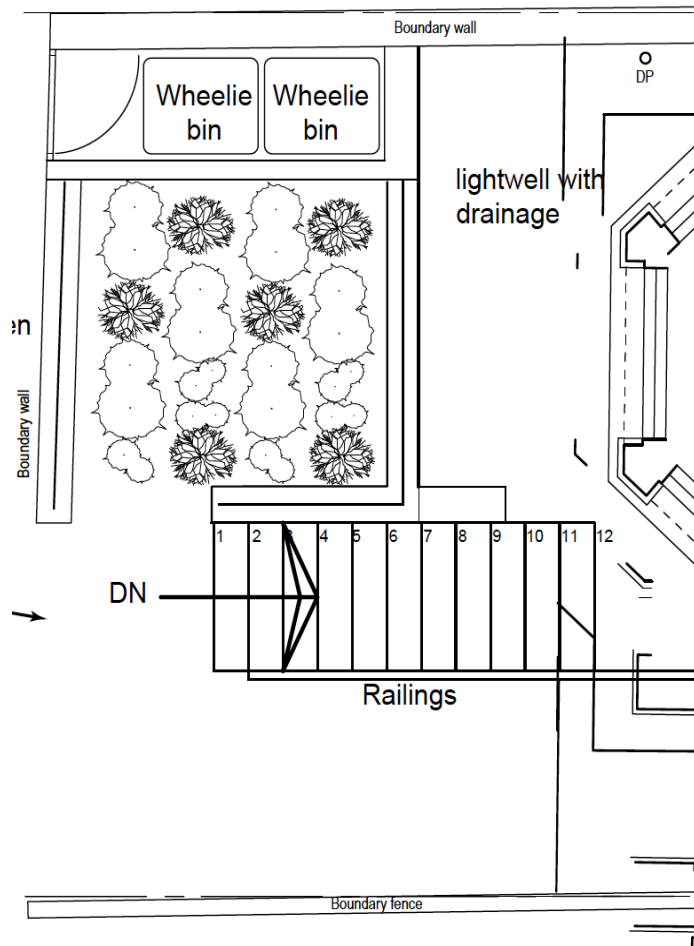
4. Please provide brief description of the development proposals for which the Level Plan applies. (Demonstrating the levels at the interface of the Development with the boundary of the Property.)

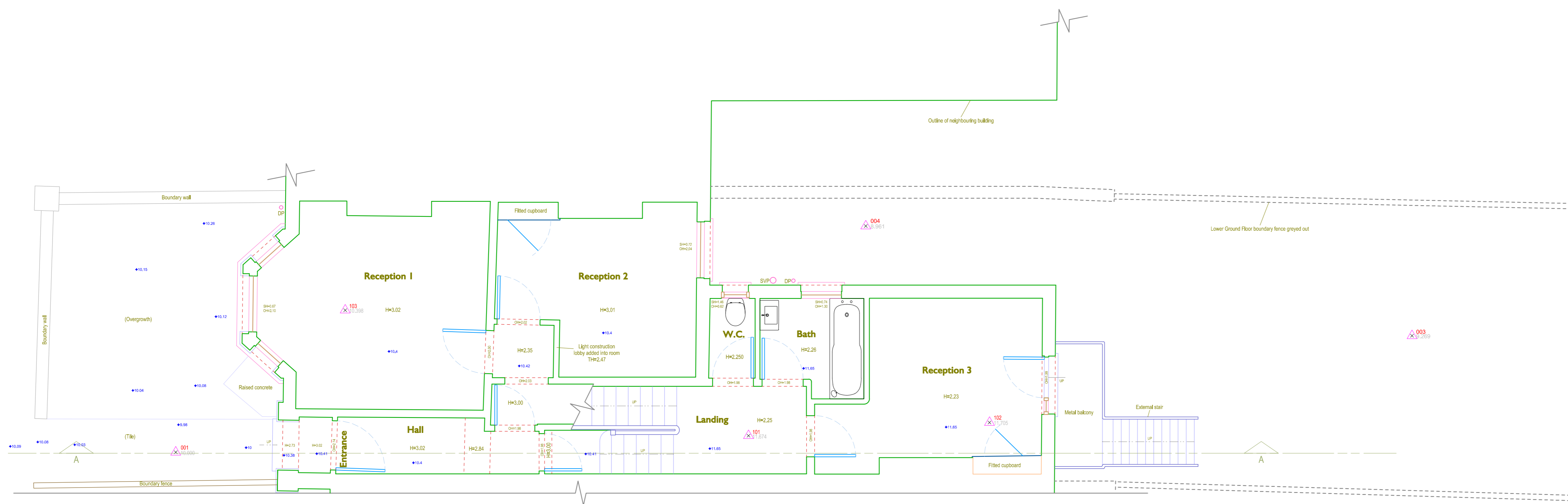
I was told by Planning obligations that "it is a standard process and Highways team request the existing and proposed plans regardless it impact to highways". It does not make much sense in our home renovation though as there is no change to anything outside the footprint of the house and garden. So I cannot submit plans for something we don't intend (and now never did). I submit the plans for the work that was actually proposed and completed – solely affecting the front garden. No drive was added nor curb altered. The plans were for a conversion of cellar to habitable basement with a new entrance and steps down to this entrance. Garden reconfigured and a bin store constructed.

5. Please provide an **EXISTING** site Level Plan

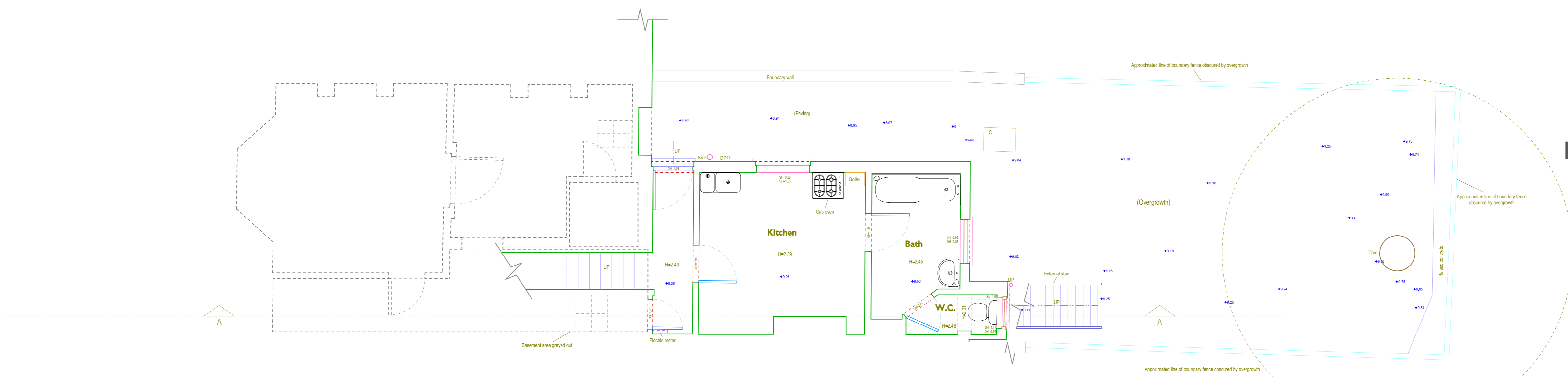


6. Please provide the **PROPOSED** Level Plan for approval

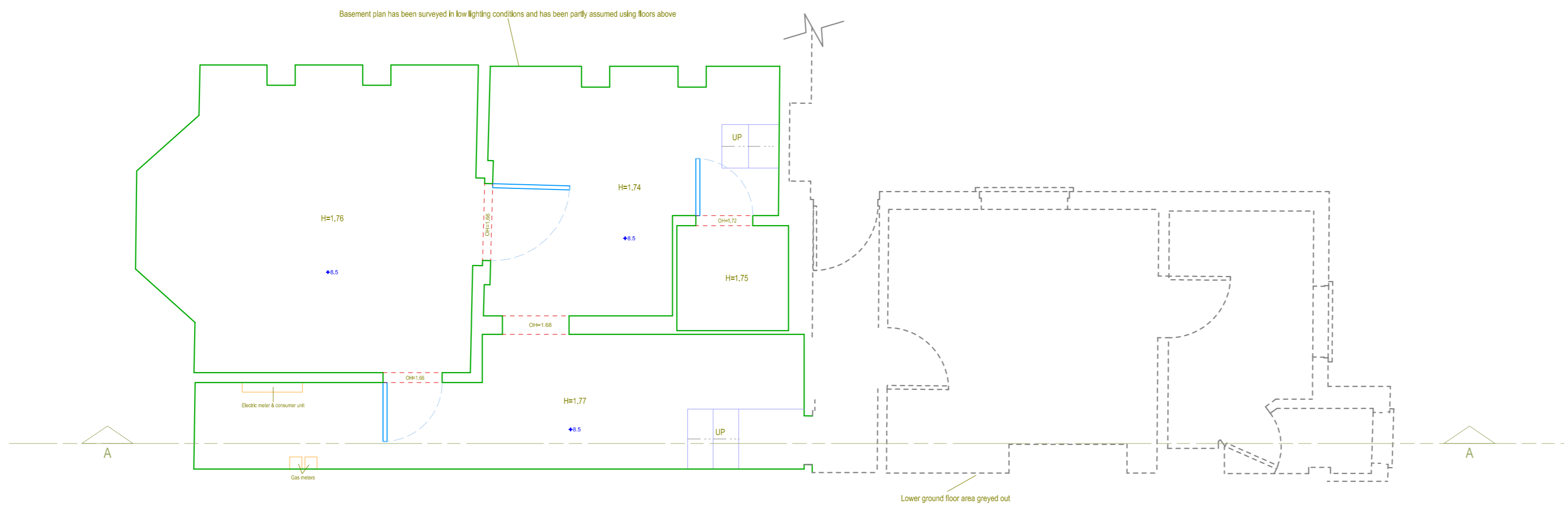




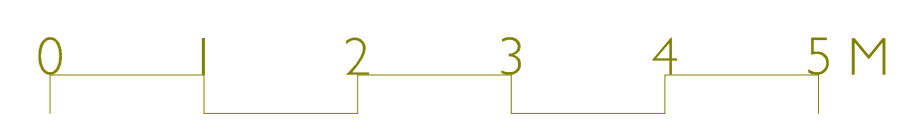
EXISTING GROUND FLOOR PLAN



EXISTING LOWER GROUND FLOOR PLAN



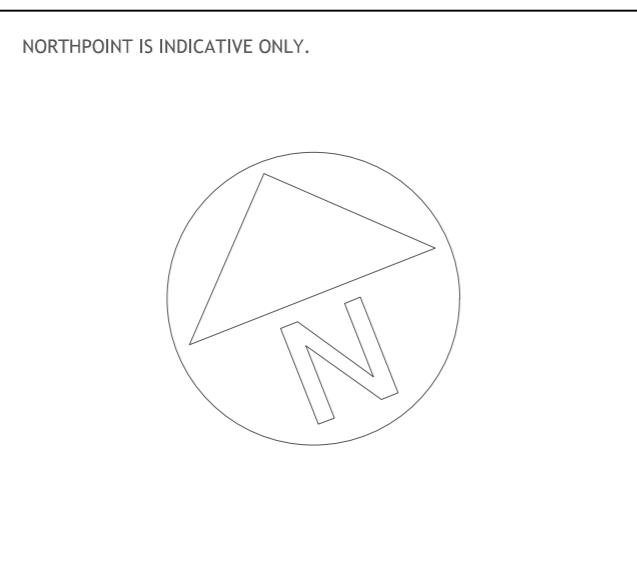
EXISTING BASEMENT FLOOR PLAN



**NOTES:** THE SURVEY GRID IS BASED ON ARBITRARY COORDINATES

H. 2.00 GENERAL SPOT HEIGHT TO UNDERSIDE OF CEILING, BEAM, BOXING-OUT, LINTEL ETC. NOT RELATIVE TO DATUM  
 OH+1.00 WINDOW, DOOR OR RECESS OPENING HEIGHT, TAKEN EITHER FROM SILL LEVEL OR FROM FFL, NOT RELATIVE TO DATUM  
 SH+1.00 TOP OF SILL LEVEL, NOT RELATIVE TO DATUM AND TAKEN FROM FFL ON-SITE  
 SP+1.50 SPRING POINT: HEIGHT AT WHICH DAMPED CEILING OR SURFACE MEETS WALL, NOT RELATIVE TO DATUM  
 AN+2.00 ARCHED CEILING OR OPENING, MIN & MAX VALUES GIVEN WHERE POSSIBLE, NOT RELATIVE TO DATUM  
 TH+1.00 TOP HEIGHT OF FIXED FURNITURE, LOW LEVEL WALL ETC. NOT RELATIVE TO DATUM

BF-12	ROOM NUMBER (WHERE SHOWN)
+20.00	FCL / DOWNSTAND LEVEL, RELATIVE TO ARBITRARY DATUM (METRES)
+10.00	FFL / LOW WALL LEVEL / BOXING, RELATIVE TO ARBITRARY DATUM (METRES)
101	SURVEY STATION (IF & FFL)
10.000	



**TOPOGRAPHICAL LEGEND**

gate	banking	ACU	air conditioning unit	LP	lamp post	ESS	elec. sub-station	SNP	street name plate
benchmark		AV	air vent	MP	marker post	EP	electricity pole	SPU	species unknown
		B	bollard	MH	manhole	EPY	electricity pylon	SV	stop valve
		BB	belisha beacon	MHP	mooring post	FB	flower bed	SVP	soil-vent pipe
		BL	basement light	NB	notice board	FIG	feeds into ground	SWCP	surface water catch pit
		BS	brick sets	NP	nameplate	FLT	floodlight	SWC	surface water IC
		BT	british telecom	NGV	navigation beacon	FH	fire hydrant	SWS	storm water sewer
		BW	brick wall	P	post	FL	floor level	TCB	traffic control box
		BWF	barbed wire fence	PM	parking meter	FP	footpath	TCMH	telecommunication mh
		CATV	cable TV cover	PB	post box	FGP	flagpole	TCF	telephone call box
		CBF	close-board fence	PL	pavement light	FWS	foul water sewer	TCSU	traffic control signal unit
		CCTV	close circuit tv	PRF	post and rail fence	G	gully	THL	threshold level
		CL	cover level	PSW	pole stay wire	GM	gas marker	TL	traffic light
		CLF	chain link fence	OHP	overhead powerline	GP	gas pipe	TLC	traffic light control box
		CLP	concrete	OHT	overhead telephone line	GV	gas valve	TacP	tactile paving
		CPL	concrete paving slabs	RE	rod/eye	HCL	hedge centreline	RE	rodding eye
		CP	concrete	RFP	reflector post	HR	hand rail	UTL	unable to lift
		DLF	disipulated fence	RG	road gully	IC	inspection cover	VCS	vehicle control sensor
		DK	drop kerb	RS	road sign	IL	invert level	VP	vent pipe
		EL	eaves level	RTW	retaining wall	IRF	iron railing fence	WL	water level
		ELCP	electricity control panel	RWP	rain water pipe	JB	junction box	WM	water meter
		ER	earth rod	SC	stopcock	KO	kerb-outlet	WMF	wire mesh fence
				SCB	scrub	LB	litter bin	WO	water outlet
				SL	sump level	LF	lattice fence	WT	water tap

REV:	DATE:	DESCRIPTION:

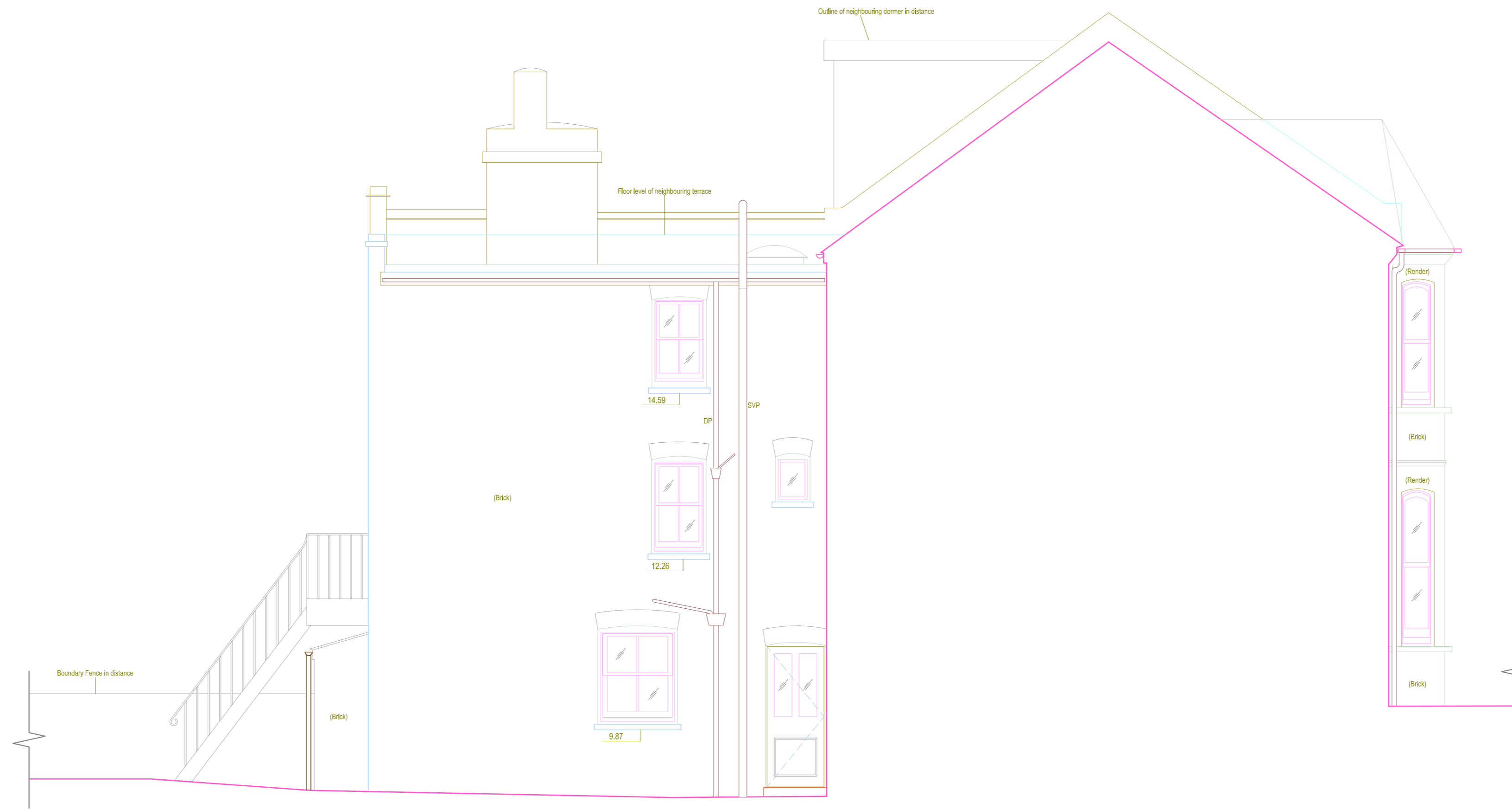
**cad product**

PROJECT NAME:  
**13 Kylemore Road, London, NW6 2PT**

DRAWING NAME:  
**Existing: Basement, Lower Ground & Ground Floor Plans**

DRAWING NO: **EX01**    REVISION:    JOB NO: **J14000**    SCALE: **1:50@A1 / 1:100@A3**    DATE: **February 2015**    DRAWN BY: **SRP**

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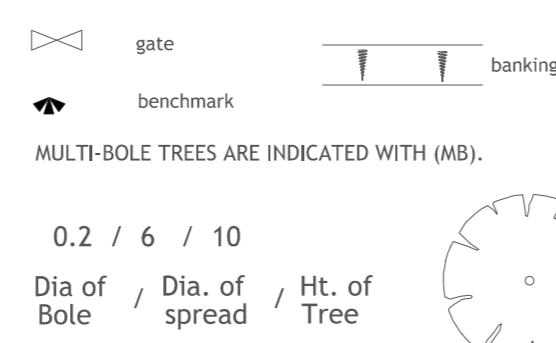


## EXISTING SIDE ELEVATION

**NOTES:** THE SURVEY GRID IS BASED ON ARBITRARY COORDINATES

NORTHPOINT IS INDICATIVE ONLY.

### TOPOGRAPHICAL LEGEND



ACU	air conditioning unit	LP	lamp post	ESS	elec. sub-station	SNP	street name plate
AV	air vent	MP	marker post	EP	electricity pole	SPU	species unknown
B	bollard	MHP	manhole	EPY	electricity pylon	SV	stop valve
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DK	drop kerb	RTW	retaining wall	IRF	iron railing fence	WL	water level
DP	down pipe	RWP	rain water pipe	JB	junction box	WM	water meter
EL	eaves level	SC	stopcock	KO	kerb outlet	WMF	wire mesh fence
ELCP	electricity control panel	SCB	scrub	LB	litter bin	WO	water outlet
ER	earth rod	SL	slump level	LF	lattice fence	WT	water tap

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SH+1.00	TOP OF SILL LEVEL, NOT RELATIVE TO DATUM AND TAKEN FROM FFL ON-SITE
Sp+1.50	SPRING POINT, HEIGHT AT WHICH RAMPED CEILING OR SURFACE MEETS WALL, NOT RELATIVE TO DATUM
Ar+2.00	ARCHED CEILING OR OPENING, MIN & MAX VALUES GIVEN WHERE POSSIBLE, NOT RELATIVE TO DATUM
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+10.00	FFL / LOW WALL LEVEL / BOXING, RELATIVE TO ARBITRARY DATUM (METRES)

101 SURVEY STATION (H & FFL)

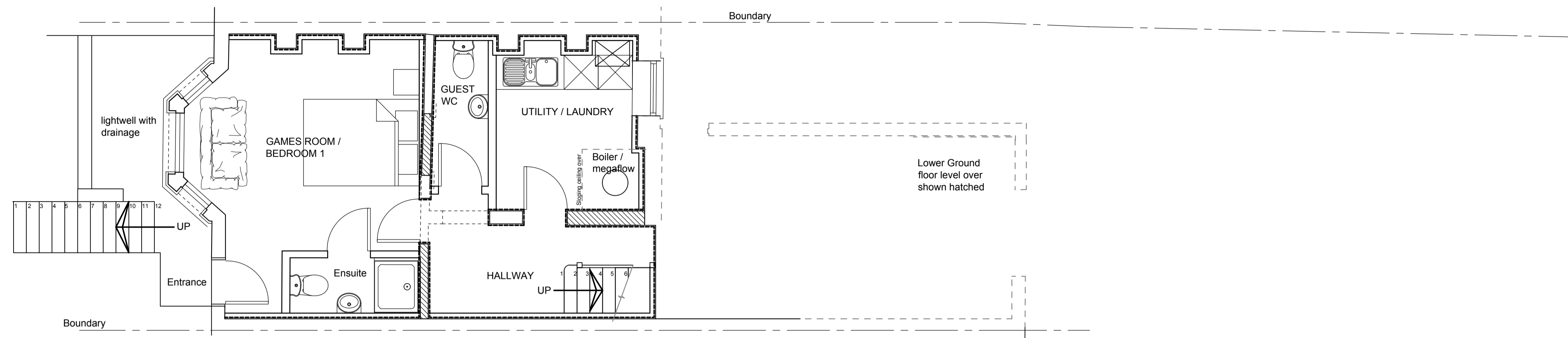
ALL DIMENSIONS TO BE CHECKED ON SITE. DISCREPANCIES TO BE REFERRED TO ARCHITECT. DO NOT SCALE OFF THIS DRAWING.

*cad product*

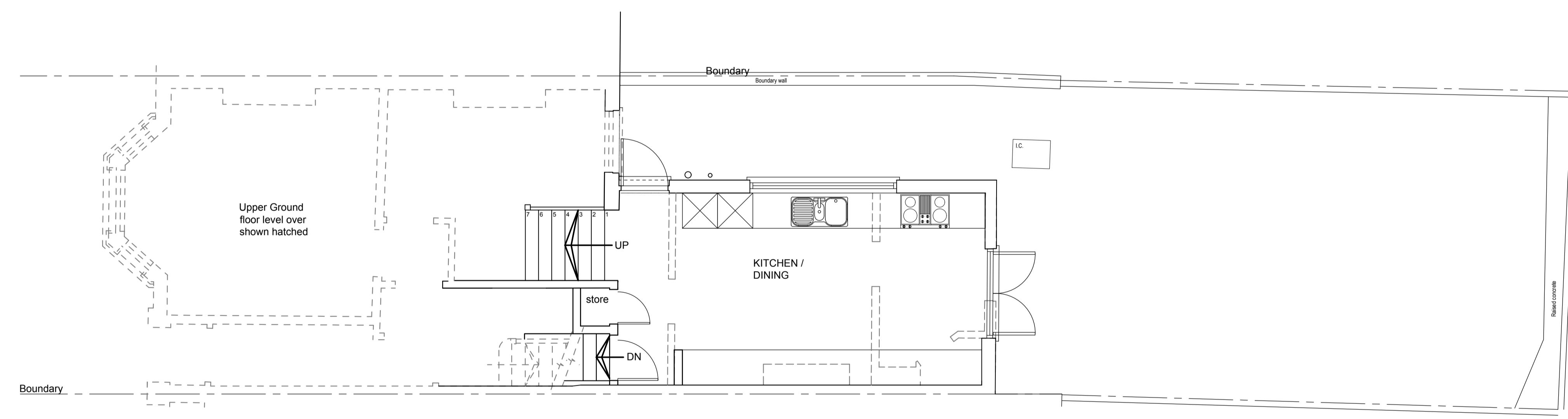
PROJECT NAME:  
13 Kylemore Road, London, NW6 2PT

DRAWING NAME:  
Existing:  
Side Elevation

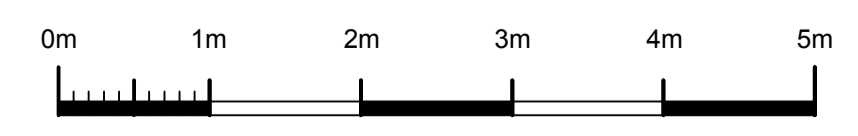
DRAWING NO:	REVISION:	JOB NO:	SCALE:	DATE:	DRAWN BY:
EX04		J14000	1:50@A1 / 1:100@A3	February 2015	SRP
T +44 (0)203 632 4678		E Info@cadproduct.com		Copyright of this drawing is owned by Cad Product Limited - do not reproduce or distribute without written consent.	



**PROPOSED BASEMENT FLOOR PLAN**



**PROPOSED LOWER GROUND FLOOR PLAN**



Rev.	Description	Drawn	Date
D	Revised light-well	RH	Nov 17
C	Issued for Planning	MPW	May 16
B	Revd to suit Clients comments	MPW	Nov 15
A	Revd to suit Clients comments	MPW	Nov 15

**PROJECT**  
**13 KYLEMORE ROAD,**  
**LONDON,**  
**NW6 2PS**

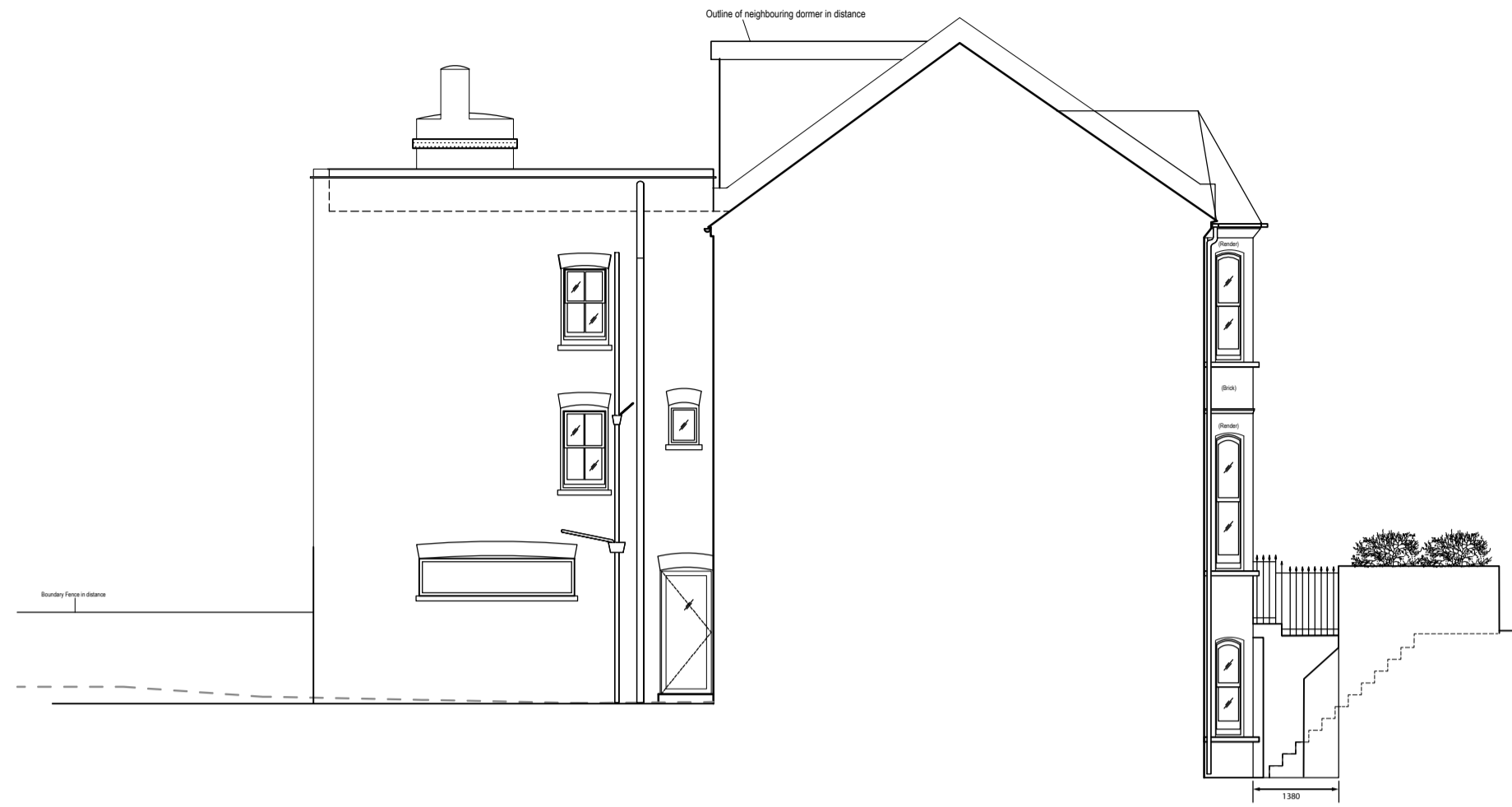
**TITLE**  
**PROPOSED PLANS**  
  
**SHEET 1 OF 2**

**MW** Design & Consulting Limited  
 Consulting Structural Engineer & Building Design Consultant  
 Churchfield House, Churchfield Road, Chalfont St Peter, Bucks, SL9 9EW  
 T 01753 888587 M 07528 462170 E enquiries@mwdesignconsult.co.uk

Scale	Date
150, at A1	Drawn
Drw No.	Rev.
141040_N1A	D

SIZE: A1





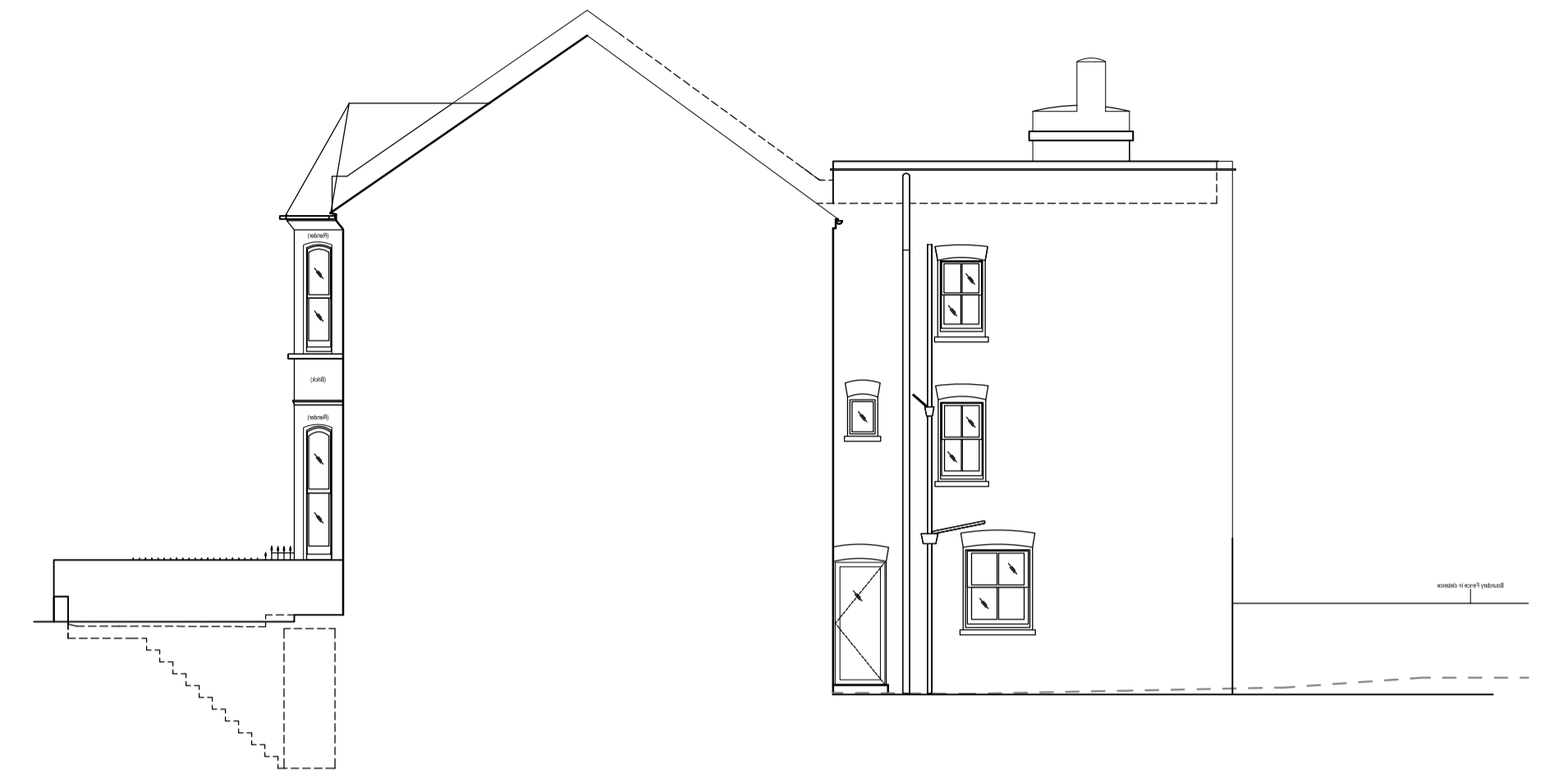
PROPOSED LEFT SIDE ELEVATION



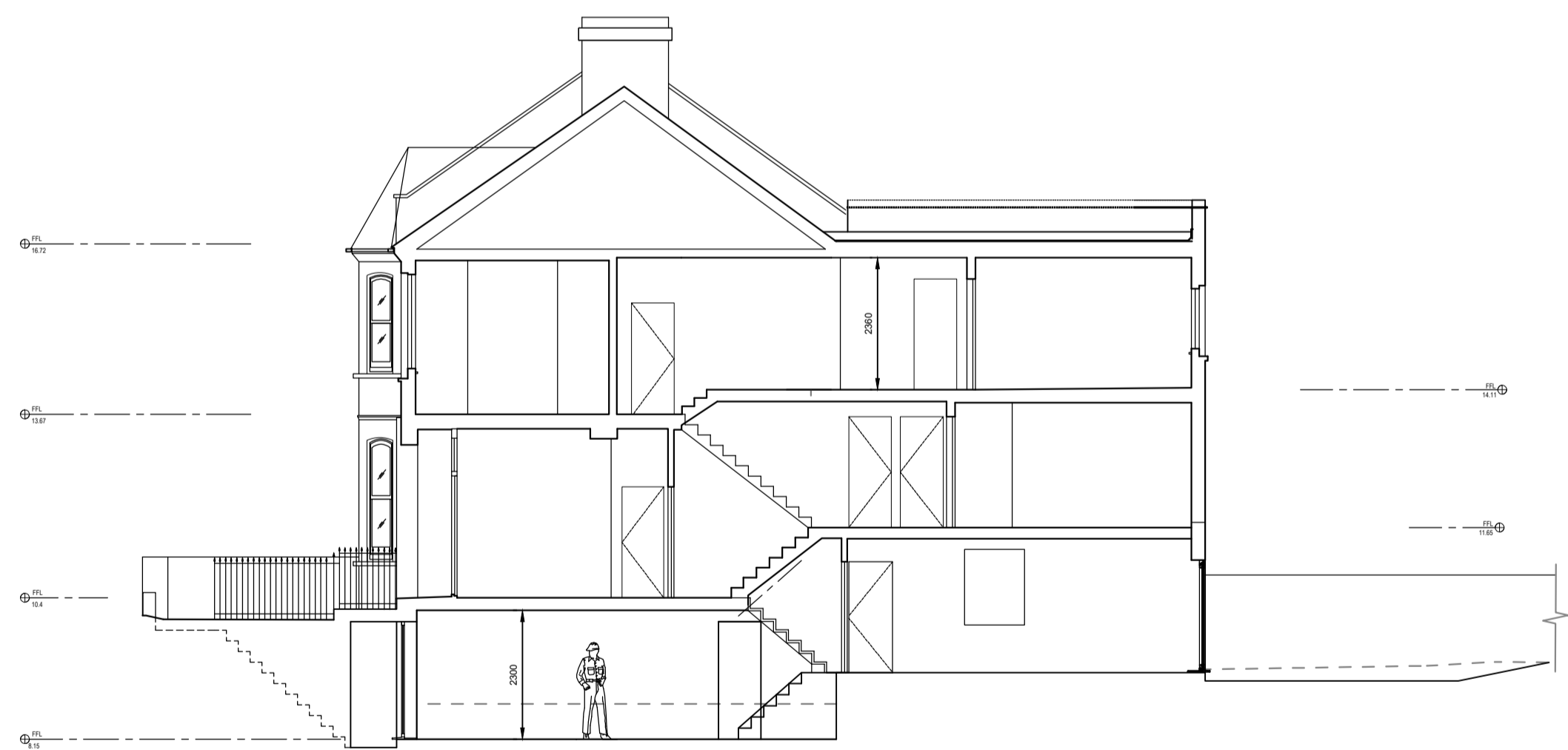
PROPOSED FRONT ELEVATION



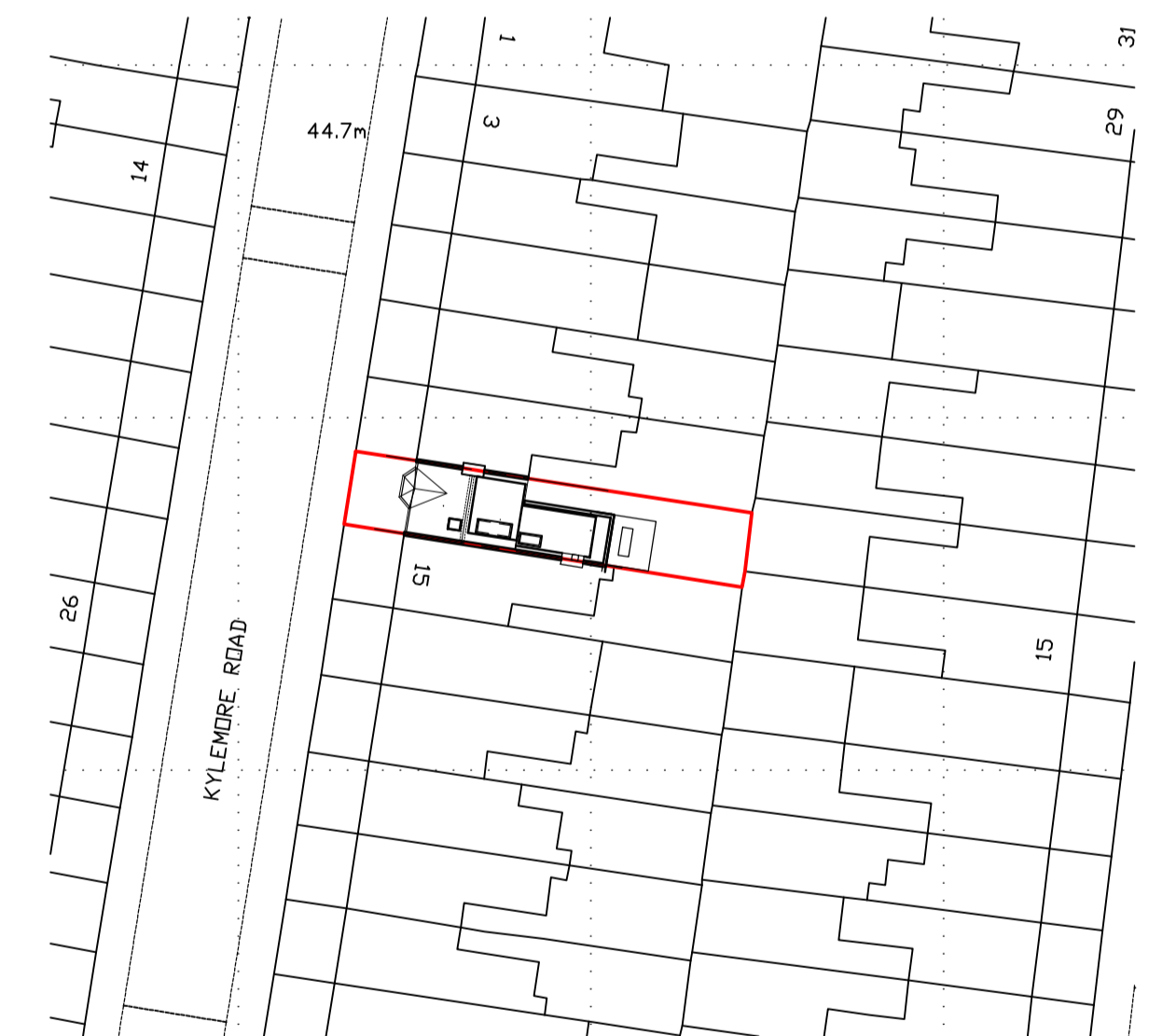
PROPOSED REAR ELEVATION



PROPOSED RIGHT SIDE ELEVATION



PROPOSED SECTION AA



0m 25m SCALE BAR AT 1:500

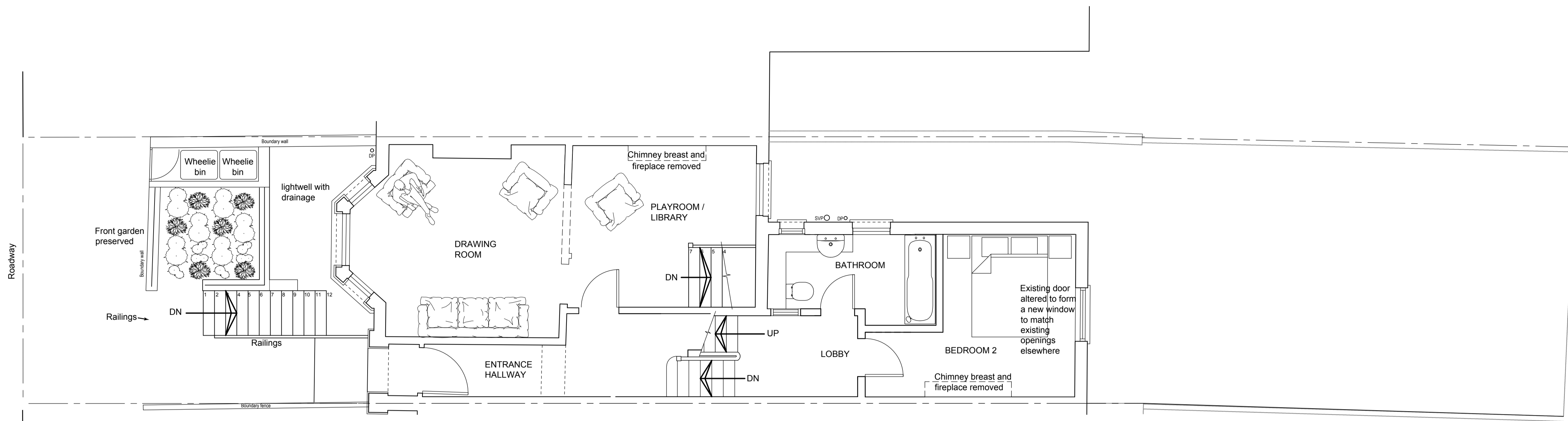
Rev.	Description	Drawn	Date
D	Revised light-well	RH	Nov 17
C	Issued for Planning	MPW	May 16
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PROJECT  
**13 KYLEMORE ROAD,**

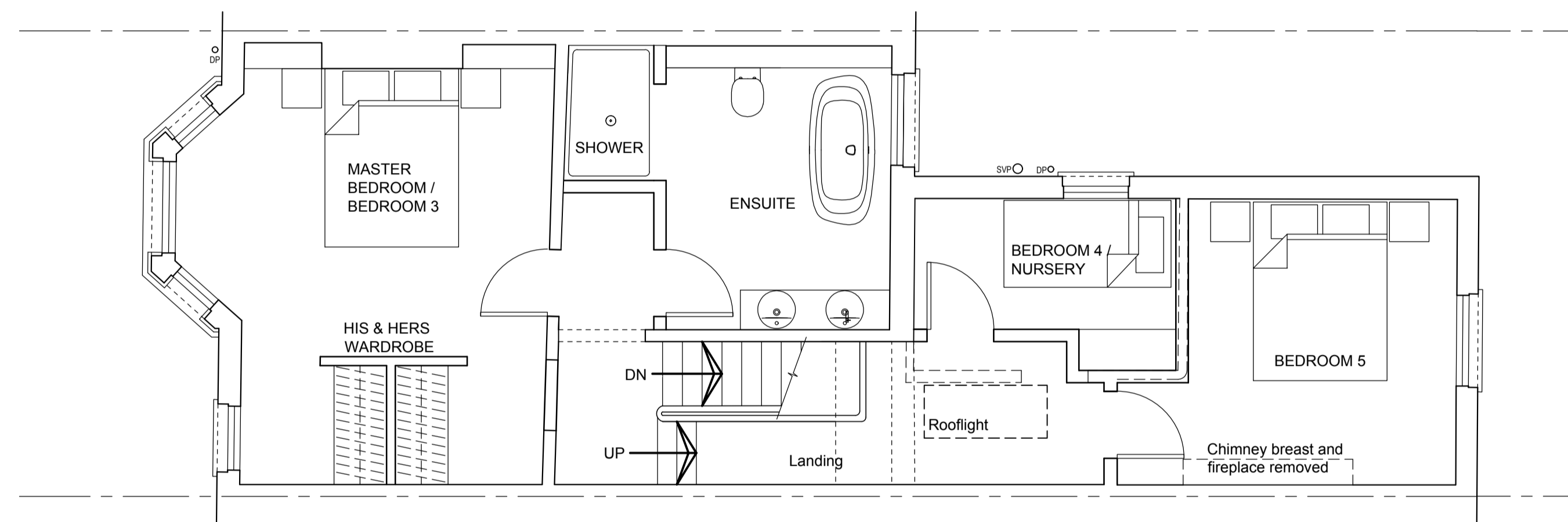
TITLE  
**PROPOSED ELEVATIONS AND SECTION  
SITE LOCATION PLANS**

**MW** Design & Consulting Limited  
Consulting Structural Engineer & Building Design Consultant  
Churchfield House, Churchfield Road, Chalfont St Peter, Bucks, SL9 9EW  
T 01753 888587 M 07528 462170 E enquiries@mwdesignconsult.co.uk

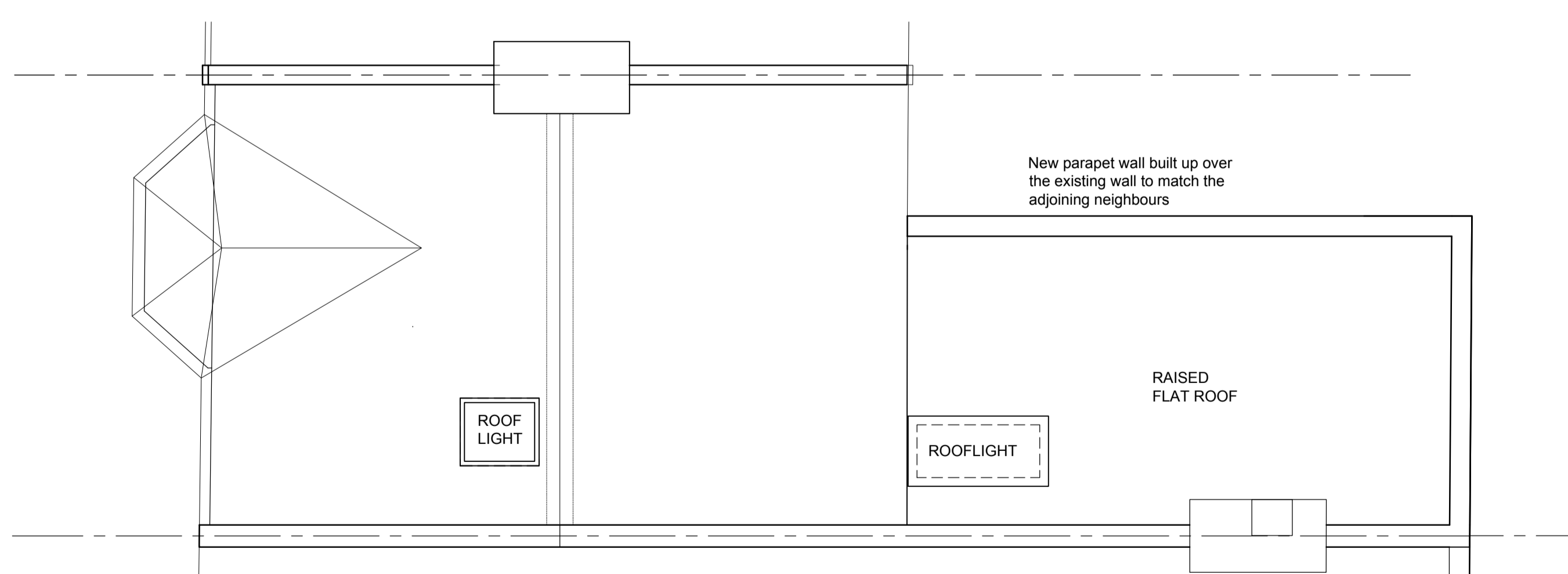
Scale	Date
1:100, at A1	Drawn
Drg No.	Rev.
141040_N1C	D



**PROPOSED UPPER GROUND FLOOR PLAN / LOWER FIRST FLOOR PLAN**



**PROPOSED UPPER FIRST FLOOR PLAN / LOWER SECOND FLOOR PLAN**



**PROPOSED ROOF PLAN**



Rev.	Description	Drawn	Date
D	Revised light-well	RH	Nov 17
C	Issued for Planning	MPW	May 16
B	Revd to suit Clients comments	MPW	Nov 15
A	Revd to suit Clients comments	MPW	Nov 15

**PROJECT**  
**13 KYLEMORE ROAD,**  
**LONDON,**  
**NW6 2PS**

**TITLE**  
**PROPOSED PLANS**  
**SHEET 2 OF 2**

**MW** Design & Consulting Limited  
 Consulting Structural Engineer & Building Design Consultant  
 Churchfield House, Churchfield Road, Chalfont St Peter, Bucks, SL9 9EW  
 T 01753 888587 M 07528 462170 E enquiries@mwdesignconsult.co.uk

Scale	Date
150, at A1	Drawn
141040_N1B	Rev. D

SIZE A1





