

APPENDIX I

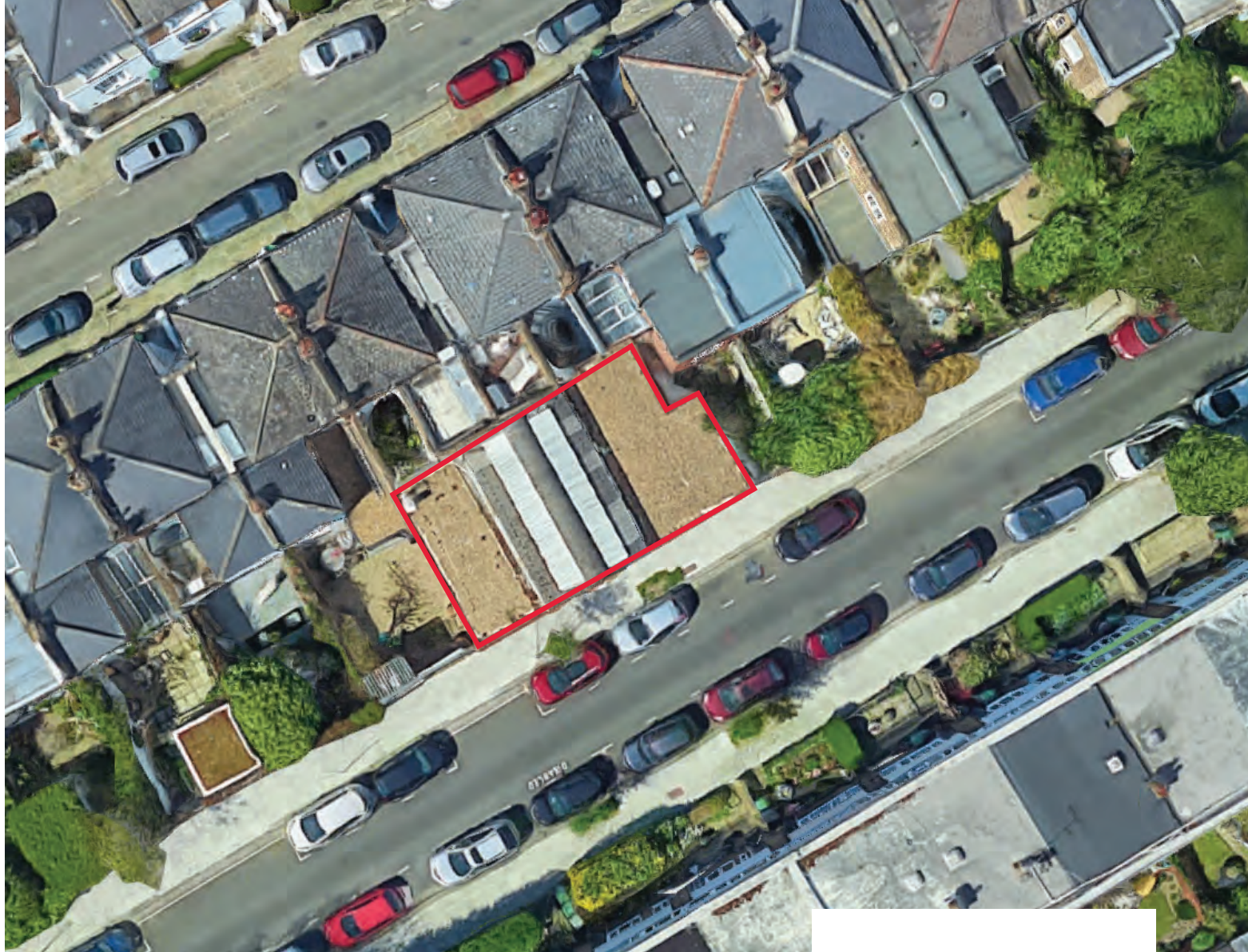
Location Plan

Aerial Photograph

Existing Site Layout Plan

Proposed Development Layout Plan

rev.	date	amendments	drawn	checked



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rev.	date	amendments		drawn	chckd

Client:

Studio Hatcham Architects

Project Title:

80 Lamble Street, London, NW5 4AB

Drawing Title:

Aerial

Scale at A3: | Date: 28/05/21 | Drawn by: | Approved by:

Job Ref: 21-422 | Drg no: | Rev:

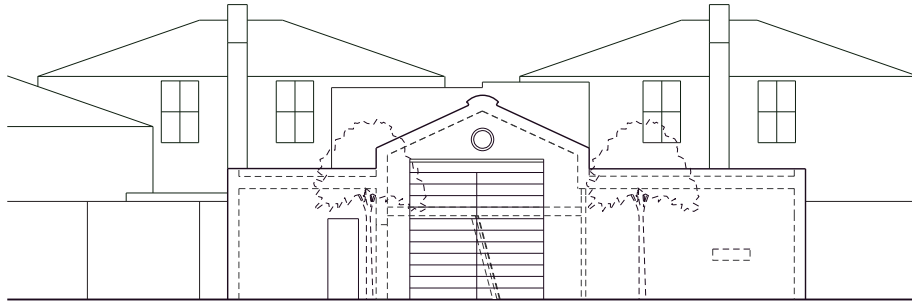


Fig 6: 80 Lamble St front elevation in situ

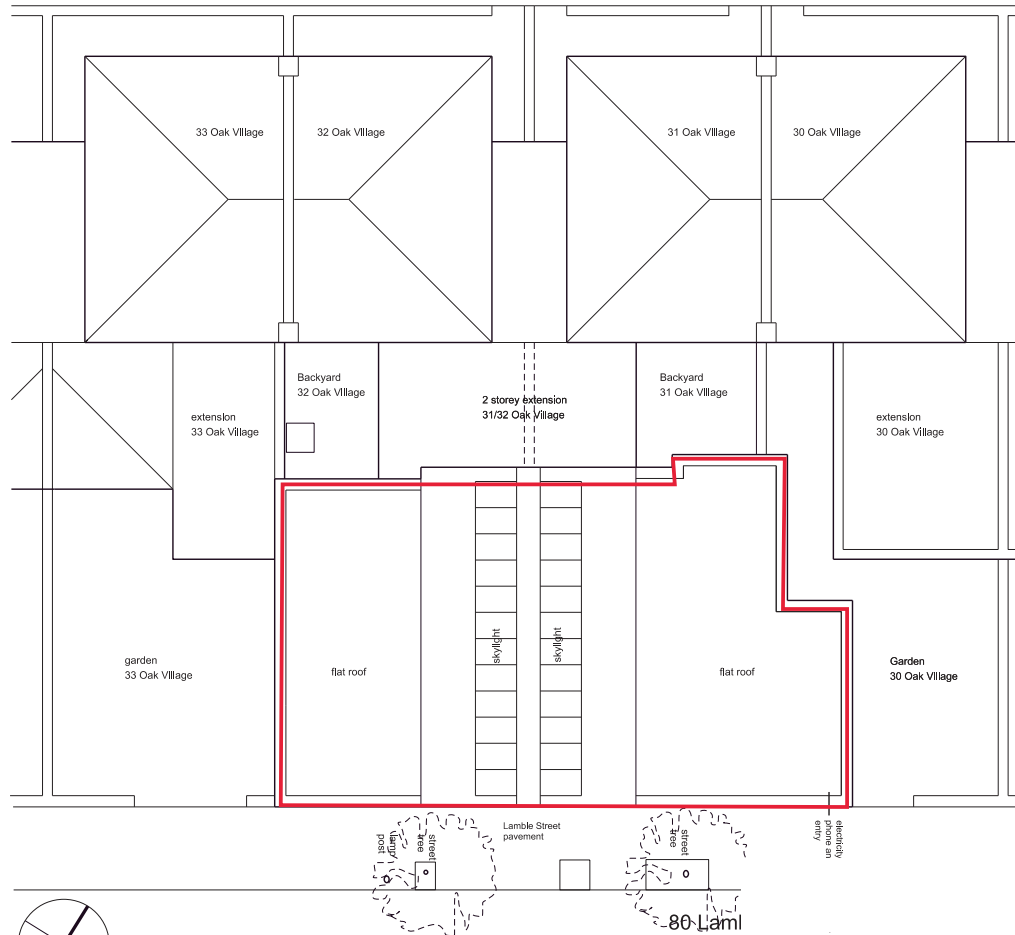


Fig 7: 80 Lamble St roof plan in situ

Existing Lamble St Elevation (in situ)
Existing Roof Plan (in situ)
1:100 @ A3
December 2019



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Existing

Scale at A3:	Date:	Drawn by:	Approved by:
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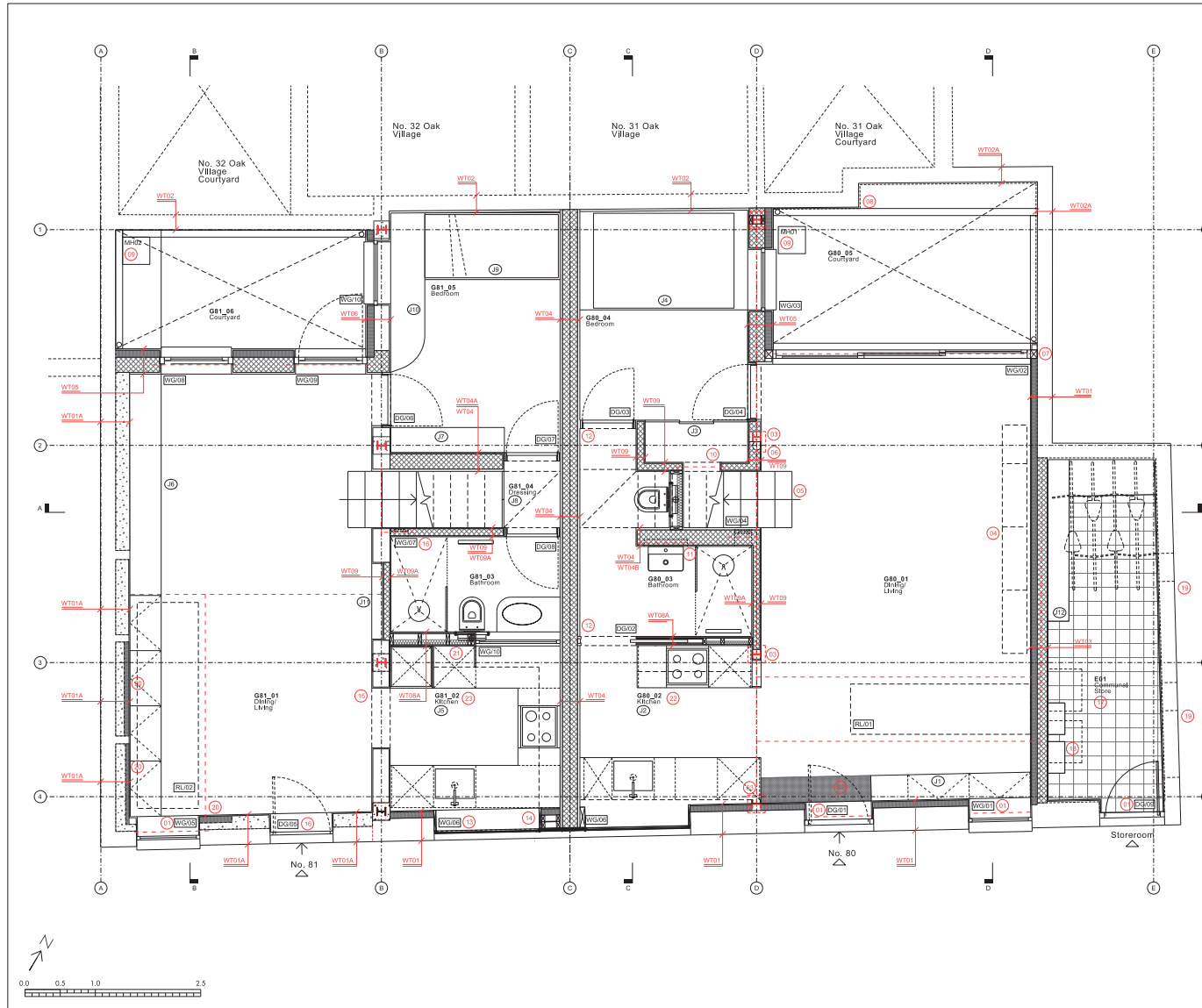
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Notes
All works to be in accordance with Current building regulations and to be Read and constructed in conjunction with a schedule of works document and structural engineer's information. All demolition to be approved by structural engineer prior to commencement.
01 New opening formed for window door. See door, window & rooflight schedule for more information. All works to be in accordance with Current building regulations and to be Read and constructed in conjunction with a schedule of works document and structural engineer's information. All demolition to be approved by structural engineer prior to commencement.
02 Call out for Bath to floor finish adjacent. Note to correct services channel.
03 Steelwork to be left exposed as existing, and treated as required to meet Building Regulations. 10mm shadowgap between steel and adjacent floor.
04 Client supplied shelving. Contractor to allow to fit.
05 Lower two levels of stairs to be targeted to allow for storage space.
06 Depth of brickwork wall increased to allow for bedroom side to align with external face of courtyard wall adjacent.
07 Steel posts to support new glazing system to Structural Engineer's details. Posts to be positioned either side of doors and increased into wall to allow for Bath reveal. Posts to support steel beam above, and set on foundations below. (If Structural Engineer's details).
08 Courtyard walls to No. 80 to be finished with mirror to Client details. Contractor to allow to fit mirror, with coping to ramped above extended over top of mirror wall join as required to ensure weatherproof wall.
09 New manhole to connect to drainage runs. See drainage drawings for further details. Contractor to consult with Thames Water using previous drawings for manhole.
10 Opening in brickwork wall to allow for storage below stairs to Structural Engineer's details.
11 Mirror fronted cabinet to bathroom (also top) to be set into brickwork wall, with front finish with floor finish adjacent.
12 Opening to allow for cabinet formed to Structural Engineer's details.
13 Door frame reveal to be set into Bath with floor finish, to allow for seamless partition wall from front to back of No.80. Contractor to provide a Bath frame is not achievable.
14 Existing central window system to front elevation retained, and modified to suit new internal scheme. See door window & rooflight schedule for more information.
15 Blowing frame window to allow for high level kitchen units to run the plan.
16 Finish of chimney to run into kitchen.
17 Existing central door to No. 81 retained. Contractor to allow to check inclusions, and fit new lock.
18 Wall and ceiling of central stairs retained as existing, with wall to be left to paint only. Floor to be left as floor and wall to be left to paint only.
19 New kitchen to be formed. See mechanical drawings for further details.
20 High level windows retained as existing. Contractor to allow to weight clean only.
21 Wall to be left to paint only. Contractor to allow to weight clean only. Note of work retained to suit difference in wall depth. Insulation to be left in place for retention in existing structure.
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Revision:
Rev. Date Desc.
15.04.21 Information Issue

80 Lamble Street
London
NW5 4AB

Proposed:
Ground Floor Plan

Dwg 0072_40_10
Rev 1
Scale 1:25 @ A1
1:50 @ A3

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rev.	date	amendments	drawn	chkd

Client:
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Project Title:
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