



79 AVENUE ROAD

ADDENDUM B

INTRODUCTION

1. REAR ELEVATION

The proposed rear elevation maintains at first floor the classical elements of the original design, with sash windows, French doors, red brick and use of natural stone for the windows surrounds and cornices. A central, small terrace is introduced to the Master Bedroom to provide an external space from where enjoy the views of the rear garden. The terrace is located away from the building's perimeter and prevents overlooking issues into neighbour's gardens.

The proposed ground floor rear elevation retains the magnificence of the natural stone and white render details with a central square bay. It is proposed to have more simple and contemporary doors for a better view and connection to the garden.

The overall appearance of the building looks harmonious and in line with the local settings, with a traditional and classical design of the overall building and a subtle modern touch at ground floor.

The adjustment in the rear façade has been designed so that the area has not been increased, the overall GIA will remain the same.

2. SIDE NORTH ELEVATION

An additional traditional sash window is proposed to the side elevation above the garage to allow for natural light to the lounge area at first floor. It is proposed to have a double door to access the first floor terrace, which is symmetrically located in between the two windows.

All the windows on the side elevations, including the additional window, are proposed to have obscured glazing and restricted opening.

3. SKYLIGHT

At ground floor in the rear terrace combining the 3 consented smaller skylights into a single large skylight. In addition a rooflight has been proposed simmetrically on the opposite side of the terrace to maximise the natural light into the rooms at basement level.

FIG. A - SITE

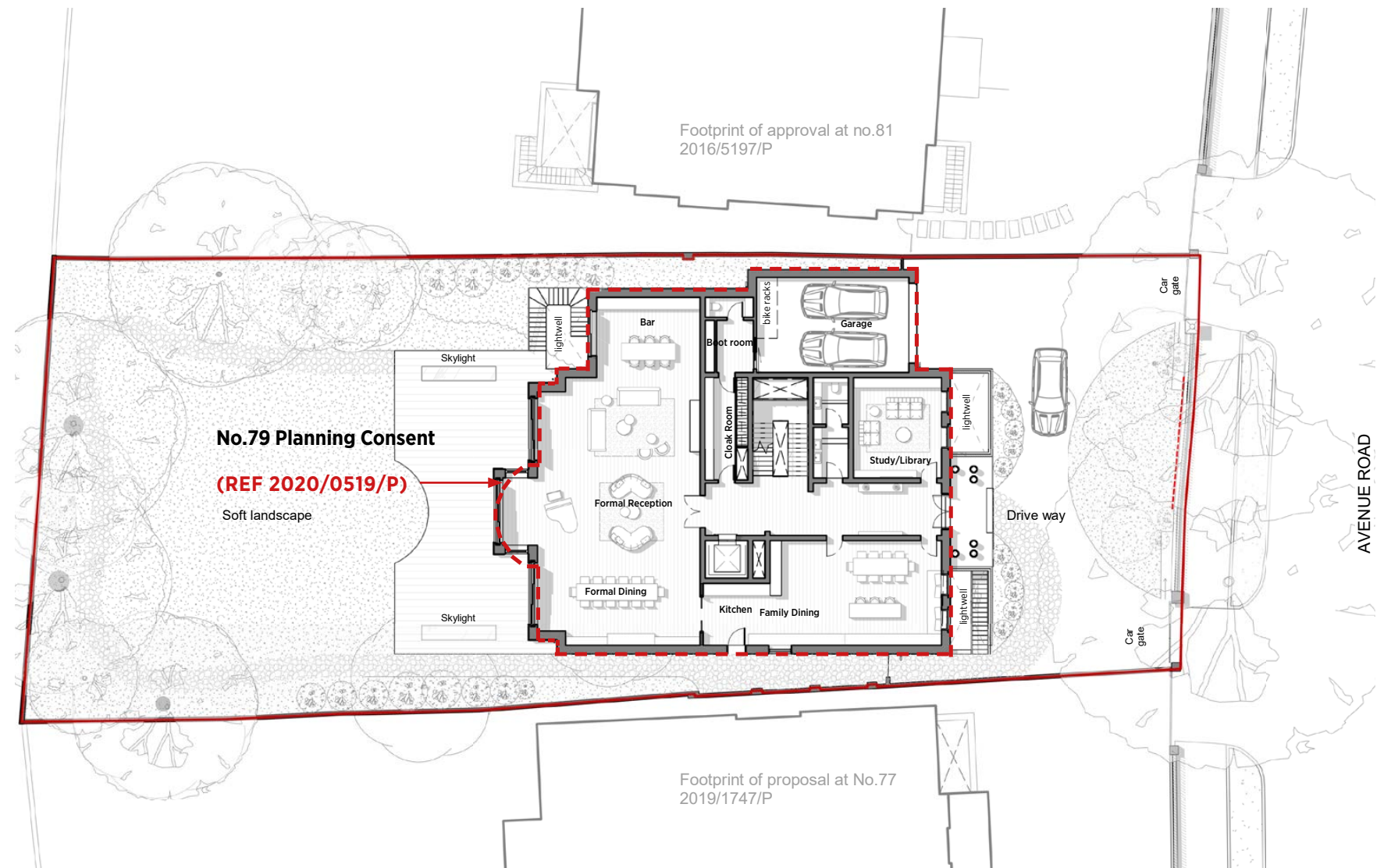
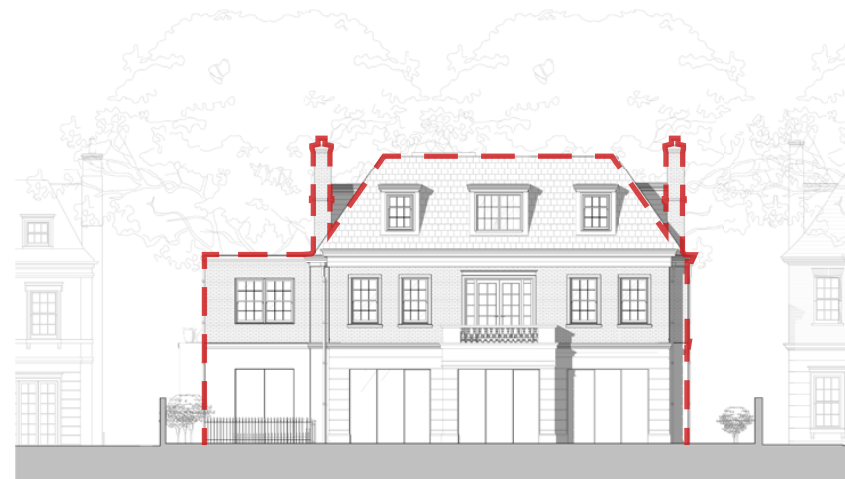


FIG. B - REAR ELEVATION



INTRODUCTION

4. BASEMENT

It is proposed to infill the cut-out basement corner to allow for extra plant room area at basement level. The proposed footprint will allow for a continuous piling line and a more rational structural approach.

It is also proposed for the lift to serve the basement level and therefore the lift pit is relocated just under the basement slab.

5. ROOF

To simplify the details and construction of the roof, it is proposed to eliminate the cranking detail at the base of the roof and to have a single pitch roof instead. This amendment will allow for the natural slates to sit more comfortably on the roof outline, avoiding difficult detailing.

FIG. C - BASEMENT

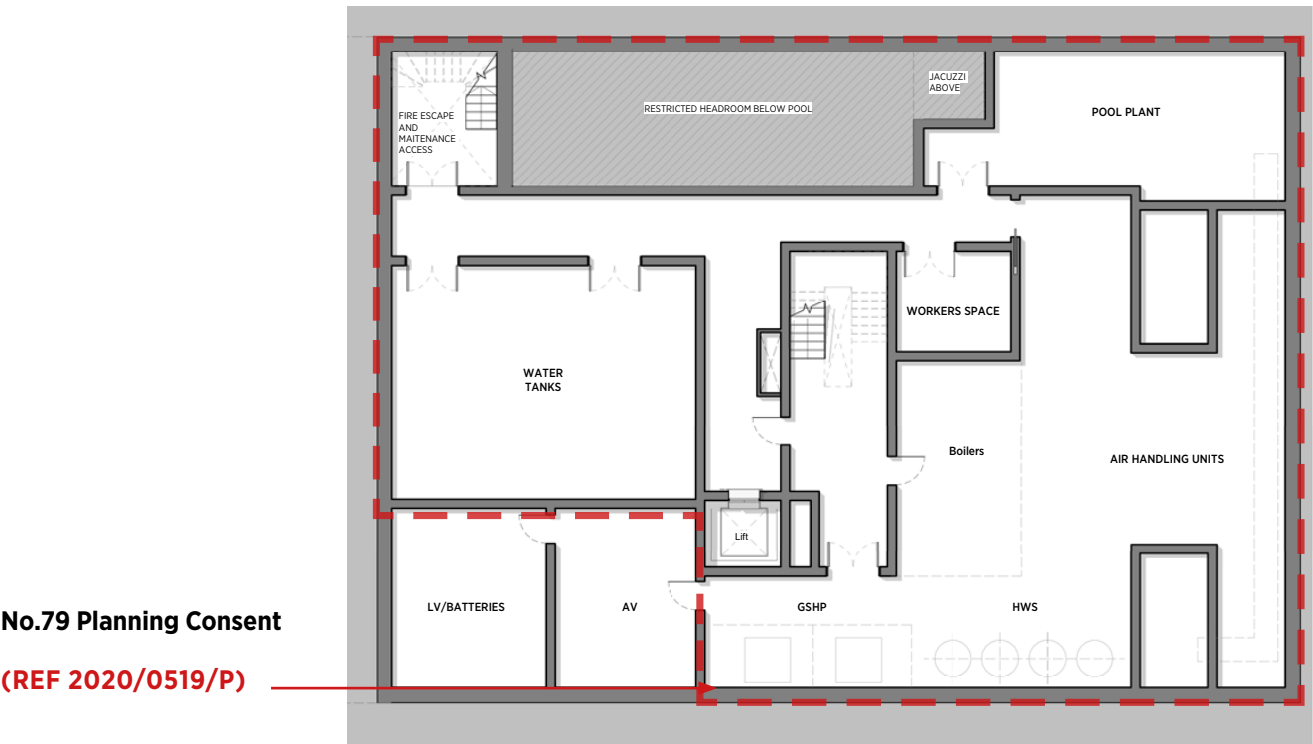
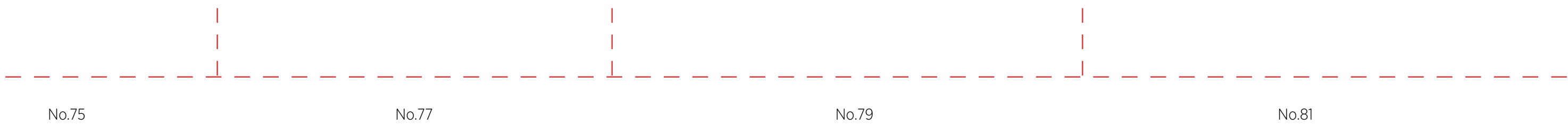


FIG. D- SECTION

SITE PLAN



STREET ELEVATION



No.75

No.77

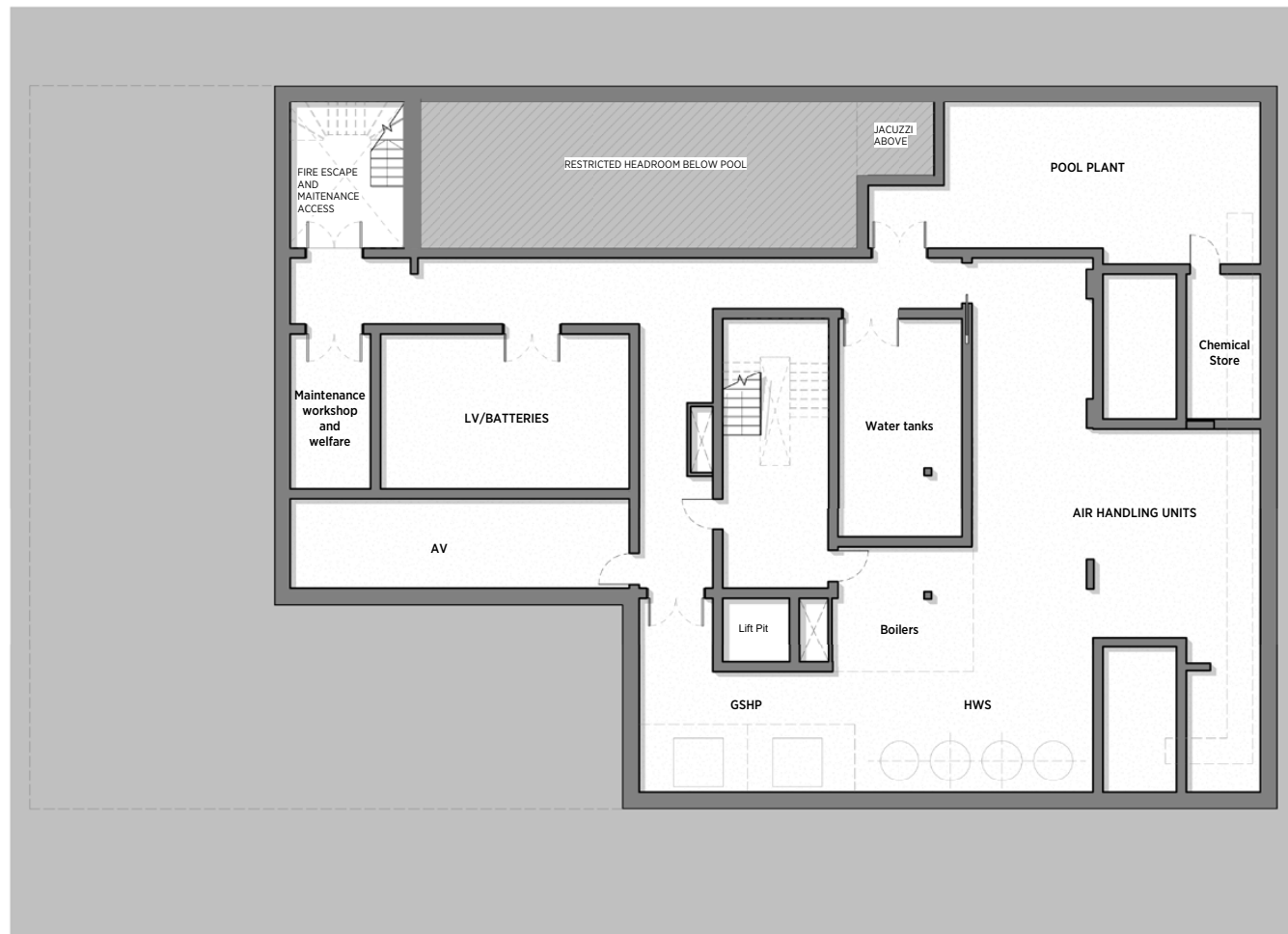
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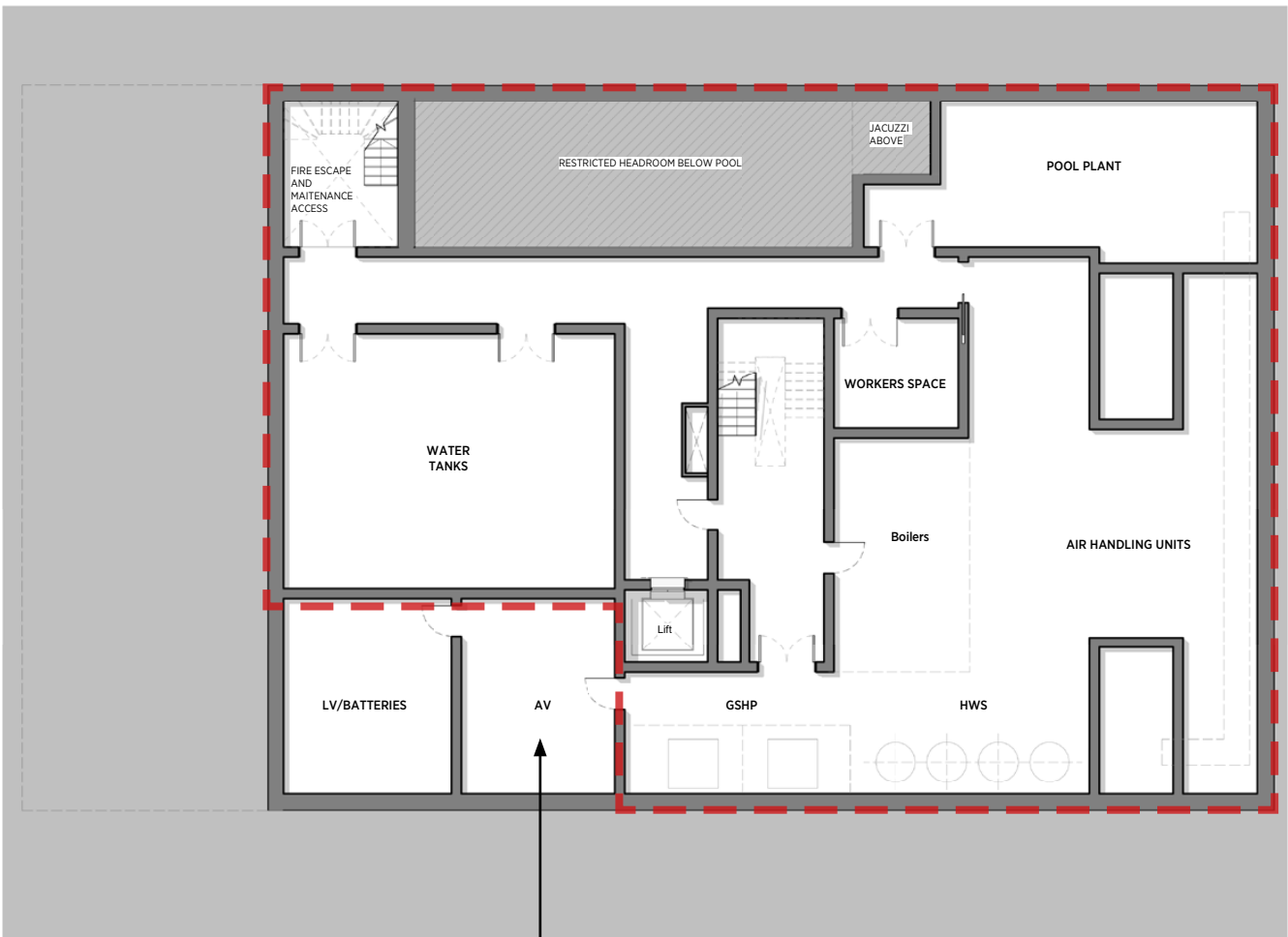
PROPOSED

— — — LINE OF CONSENTED HOUSE

BASEMENT



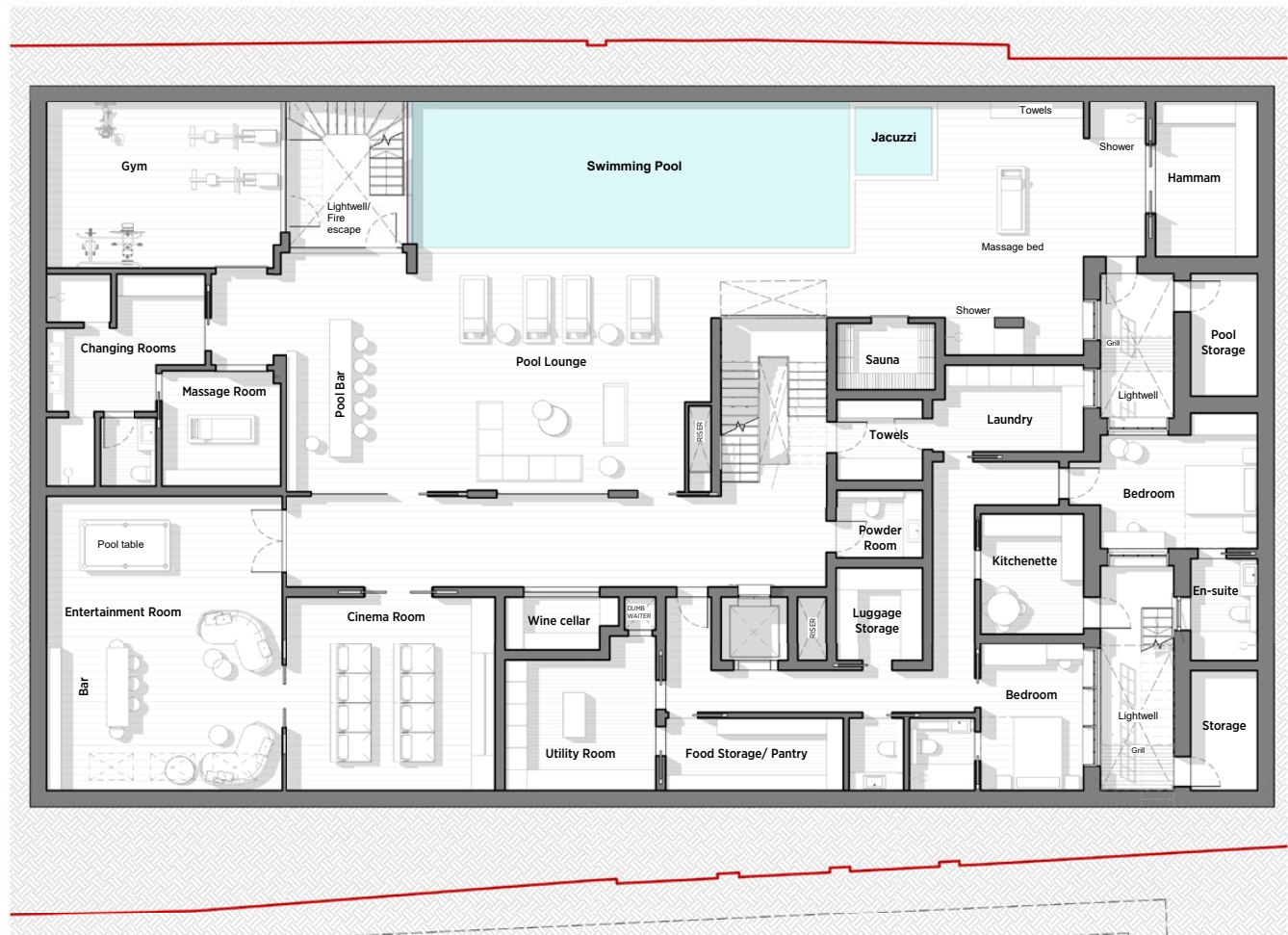
CONSENTED
(REF 2020/0519/P)



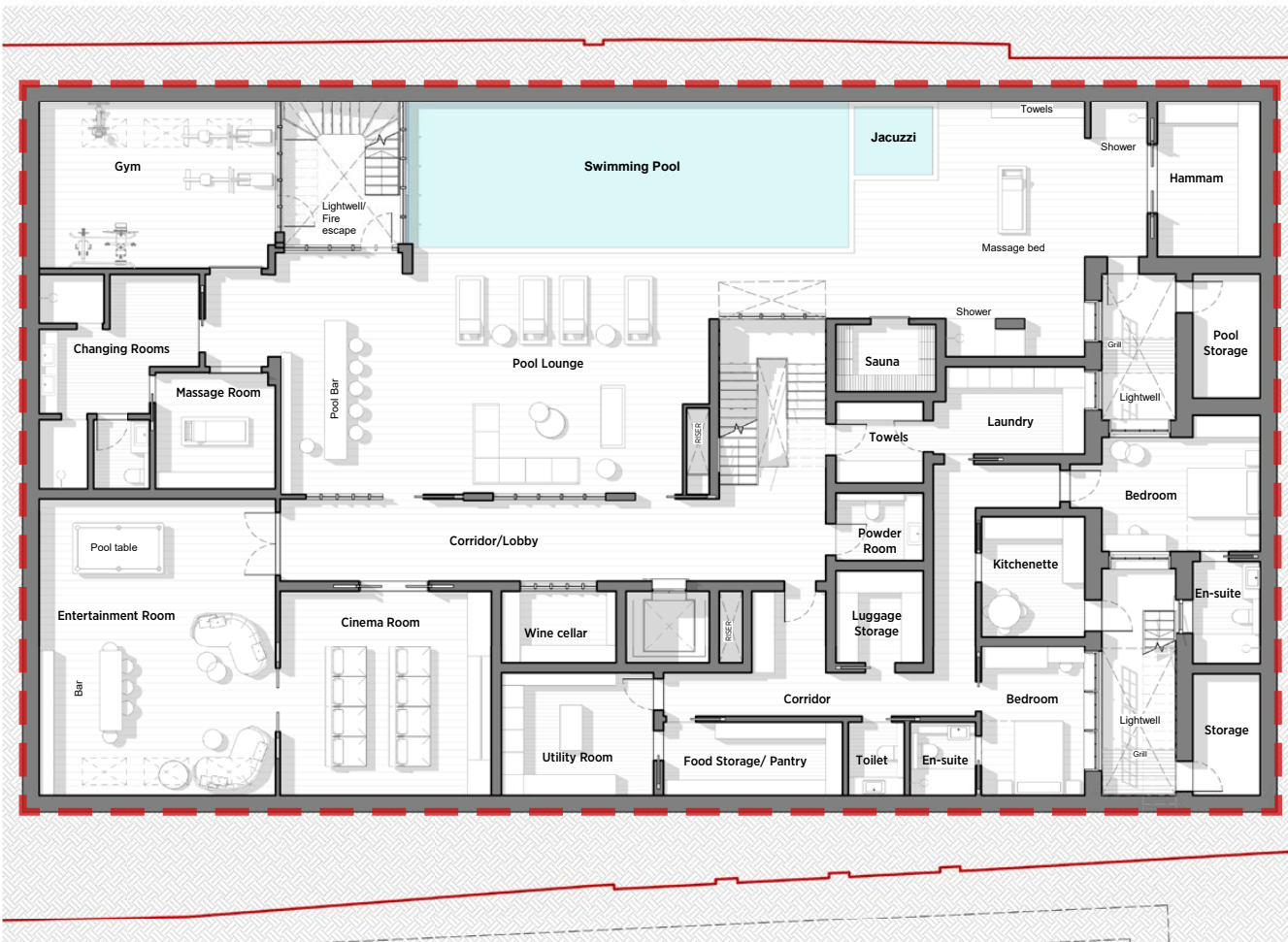
Basement infill to provide a more
rational structural layout and piling

PROPOSED
— — — LINE OF CONSENTED HOUSE

LOWER GROUND FLOOR

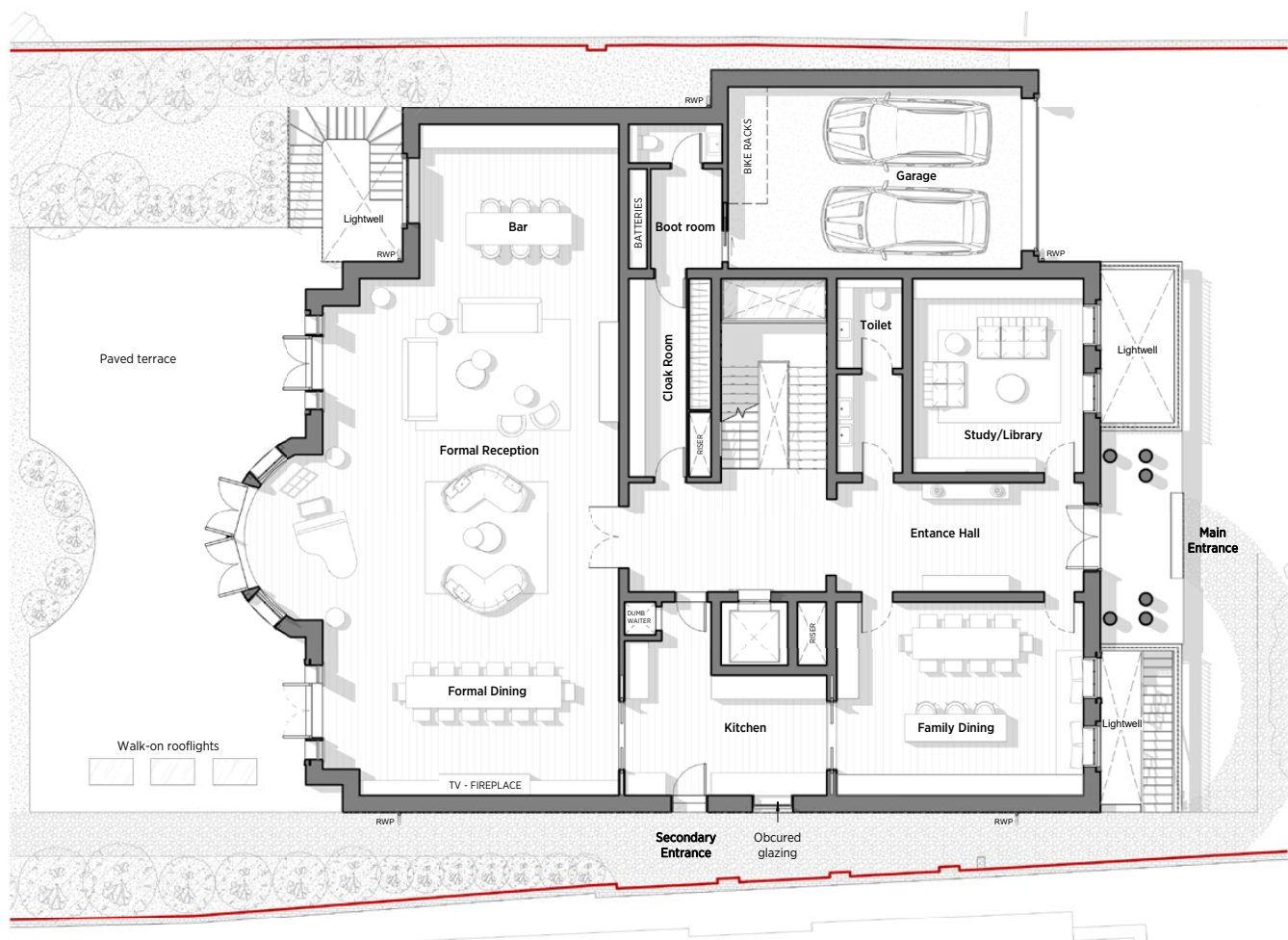


CONSENTED
(REF 2020/0519/P)



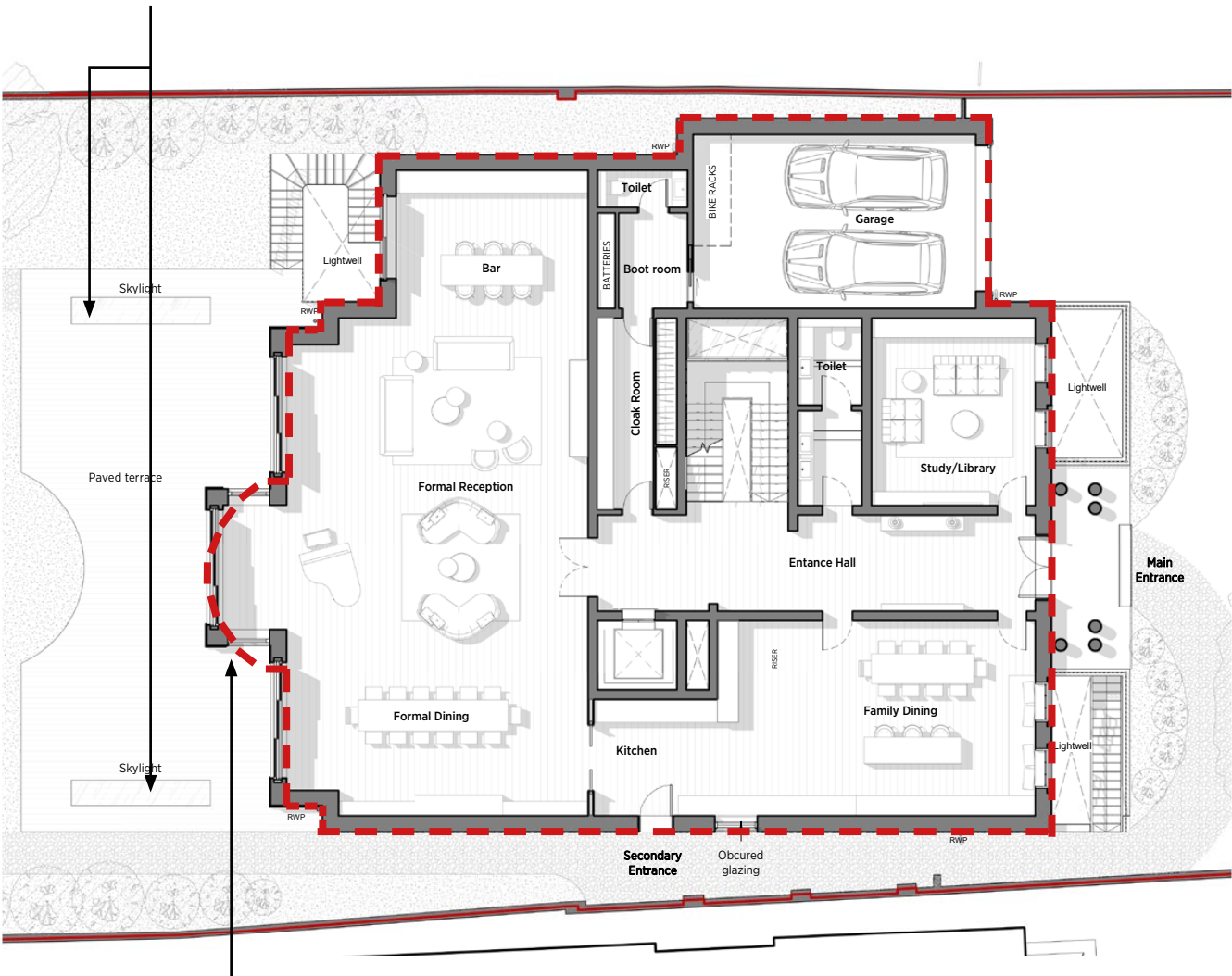
PROPOSED
--- LINE OF CONSENTED HOUSE

GROUND FLOOR



CONSENTED
(REF 2020/0519/P)

Single large rooflight and an additional rooflight providing more natural light to the basement



Square bay and contemporary sliding doors to increase connection to the rear garden, and natural light into the internal spaces

PROPOSED
--- LINE OF CONSENTED HOUSE

FIRST FLOOR



CONSENTED
(REF 2020/0519/P)

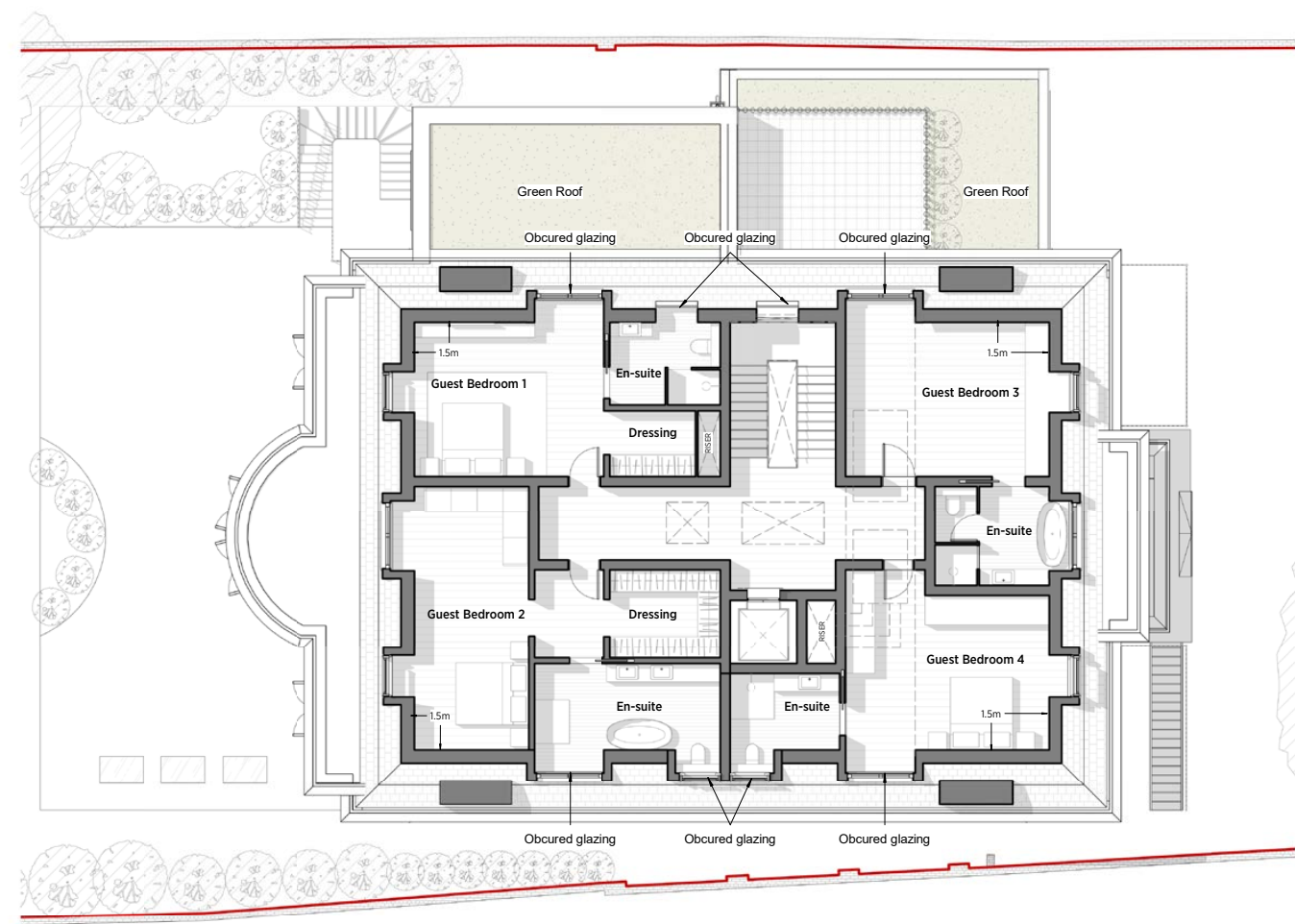
Centralised terrace and French doors add symmetry
to the facade and natural light to the internal space
whilst providing more privacy to the En-suite



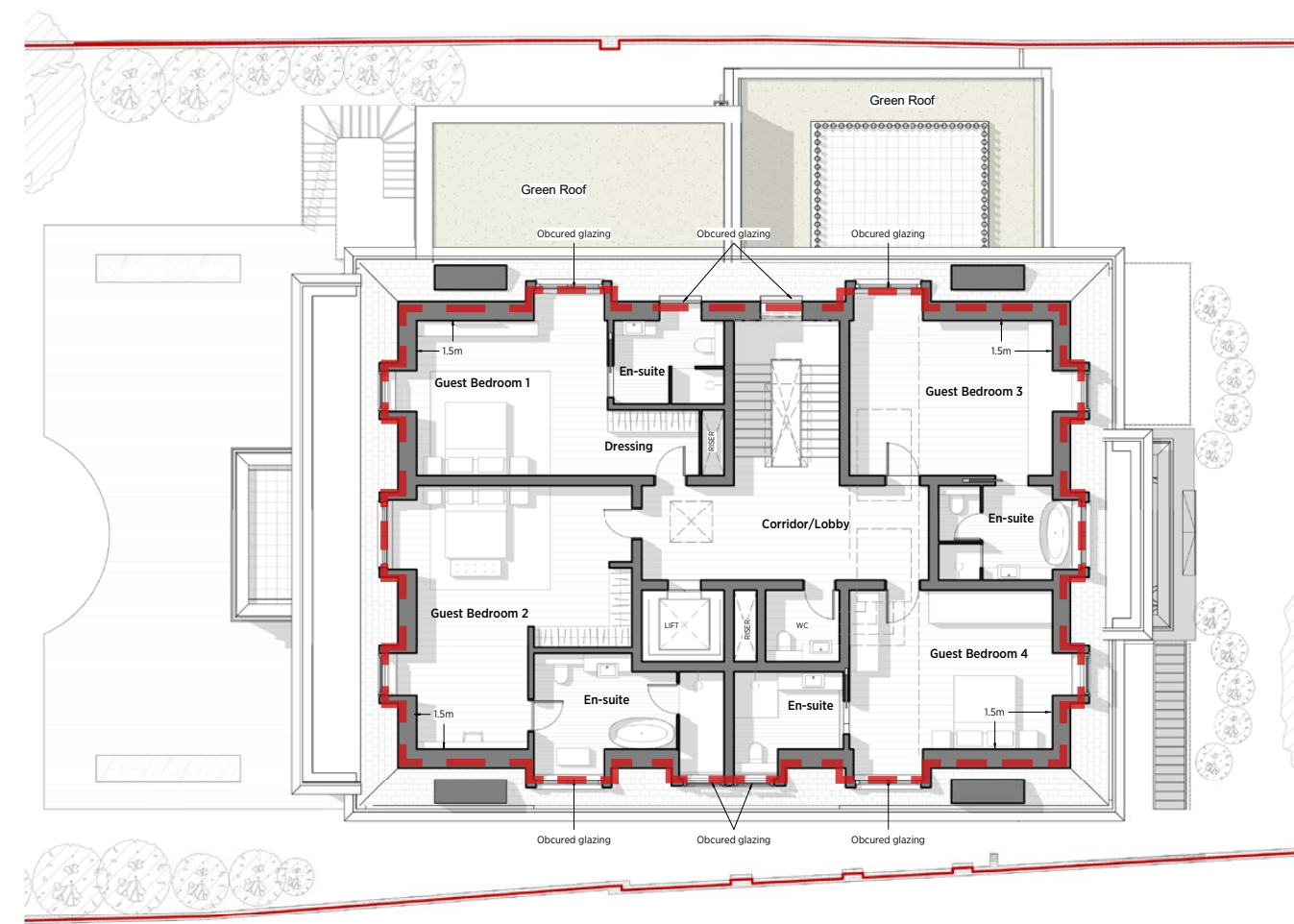
Small terrace off of the master bedroom
provide views to the rear garden

PROPOSED
— — — LINE OF CONSENTED HOUSE

SECOND FLOOR

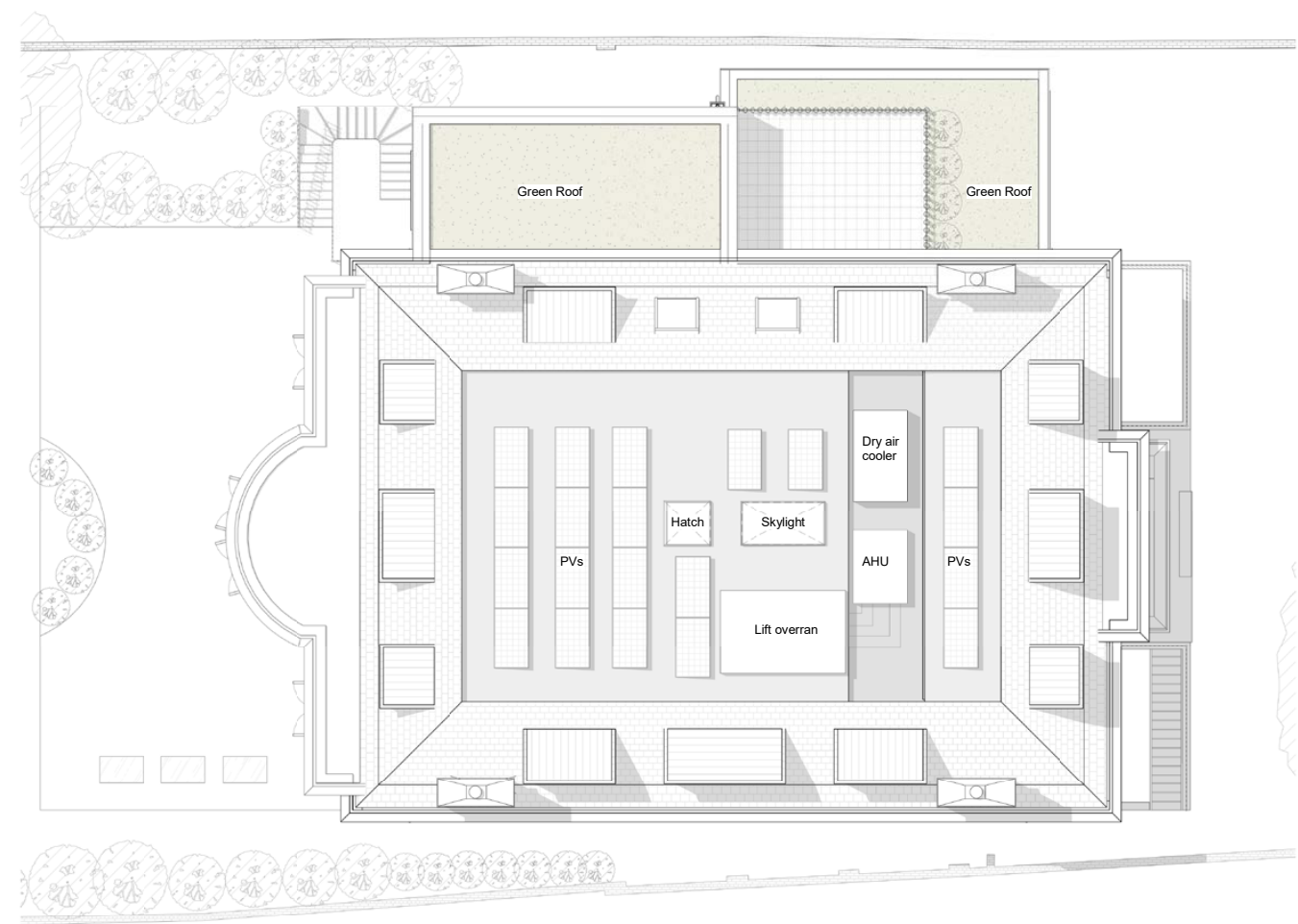


CONSENTED
(REF 2020/0519/P)

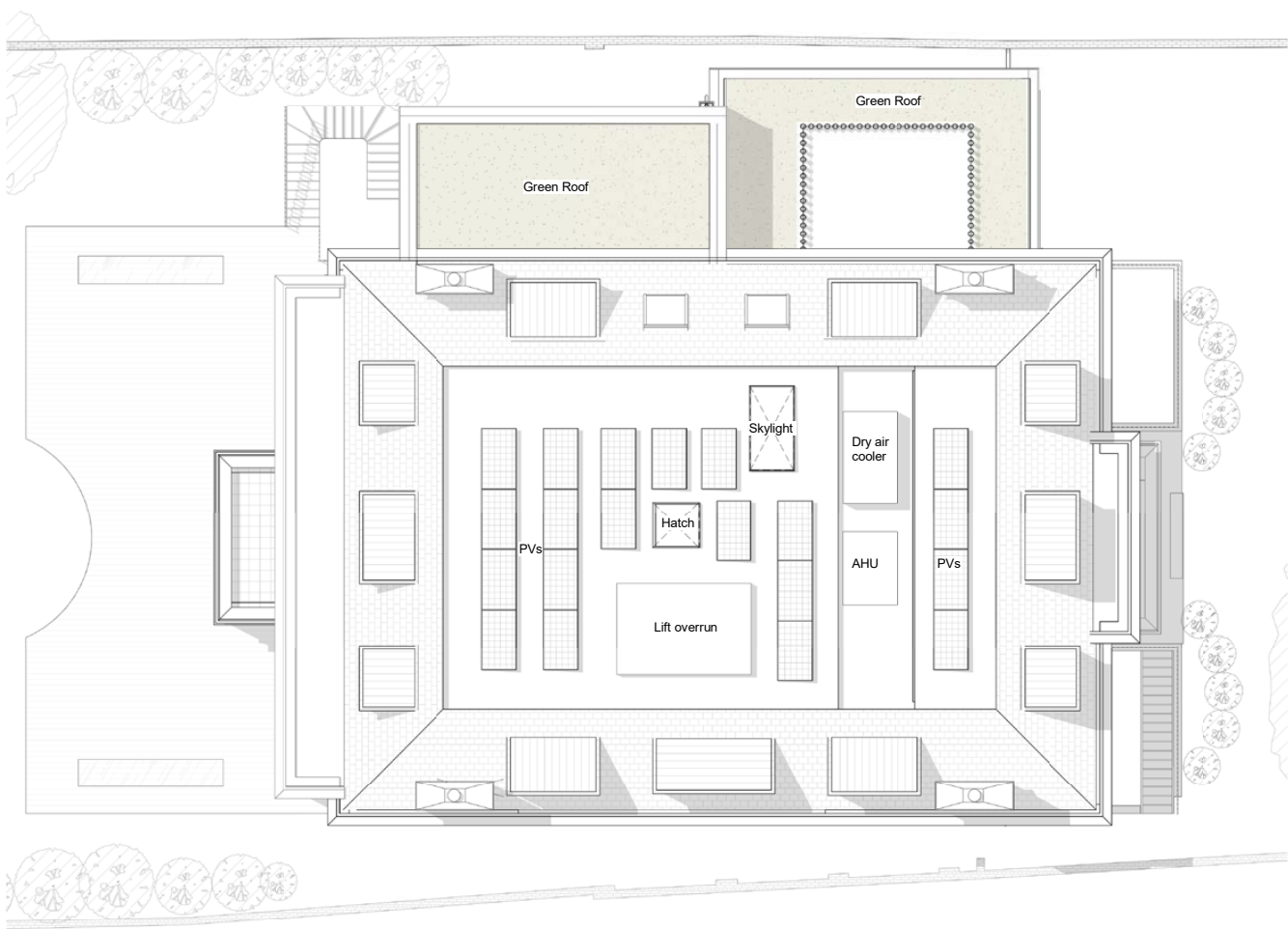


PROPOSED
— — — LINE OF CONSENTED HOUSE

ROOF



CONSENTED
(REF 2020/0519/P)



PROPOSED
— — — LINE OF CONSENTED HOUSE

FRONT ELEVATION



CONSENTED
 (REF 2020/0519/P)

Single pitch roof



PROPOSED

— — — LINE OF CONSENTED HOUSE

REAR ELEVATION



CONSENTED
(REF 2020/0519/P)



PROPOSED
— — — LINE OF CONSENTED HOUSE

SIDE (SE) ELEVATION

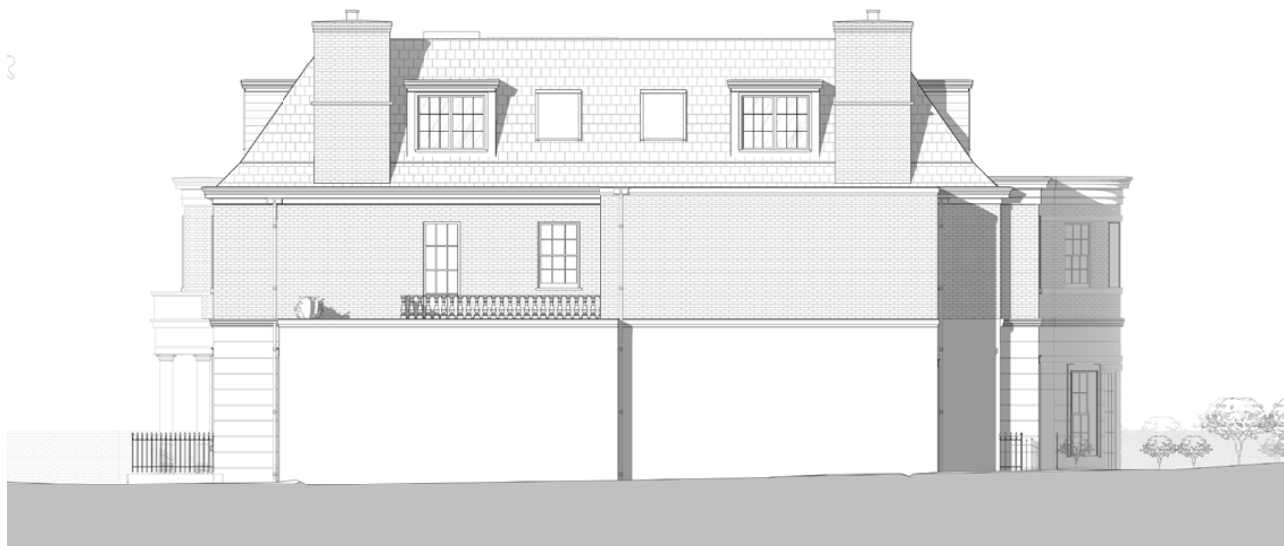


CONSENTED
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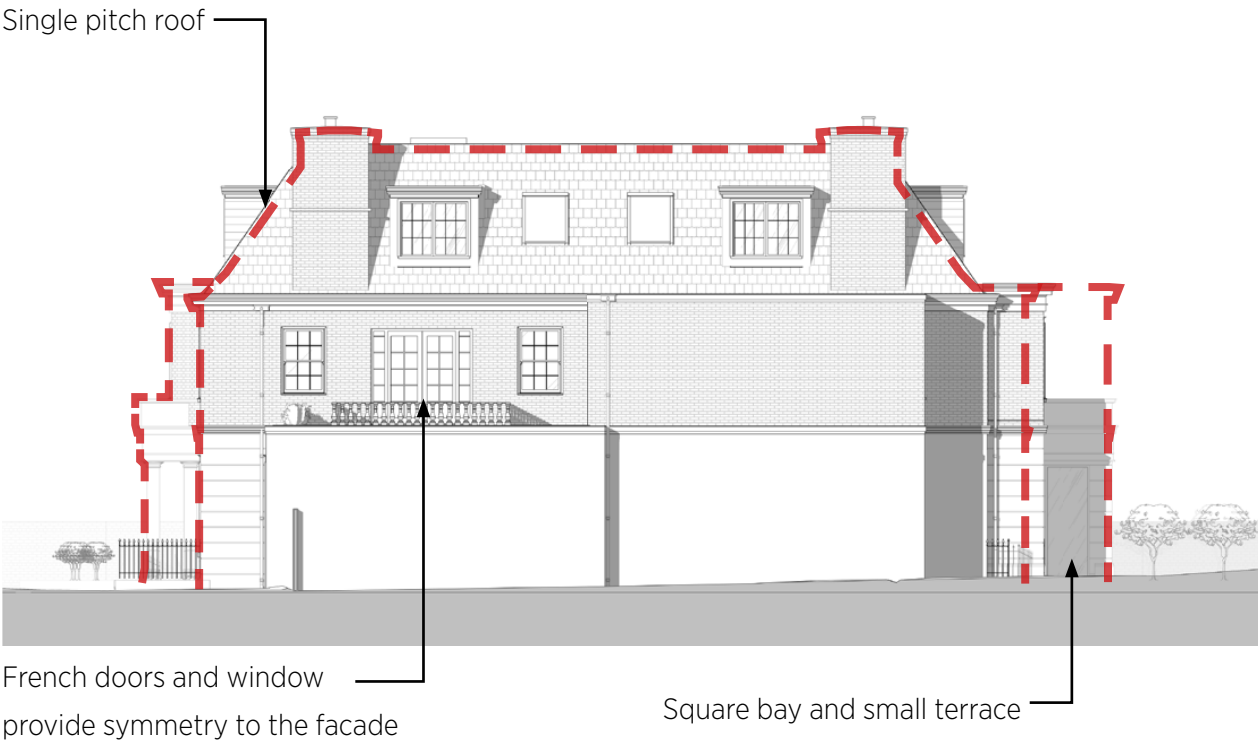


PROPOSED
— — — LINE OF CONSENTED HOUSE

SIDE (NW) ELEVATION



CONSENTED
(REF 2020/0519/P)



PROPOSED
— — — LINE OF CONSENTED HOUSE

SECTION BB



CONSENTED
(REF 2020/0519/P)



Basement infill for additional —
plant and rationalizing piling line

PROPOSED

LINE OF CONSENTED HOUSE

AREAS

CONSENTED GIA REF. 2019/1747/P

FLOOR	AREA (m²)	AREA (sqft)
POOL	437.3	4707
LGF	579.8	6241
GF	377.0	4058
1F	335.5	3611
2F	216.0	2325
TOTAL	1945.6	20942

PROPOSED GIA

FLOOR	AREA (m²)	AREA (sqft)
POOL	488.3	5256
LGF	579.8	6241
GF	381.0	4101
1F	333.0	3584
2F	217.0	2330
TOTAL	1999.1	21512

Areas are approximate only and have been measured from Planning Application/ Concept drawings as noted above.

Areas are measured and calculated generally in accordance with the RICS Code of Measuring Practice (6th Edition).

GIA excludes areas with an headroom of less than 1.5m.

Areas are measured in metric units with a factor of 10.764 applied to convert to imperial.

Construction tolerances, workmanship and design by others may affect the stated areas.

Existing buildings may present anomalies in relation to surveyed/ drawn plans that may also affect the stated areas.

All these factors should be considered before making any decisions on the basis of these predictions, whether as to project viability, pre-letting, lease agreements or otherwise, and should include due allowance for the increases and decreases inherent in the design development and construction process.

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