



S T U D I O
TIVOLI

1 The Old Hall, South Grove, Highgate, London N6 6BP
Design and Access Statement - Artist's Garden Studio

21st May 2021

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1.0 INTRODUCTION

This document has been prepared by Studio Tivoli on behalf of the applicants, Helen and Colin David, to support the application for planning permission and listed building consent to construct an artist studio in the rear garden of the property, 1 The Old Hall, South Grove, N6 6BP.

This document should be read in conjunction with the following drawings:

- A_EX_001 - Location & Block Plan
- A_EX_010 - Existing Site Plan
- A_EX_100 - Existing Plans
- A_EX_300 - Existing Elevations
- A_PR_010 - Proposed Site Plan
- A_PR_100 - Proposed Plans
- A_PR_300 - Proposed Elevations

2.0 SITE CONTEXT

No.1 The Old Hall is Grade II* listed north-west facing residential property situated on South Grove within the Highgate Village Conservation Area.

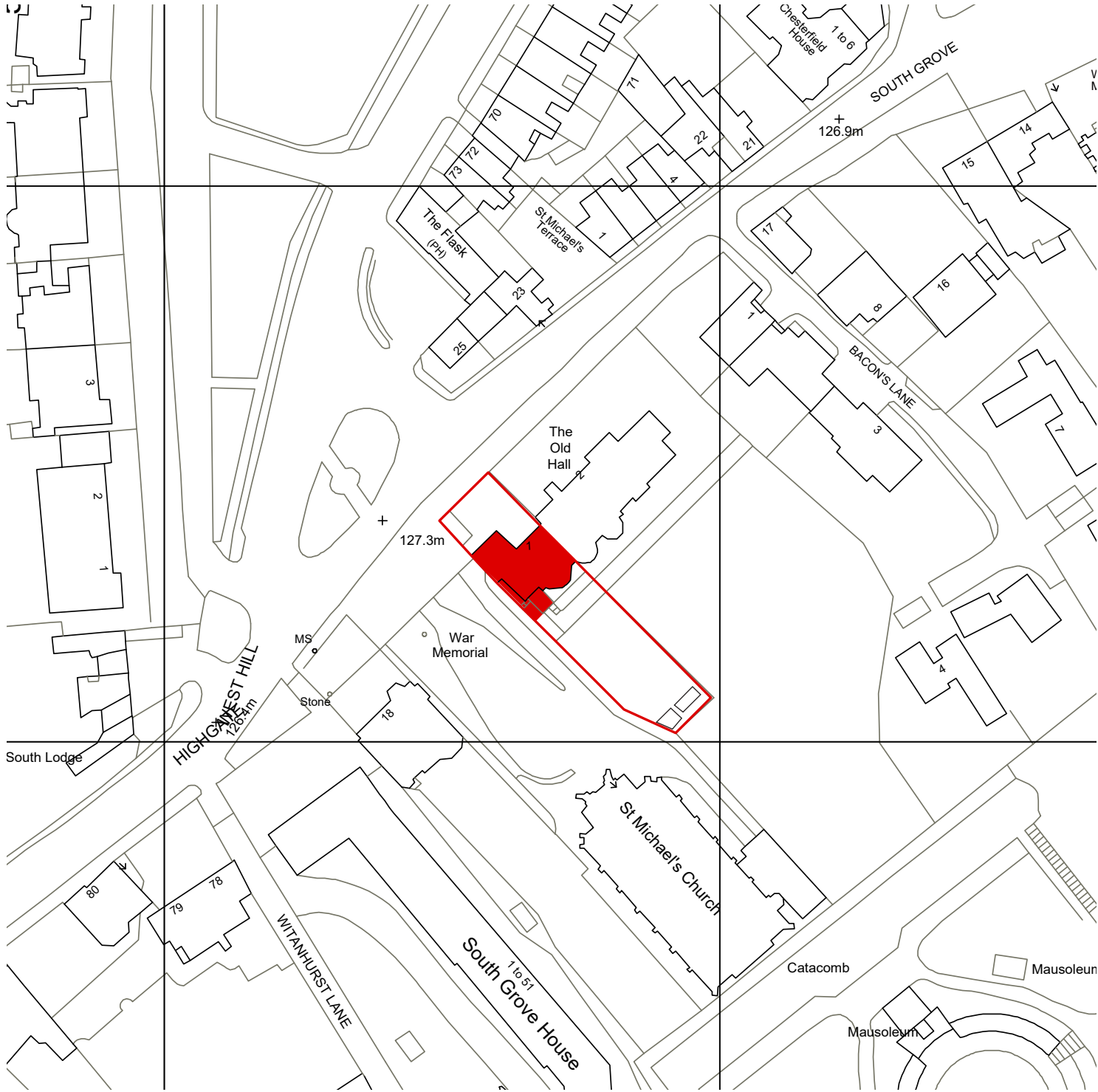
The property is the south-western extension wing built as an addition to the main building 'The Old Hall' in mid-19th century and was further altered and extended in the late 20th century. No.1 The Old Hall is directly adjacent to the main building but is in separate ownership and occupation.

No.1 The Old Hall is a single family dwelling house comprised of two storeys with lightwells to the front and a basement which faces out onto the rear garden. The property is set back from the front boundary line and the main entrance is approached through a private front garden.

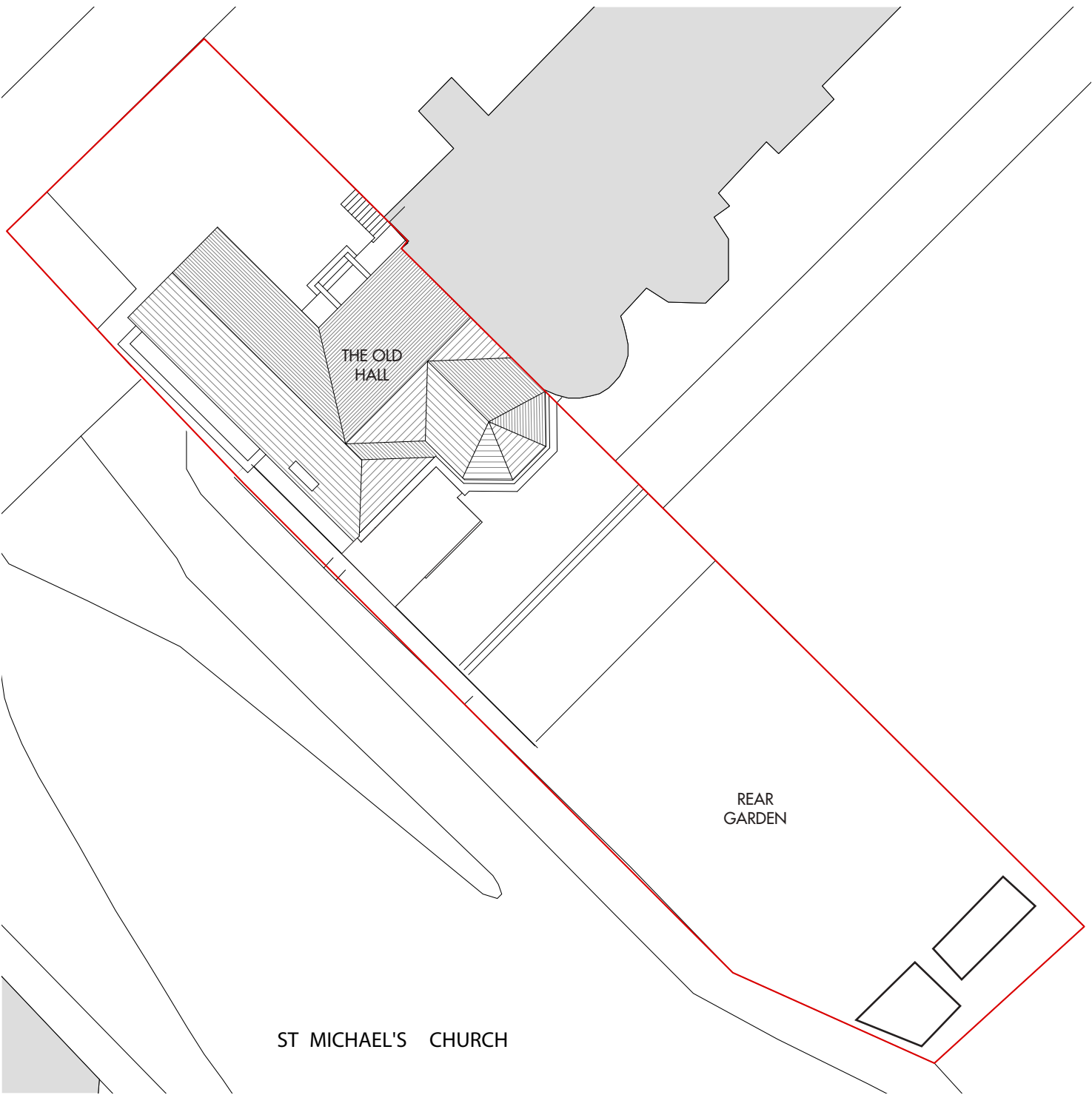
The building is predominantly brickwork with a pitched slate roof. The main facade was altered post 1971 and the bedrooms to the front of the property are modern, late 20th century additions. A modern extension clad in charred timber siding was constructed to the rear of the property in 2015.

To the rear of the property is a generous and mature garden with an existing garden store and timber pagoda.

2.1 LOCATION & SITE PLAN



The Old Hall - Location Plan



The Old Hall - Site Plan



2.2 SITE HISTORY

The site of The Old Hall and the lawns to the east of the property date back to the middle of the 16th century when they were occupied by Arundel House.

The main building was reconstructed in 1694 by Sir William Ashurst on the former site of the western half of Arundel House. The central three-storey block with basement was arranged symmetrically with five sash windows on the first and second floor. It has since been refronted in stock brickwork, extended by a recessed block on the east side, and given an early-19th-century porch.

The first records of the west wing, which now forms no. 1 The Old Hall are depicted on the First Edition Ordnance Survey, c.1870. This suggests the original wing was much smaller in footprint and did not extent beyond the width of the main house. An illustration published in 1931 is likely to represent one of the earliest phases of the west wing, and a high wooden door, possibly a gate to the grounds at the back of the house.



Source: Moreland, A., 1931. Dickens Landmarks in London p.74

2.3 HISTORIC ENGLAND LISTINGS

No.1 The Old Hall, the adjacent main building 'The Old Hall' and the north eastern wing to the property are all Grade II* listed.

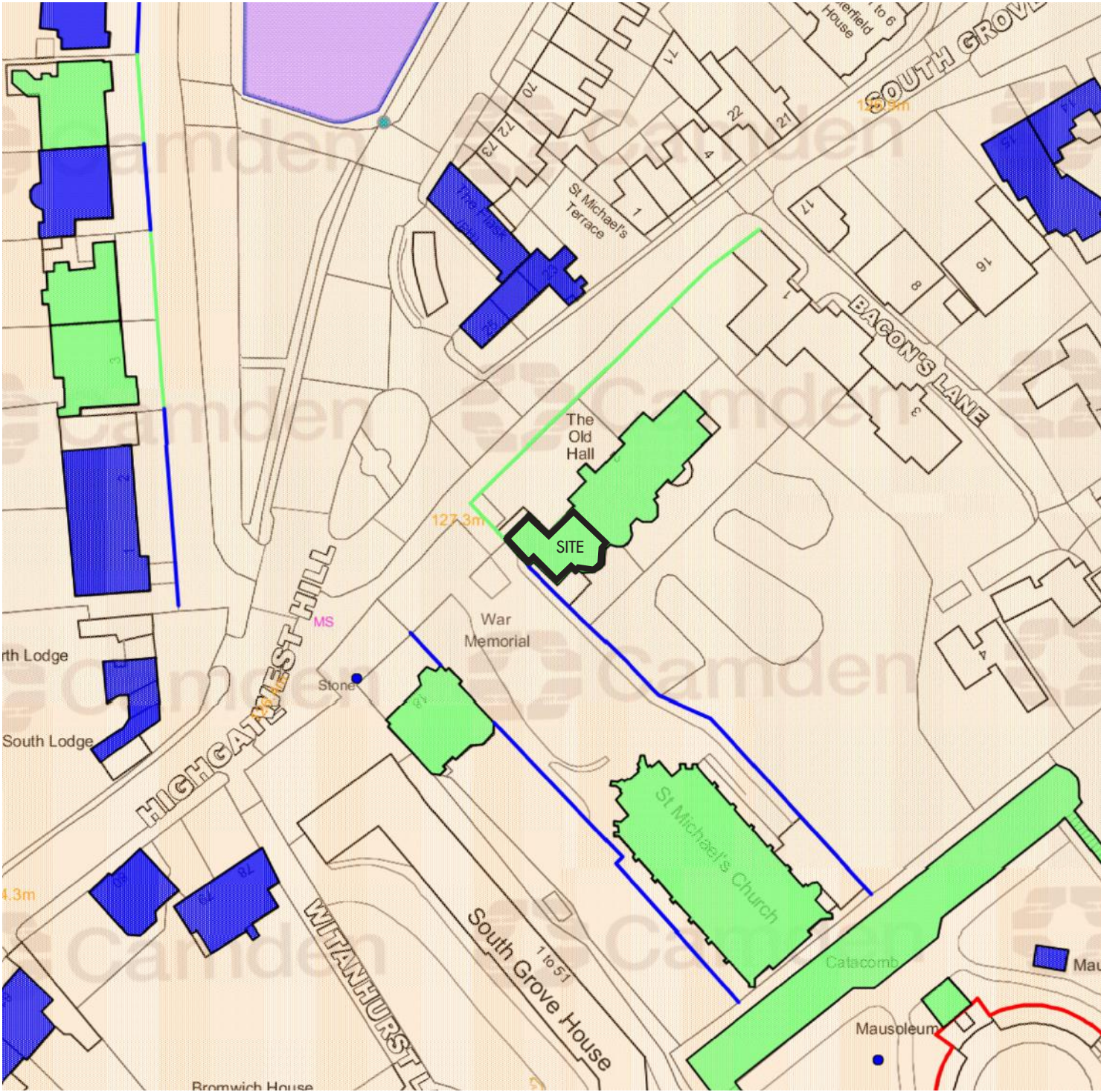
The brick wall on the boundary of St. Michael's Church is the former garden wall to Ashurst House and is Grade II listed. The adjacent St Michael's Church is Grade II* listed.

There are a number of further Grade II and Grade II* listed properties in the vicinity as identified on the adjacent map.

Grade I Listed

Grade II Listed

Grade II* Listed



Listed Buildings in the site vicinity - Camden Maps Extract <https://ssa.camden.gov.uk/>

2.4 AERIAL VIEWS THE OLD HALL AND SURROUNDING CONTEXT



▲
The Old Hall - Google Maps Site Aerial View Extracts

3.0 PLANNING HISTORY

The property has undergone a number of sensitive alterations and repairs over recent years. Most recently, a contemporary timber clad rear extension was consented and constructed in place of an existing conservatory. The design of the new extension is of a sophisticated, contemporary style with proportions that relate to the historic architecture and of a scale that is subordinate to the existing property.

2017/3709/L

Repairs to roof including installation of new reclaimed slates and ridge tiles and various alterations to the garden including installation of a garden store and fence trellis.
GRANTED 18-07-2017

2016/2052/P

Replacement of cast iron railings in front garden.
GRANTED 12-04-2016

2016/1704/L

Replacement of cast iron railings in front garden and repairs and like-for-like rebuilding of brick wall and pier alongside pavement.
GRANTED 12-04-2016

2015/0955/P

Replacement of the existing conservatory structure to the rear with a new extension.
GRANTED 18-03-2015

2015/0954/P

Creation of glazed light well enclosure and repositioning of railings
GRANTED 18-03-2015

PE9800904R1

Provision of ancillary storage accommodation in front basement, additional doors and windows on front elevation at basement level and erection of an entrance canopy above the front door.
PLANNING PERMISSION WITH COND. GRANTED 22-02-1999

LE9800905R1

Internal alterations together with provision of ancillary storage accommodation in front basement, additional doors and windows on front elevation at basement level and erection of an entrance canopy above the front door.
accommodation in front basement, additional doors and windows on front elevation at basement level and erection of an entrance canopy above the front door.
LB CONSENT WITH COND. GRANTED 22-02-1999



▲ Site photograph of completed rear extension taken June 2020 - application ref. 2015/0955/P. Extension complete with Shou Sugi Ban charred timber.

4.0 EXISTING BUILDING SITE PHOTOGRAPHS

view from house of exting rear garden (garden pagoda and store at far end of garden)



view of no.1 the old hall and neighbouring building (the old hall) from rear garden



rear end of the garden with roof of existing pagoda visible above hedge



existing garden store



existing overgrown garden store (left) and rear gate in Grade II listed brick wall to St Michaels Church

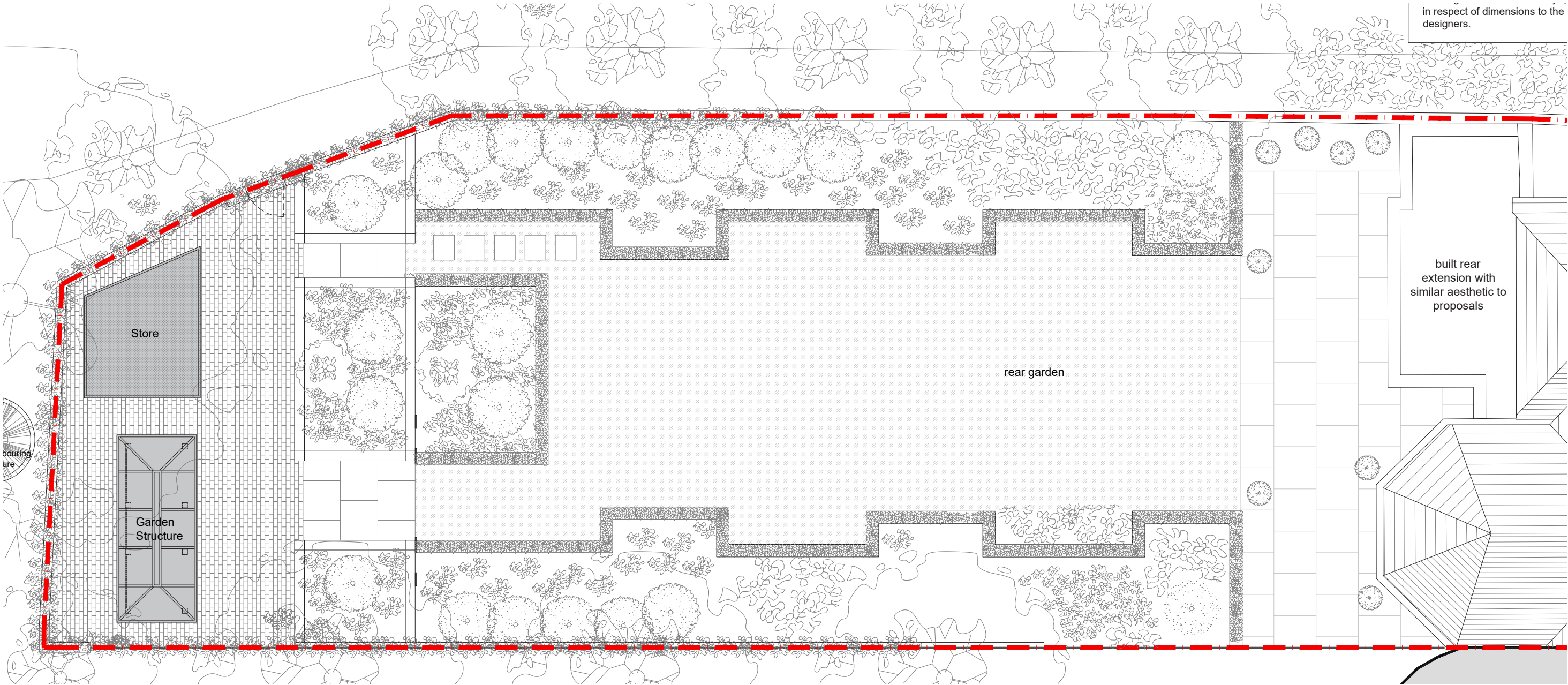


existing garden pagoda at rear of garden

4.0 EXISTING BUILDINGS

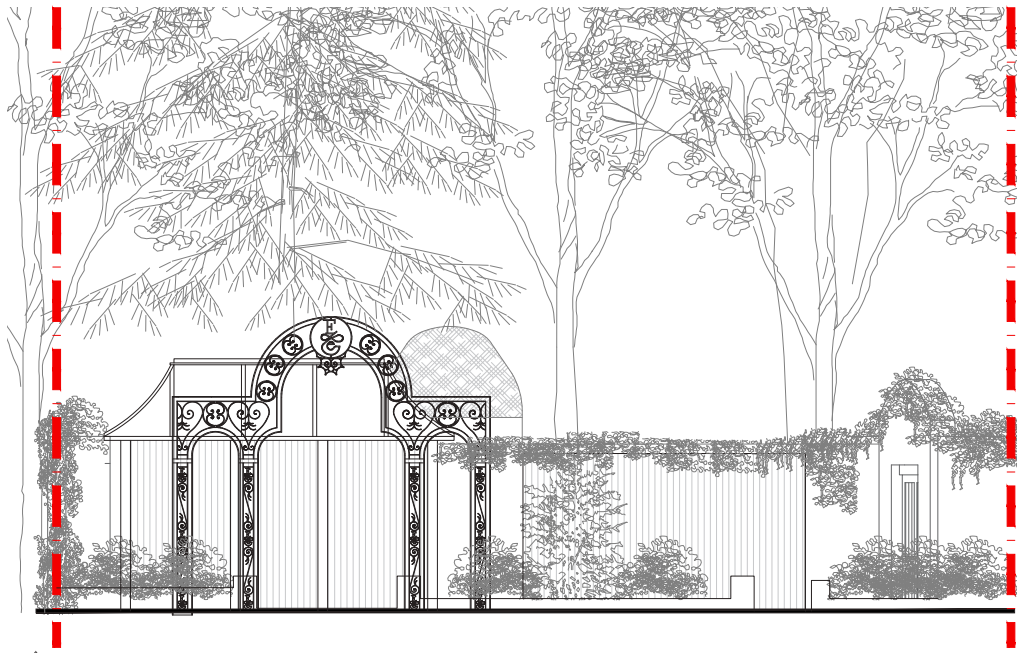
There are a number of existing structures in the rear garden of the property. These include a timber framed pagoda with lead roof, a garden store which is overgrown and in a poor state of repair, and an ornamental arch formed of ironwork.

The proposals seek to replace the existing garden shed and timber framed pagoda with a purpose-built garden studio.

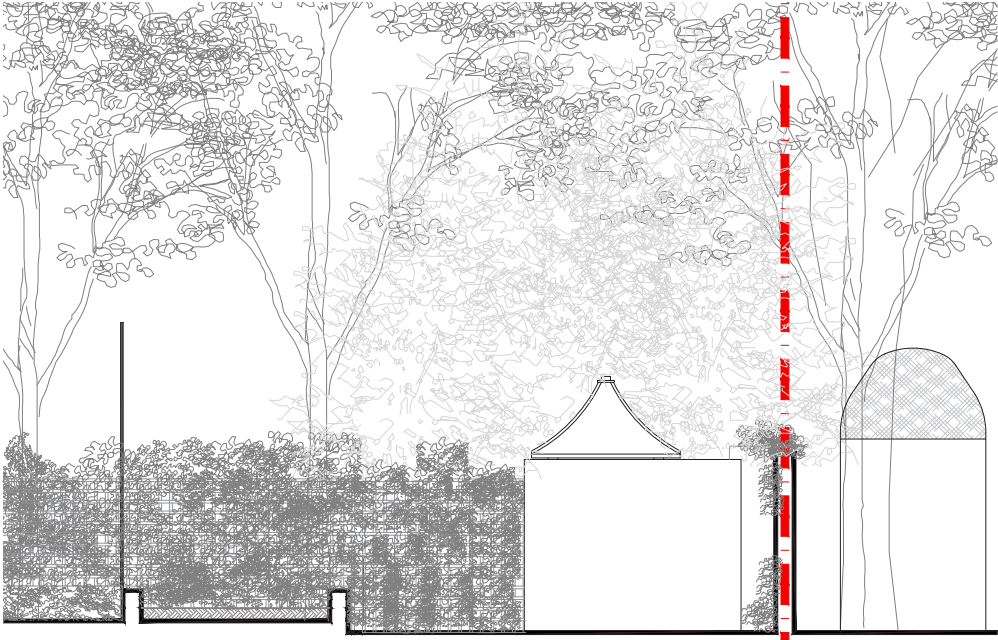


▲
proposed plan

EXISTING ELEVATIONS



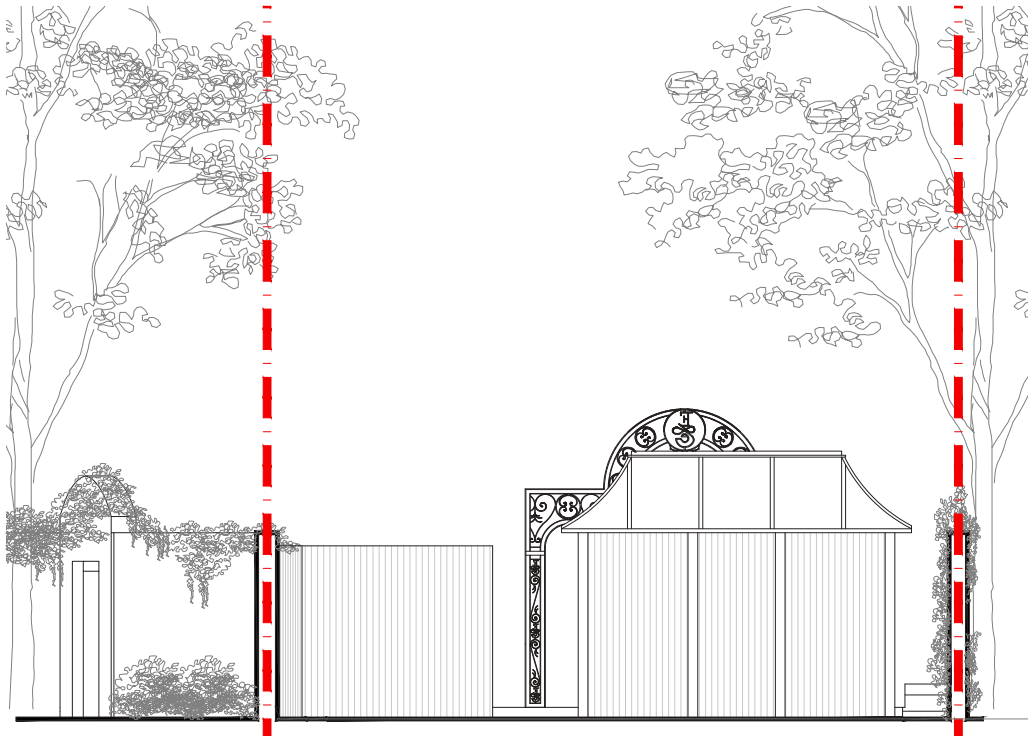
existing front elevation



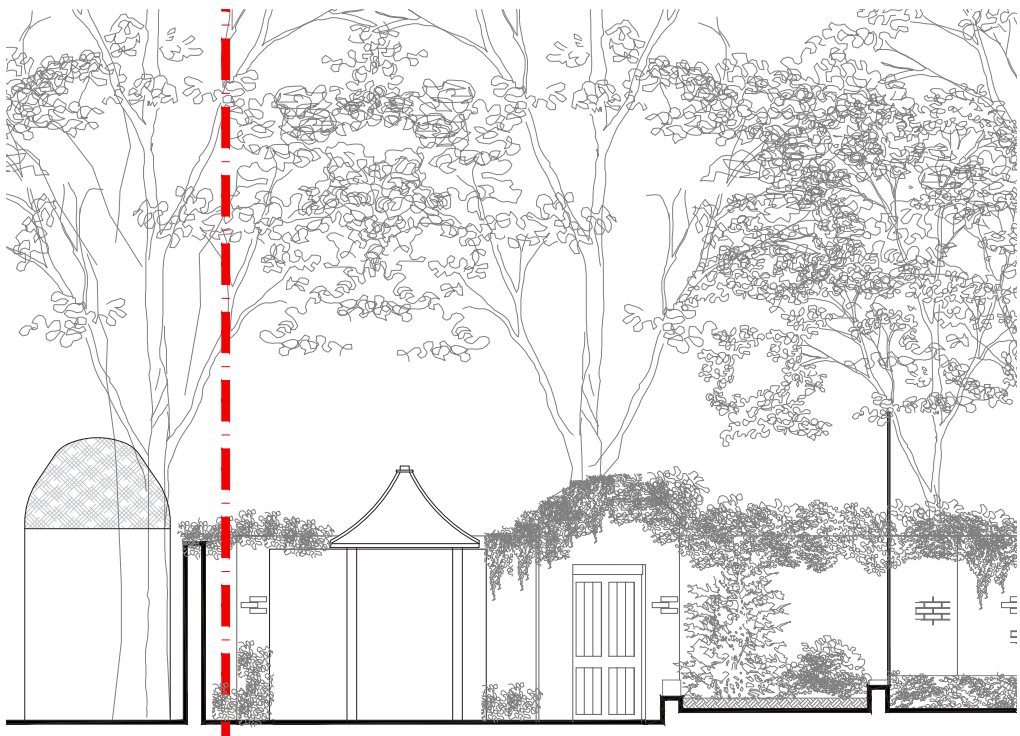
existing north-east elevation



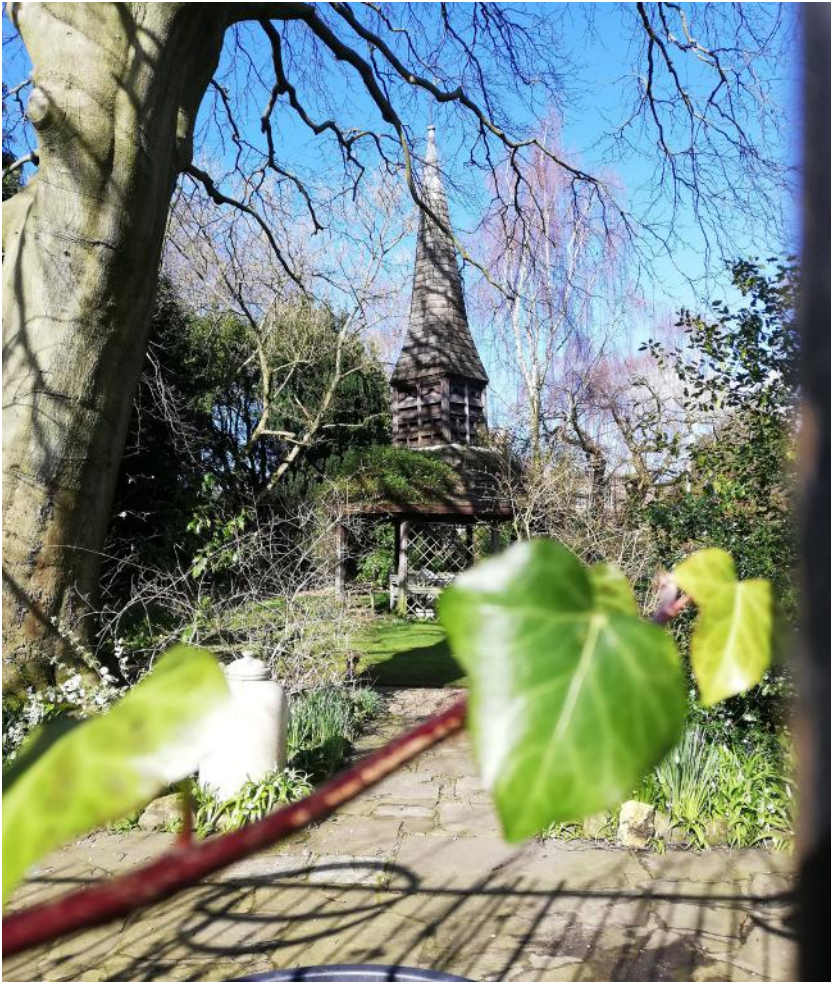
photograph of existing rear garden structures



existing rear elevation



existing south-west elevation



▲ Structures of varying sizes have been erected in other parts of the Old Hall's garden by neighbouring properties

5.0 PROPOSALS

This application seeks planning permission and listed building consent to construct a single storey artist's studio at the end of the rear garden associated with the property No.1 The Old Hall.

No.1 The Old Hall has been owned and occupied by the same family for over 25 years. During this time, the owner has established and run a successful fashion business from a local studio and gallery space. The new garden building is proposed to provide a well-equipped and comfortable studio space so that the property owner, a well-renowned fashion designer and artist, can work from home.

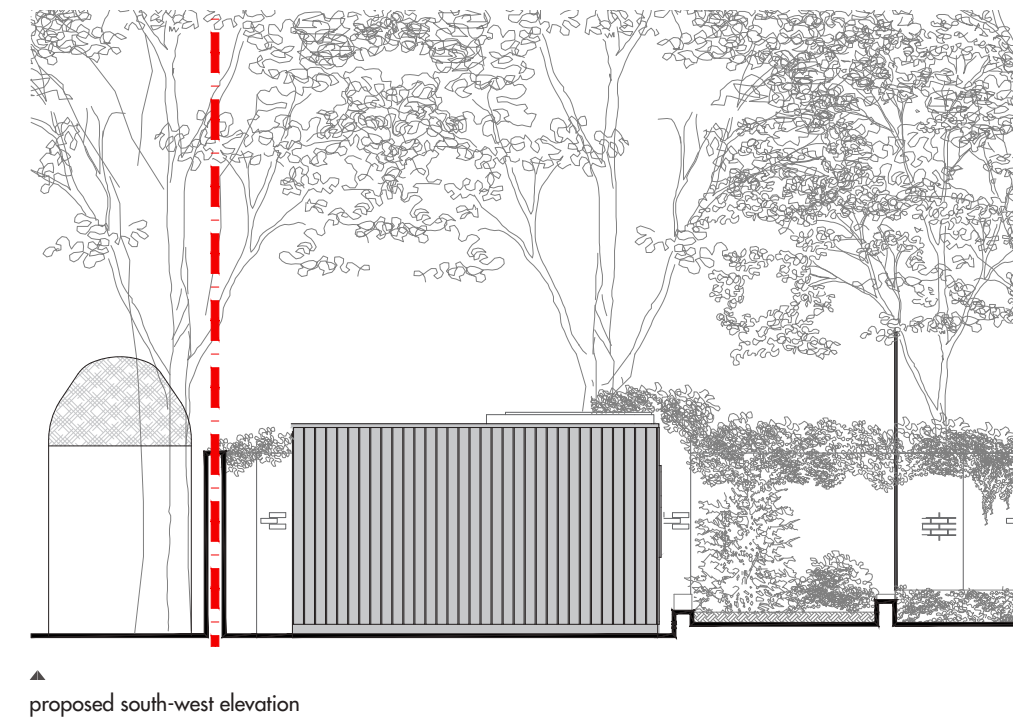
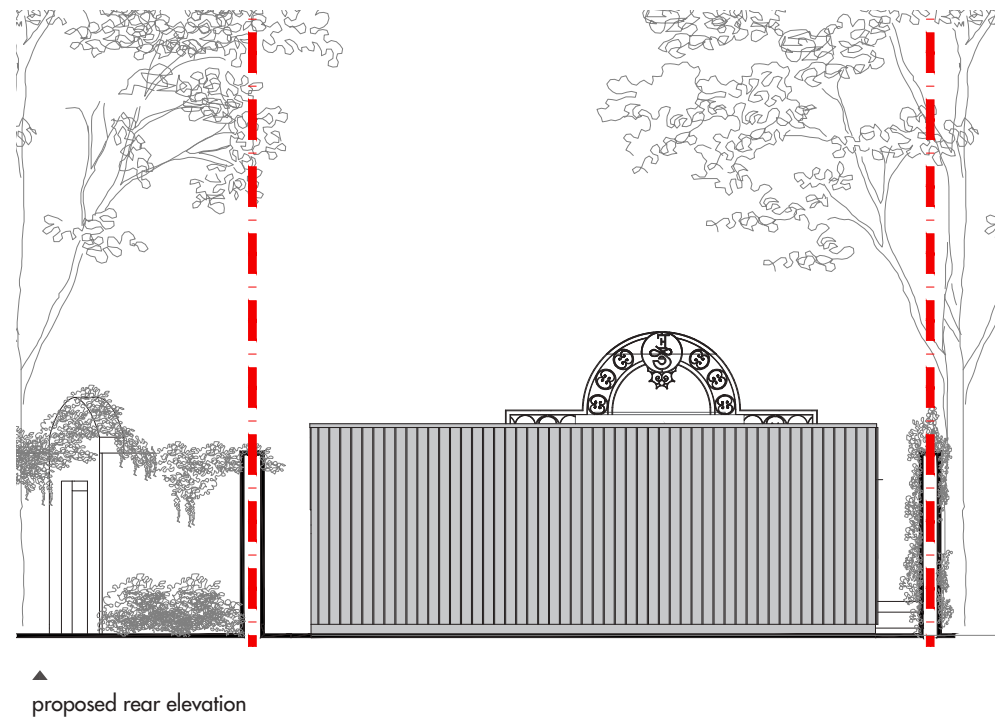
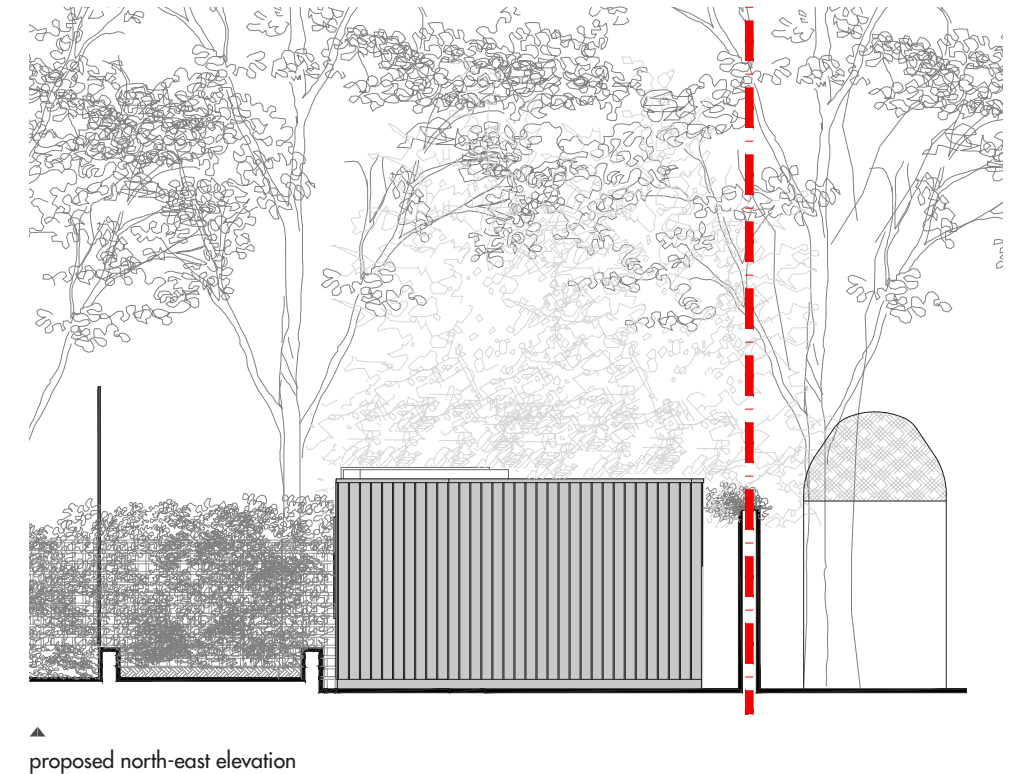
The proposals have been designed to ensure that the new studio is modest in scale and a sensitive response to its location. The design of the studio is inkeeping with the style and appearance of the recently completed rear extension and would be subservient in scale and massing to the surrounding structures.

The proposed structure would be freestanding and would not adjoin the existing property or boundary walls in any way.

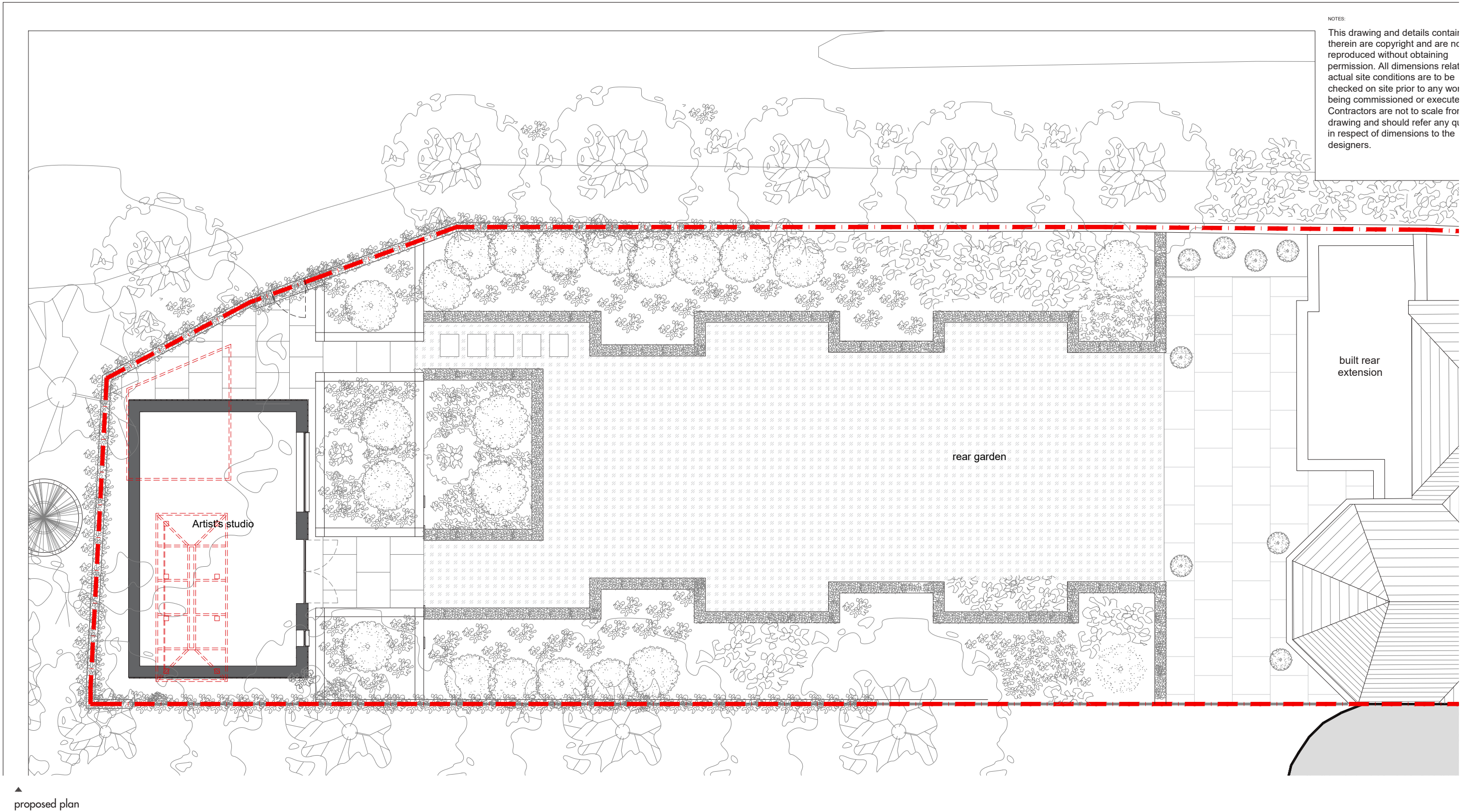
The design has been carefully considered so as not to have any detrimental impact on the listed buildings or adjacent structures and will be constructed in a way to facilitate ease of removal if desired at a future date.

Drainage will be handled by a natural soakaway to avoid the need for a new connection to be made to the host property's drainage.

It is proposed to introduce new planting and soft landscaping so that the approach to the new studio from the garden is secluded and that the building is partially obscured from the view of the main house.



5.1 PROPOSED PLAN



5.2 FORM & MATERIALITY

The studio is proposed to be a contemporary rectilinear form of high-quality timber frame construction on a concrete raft foundation. A lower height store room is proposed to adjoin the main studio space and will provide visual relief against property boundary. It is proposed to clad the building in the same charred ash cladding is used for the completed rear extension at the property.

The timber cladding is created through a traditional Japanese process known as Shou Sugi Ban. The timber is carefully charred, doused in water and cooled. It is then brushed to remove any dust and debris, washed and dried. It can then be finished with a natural oil or left in its natural unfinished state. The charring of the timber surface gives the ash cladding a distinctive weathered character and a dark charcoal colour which will sit discretely in amongst the garden foliage and contrast with the existing brick garden walls.

The technique of charring the timber will ensure that the cladding is resistant to rot or pests without the use of chemical treatments.

The studio is proposed to have a flat roof laid to falls and draining to a concealed box gutter that will run the full width of the rear elevation. This will be drained via two external downpipes and discharged into a natural soakaway.

Natural light will be brought into the studio through 2no. flush rectilinear roof lights. An adjoining glazed entrance door with a minimal black metal frame will form a continuous band of glazing up the front elevation and across the roof of the studio. A glazed window box is proposed to the front elevation to afford the studio further natural light and views of the garden. All internal glazed openings will be provided with interior blinds to mitigate the risk of light pollution in the darker winter months though it is not envisaged that the studio will be used in the evenings or at night.

Internally, exposed birch ply cladding to the walls will create a warm and functional studio space. The building fabric is proposed to be insulated with sheeps wool insulation and heating will be provided in winter via an electric underfloor heating mat. The floor finish is proposed to be polished concrete.

Materials have been chosen for their high quality, durability and environmental performance.



▲
Precedent images which the proposals take reference from including Shou Sugi Ban timber to match the existing main house extension

5.3 EXISTING VIEW DOWN GARDEN

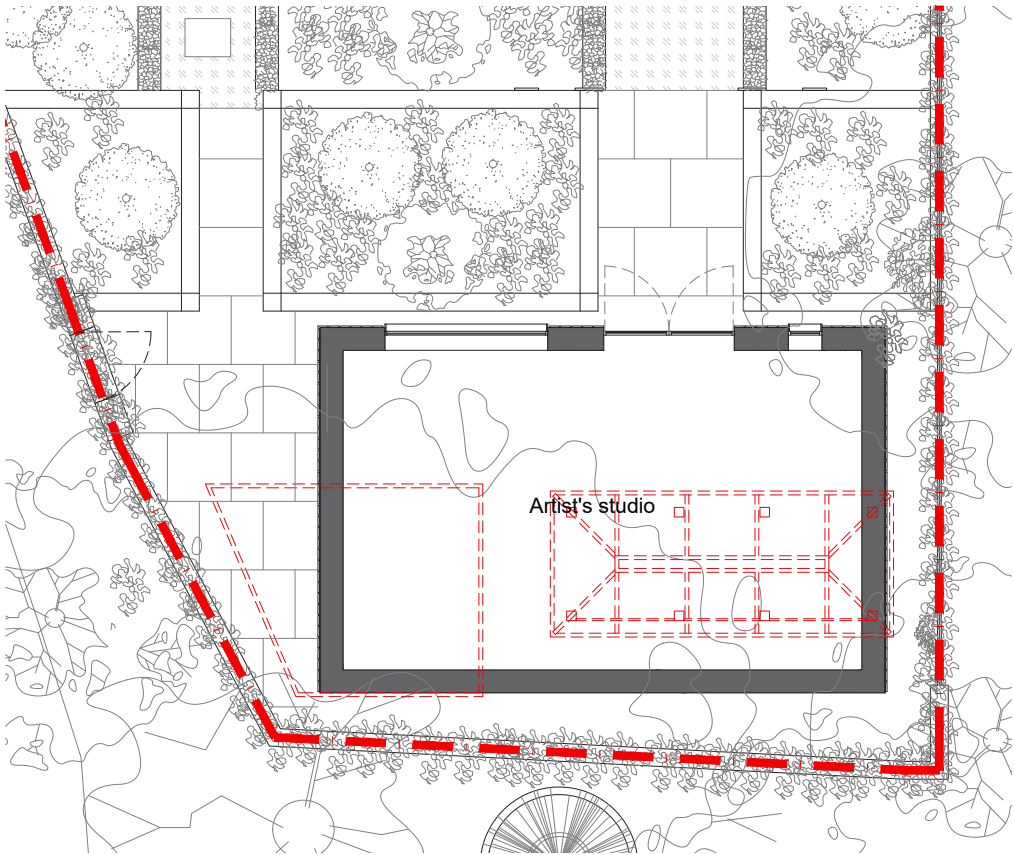


◀ Existing site photograph looking down garden from existing property

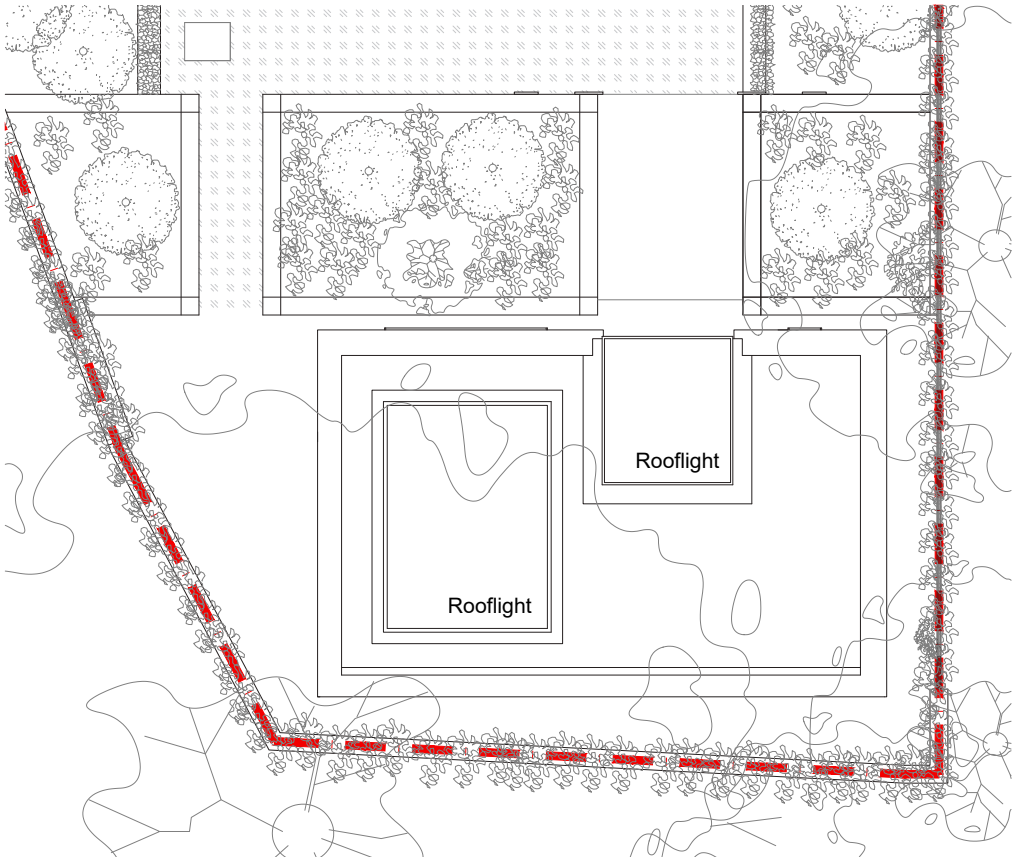
PROPOSED VIEW DOWN GARDEN



◀ Proposed site photomontage looking down garden from existing property



▲
proposed studio plan



▲
proposed roof plan

6.0 CONCLUSION

This Planning and Listed Building Conesnt application seeks permission to construct an artists garden studio in the rear garden belonging to property 1 The Old Hall.

The contemporary design is proposed to be modest in scale, subordinate to existing structures and sensitive to its location.

Materials have been chosen for their quality, durability and environmental performance.

We believe that the proposals outlined in this document are of a high quality and have been informed by positively engagement with Camden's Planning and Conservation team via Pre Application advise.

Thank you for viewing. For all queries please contact Studio Tivoli.
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