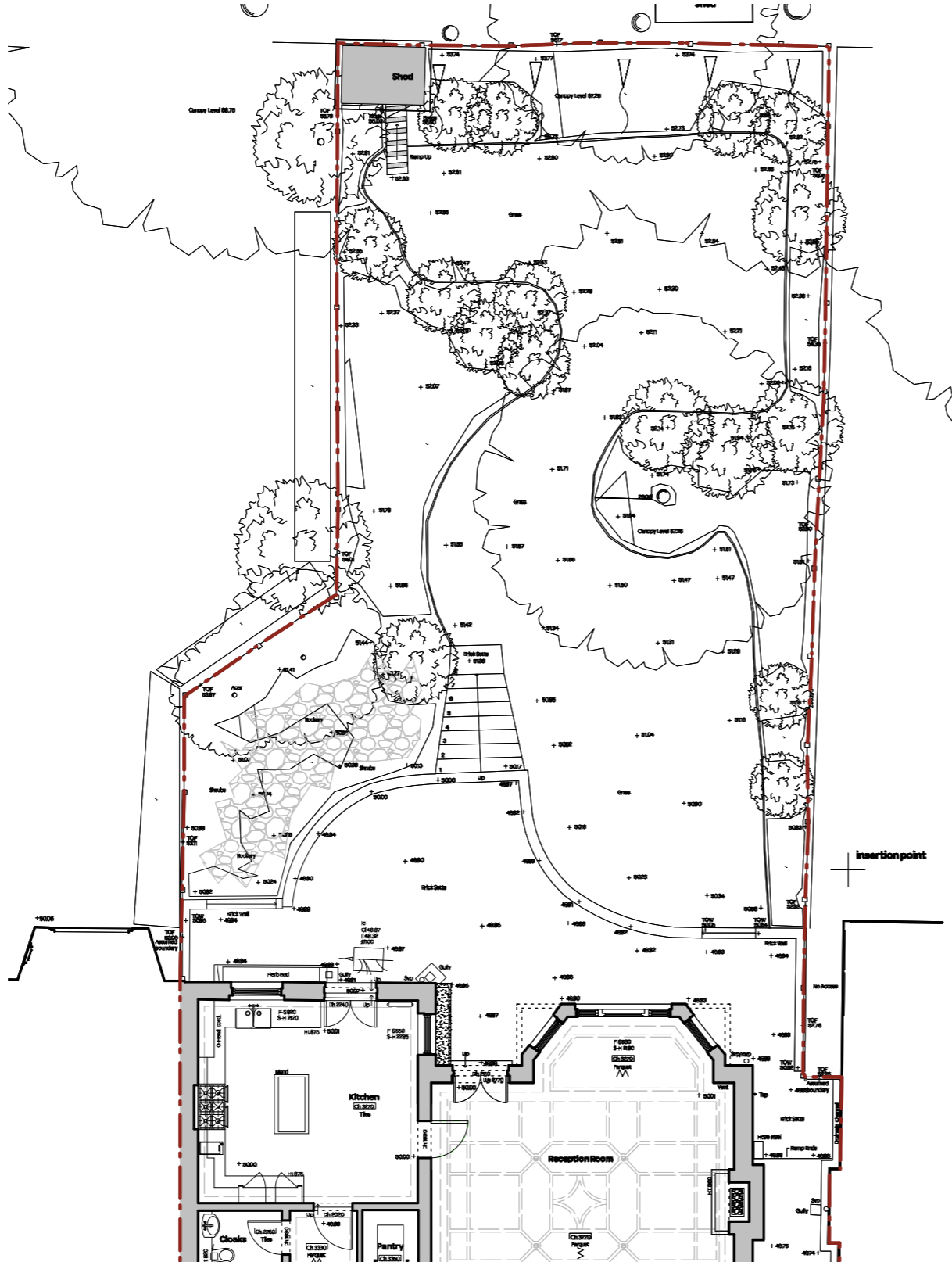


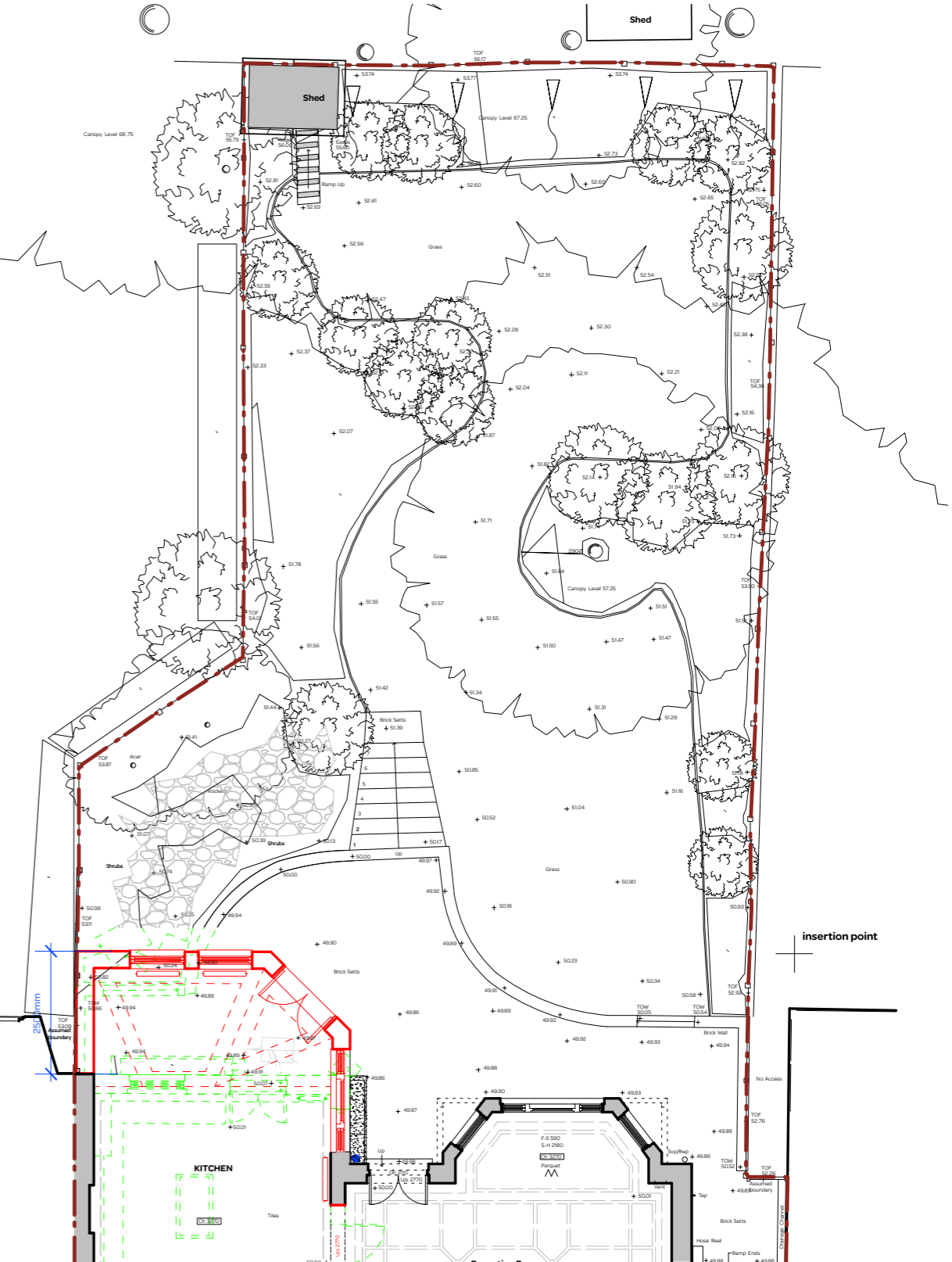
4.4 Trees

No trees would be affected by the proposed extension as shown in the plans below.

The existing, mature garden will be fully retained, and the only loss would be to the first metre of lower flower bedding.



Existing ground floor plan



Proposed ground floor plan

5.0 Conclusion

The proposed extension is designed to be sympathetic to the existing architecture and use of materials of the surrounding existing buildings both old and new, this project seeks to respect all adjacent properties.

The proposed extension follows the same characteristics as the existing property and have been carefully designed to retain the existing mature garden and have no negative effect on existing trees and the character of the Conservation Area as a whole.

The design makes the height consistent with the existing trellis and incorporates a sloping roof to ensure no material 'visual impact' or 'light impact' to the neighbour.

The proposed development has been carefully designed to be sympathetic and visually appealing. The design makes the height consistent with the existing trellis and incorporates a sloping roof to ensure the extension has no impact on the neighbour's daylight, outlook or privacy.

We trust that the application will meet with your support. If you require further information please contact Sam Bryan or Daniel Leon of Square Feet Architects.

6.0 Appendix

For reference, the permission for the neighbour's rear bay window extension, from 1995.



SR

London Borough of Camden
Camden Town Hall
Argyle Street
London NW1 1AA
Tel 0171-278 4444
Fax 0171-860 5566

M Brod (Ref: 706)
Michael Brod Associates
26 Belsize Lane
LONDON
NW3 5AB

Our Reference: PL/9500390/
Case File No: P6/10/3
Tel. Inqu: Robert Brew ext. 860 5867

Date: 15 OCT 1995

Dear Sir(s)/Madam,

Town and Country Planning Act 1990
Town and Country Planning General Development Procedure Order 1995
Town and Country Planning (Applications) Regulations 1988

Permission for Development

The Council, in pursuance of its powers under the above-mentioned Act and Orders and Regulations made thereunder, hereby permits the development referred to in the undermentioned Schedule subject to the conditions set out therein and in accordance with the plans submitted, save insofar as may otherwise be required by the said conditions.

Your attention is drawn to the Appeal Rights and other information at the end of this letter.

SCHEDULE

Date of Original Application : 10th March 1995

Address : 24a Netherhall Gardens, NW3.

Proposal : Erection of bay window extension at rear first floor level, as shown on drawing numbers 706/45, 46 and letter dated 12th September 1995.

Standard Condition:

1. The development hereby permitted must be begun not later than the expiration of five years from the date of this permission.

Reason for Standard Condition:

1. In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

Additional Condition(s):

- 01 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture, those of the existing building, unless otherwise specified on the approved application.
- 02 The side windows of the bay window extension hereby approved shall be glazed with obscured glass, and permanently retained as such.

Reason(s) for Additional Condition(s):

- 01 To ensure that the external appearance of the building will be satisfactory.

Post preapplication enquiry discussions.

On Tuesday, December 15, 2020, 11:53, Ogunleye, Joshua <Joshua.Ogunleye@camden.gov.uk> wrote:

Hi Daniel,

Thank you for your email. I have noted your points concerning the window design and would advise you add this to your design and access statement as a response to the Pre-app comment. Please be advised that all details of the application will be given consideration with the intension of reaching an on balanced decision. We will seek to work with you in a positive and proactive manner to address any concerns we might have concerning the detailing.

Regards,

Joshua Ogunleye - Planning Officer

On 3 Dec 2020, at 17:30, Daniel Leon <daniel.leon@squarefeetarchitects.co.uk> wrote:

Dear Joshua

Thanks for your note and feedback on our outline proposals.

I do however respectfully disagree with some of your views on the best design and suggestions for alterations to the window format arrangement in particular.

We feel that aligning the windows with those above is not appropriate, and loose the chamfer, as it would lead to a 'boxy' extension and be overly uniform. You note that you welcome the chamfer, which is a design detail to bring max light into the ground rooms and minimise 'tunnelling' - well in order to retain this the ground floor windows need to take a slightly different arrangement to this above, and the second floor windows are different from the first.

There are many very contemporary ground floor rear extensions approved and built in Camden which have no relation to the windows above. The slight shift in window positions is a minor thing we believe and provides a design solution that is sympathetic to the host building and appropriate to this location.

We are keen to submit a full application very soon but wish to hopefully iron out some wrinkles in the planning department's view on the designs as they stand. I think they are very minor in nature but nevertheless our client has strong feelings about retaining the design as they stand. It feels that your comments are quite subjective and 'down to a matter of taste'. The proposals are very much to the homeowners taste and not affecting the conservation area.

Please could you reconsider your position ahead of submitting the full application, to hopefully smooth through the application and avoid delay and debate during that period.

Let me know your thoughts. Happy to discuss if that would be helpful.

Kind Regards,

Daniel Leon - Square Feet Architects