
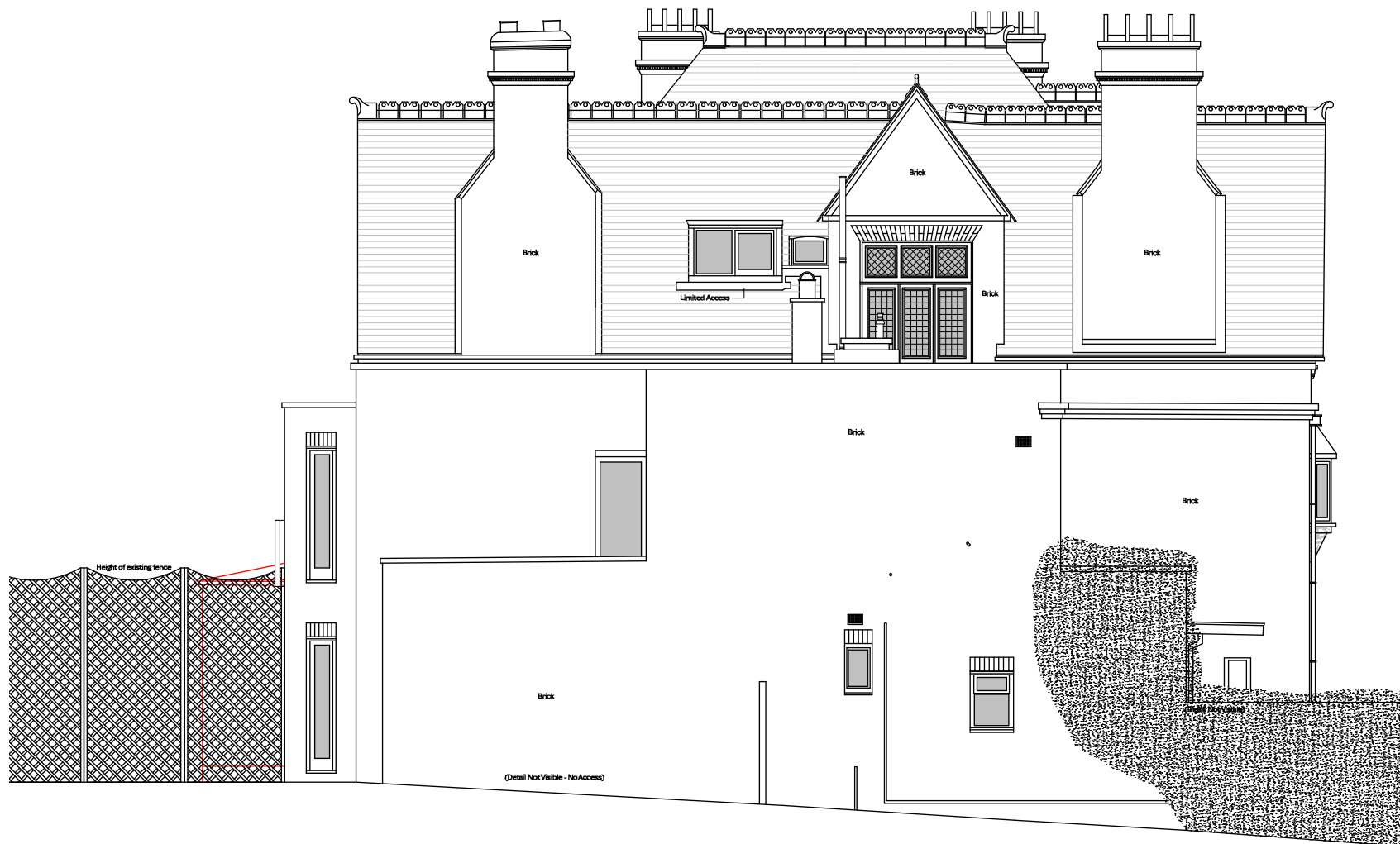



<p>notes:</p> <p>General notes: 1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimetres unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies.</p> <p>Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which require adjoining property owners to be served with a statutory notice.</p>	<p>C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfill the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.</p> <p>KEY black lines existing green lines to be demolished red lines proposed</p>	<p>revision:</p> <p>Pre-App Issue</p>	 <p>SQUARE FEET ARCHITECTS</p> <p>A : 95 Bell Street, London NW16TL T : 0207 4314500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</p>	<p>drawing title: EXISTING GROUND FLOOR PLAN EXTENDED</p> <p>client: Catrien & Simon Harris</p> <p>project: 24 Netherhall Gardens NW3 5QT</p> <p>date: JULY 2020</p> <p>scale: 1:150@A3</p> <p>drawing number: 1916_L-002</p> <p>revision: *</p>
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Proposed Rear Elevation (East)
Datum 47.00m



Proposed Side Elevation (North)
Datum 47.00m


<p>notes:</p>	<p>revision:</p>	<p>drawing title:</p>	<p>PROPOSED REAR & SIDE ELEVATION</p>	
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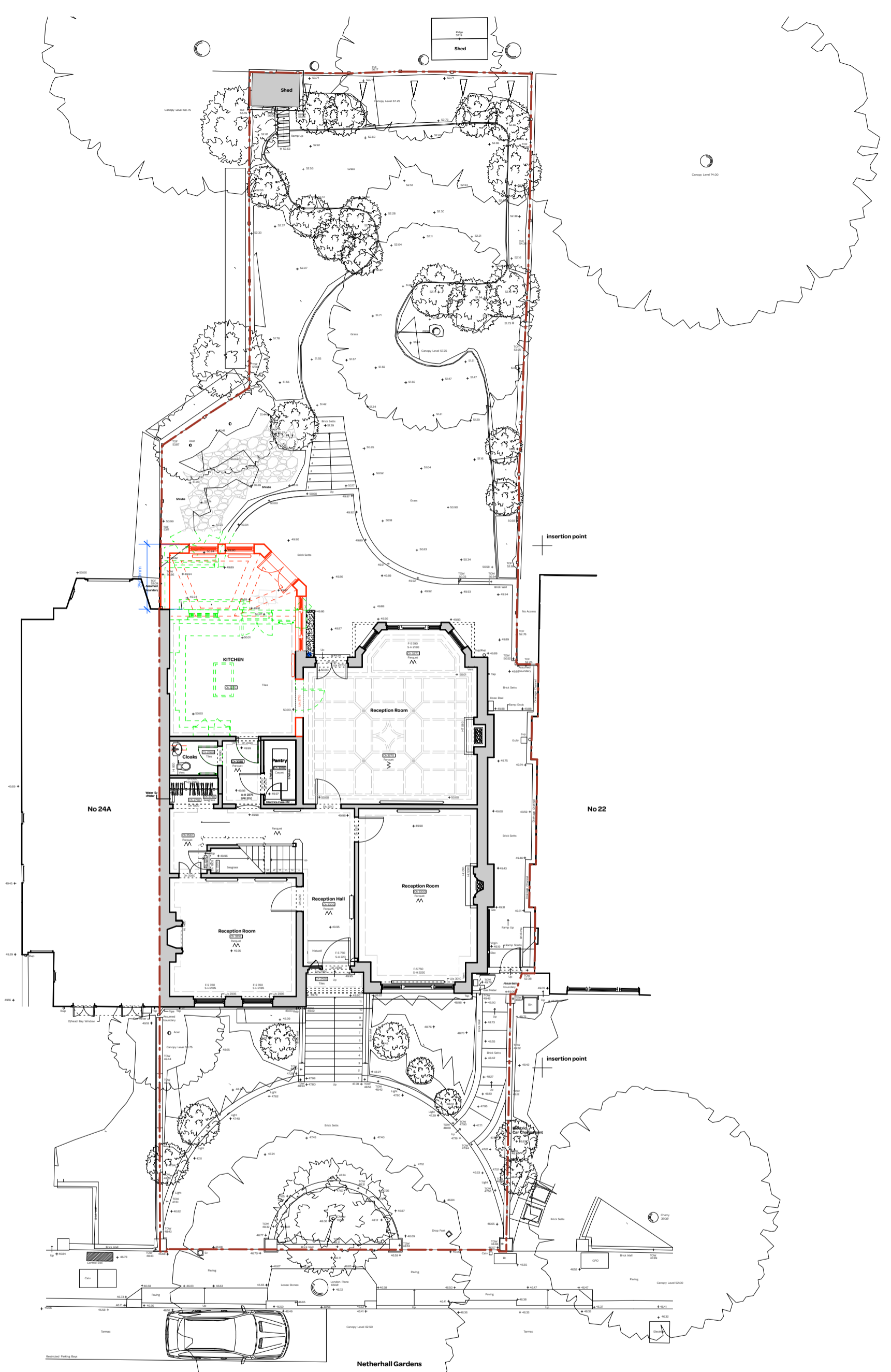


Proposed Front Elevation (West)
Datum 4700m



Proposed Side Elevation (South)
Datum 4700m

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notes:

General notes:

1. Do not scale drawings. Dimensions govern.
2. All dimensions are in millimetres unless noted otherwise.
3. All dimensions shall be verified on site before proceeding with the work.
4. Square Feet Architects shall be notified in writing of any discrepancies.

Party Wall Act 1996:

Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which require adjoining property owners to be served with a statutory notice.

C.D.M. Regulations 2015:

These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.

KEY

- existing
- to be demolished
- proposed

revision:

Pre-App Issue

A - 20.5.21- Full Application



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drawing title:
**PROPOSED GROUND FLOOR PLAN
 EXTENDED**

client:
 Catrien & Simon Harris

project:
24 Netherhall Gardens NW3 5QT

date:
 JULY 2020

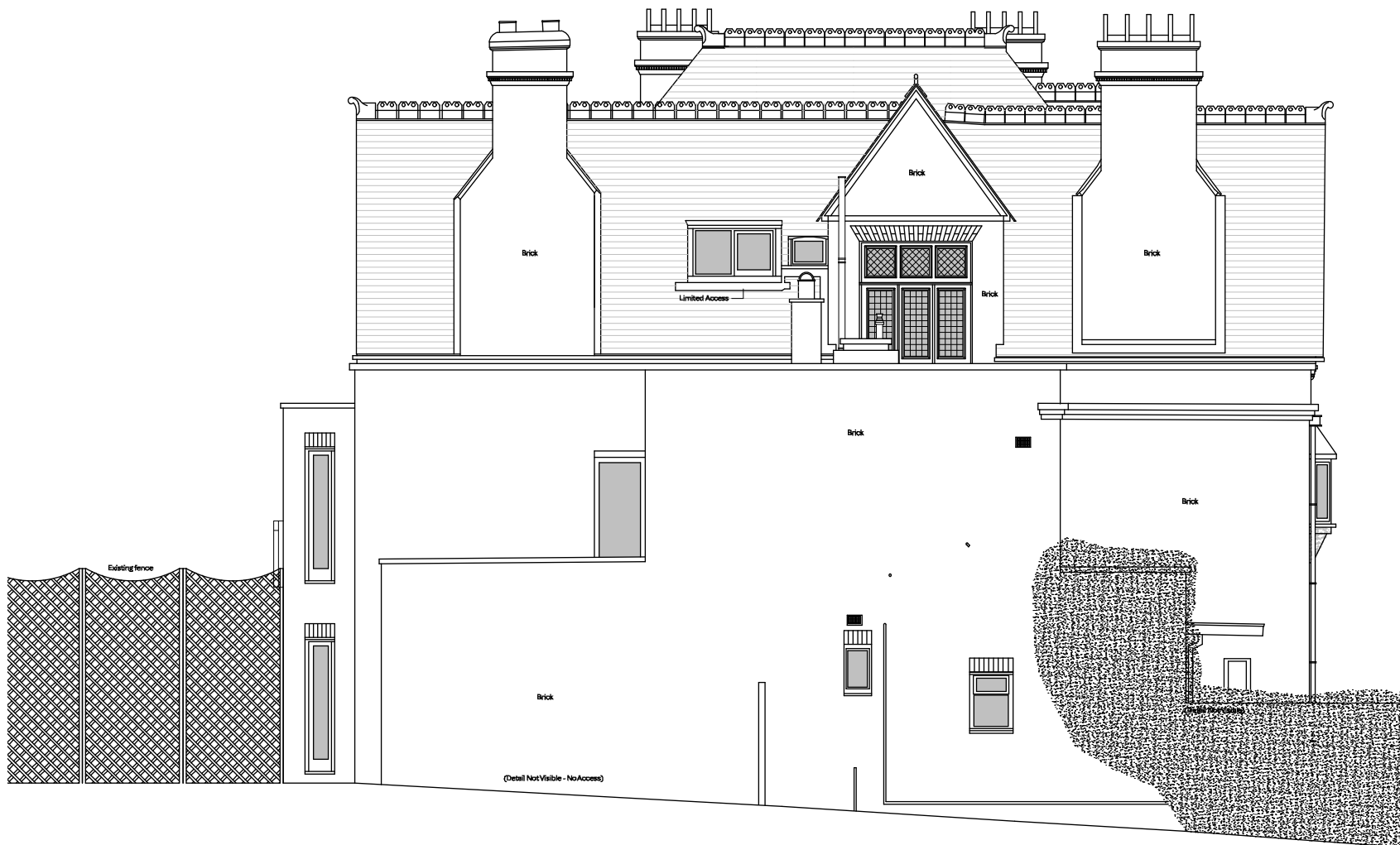
scale:
 1:150@A3

drawing number:
1916_L-033


revision:
 *



Existing Rear Elevation (East)
Datum 47.00m



Existing Side Elevation (North)
Datum 47.00m


<p>notes:</p>	<p>revision:</p>	<p>drawing title: EXISTING REAR & SIDE ELEVATION</p>	<p>client: Catrien & Simon Harris</p>
<p>General notes: 1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimetres unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies.</p> <p>Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which require adjoining property owners to be served with a statutory notice.</p>	<p>C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.</p> <p>KEY black lines existing green lines to be demolished red lines proposed</p>	<p> SQUARE FEET ARCHITECTS</p> <p>A : 95 Bell Street, London NW16TL T : 0207 4314500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</p>	<p>project: 24 Netherhall Gardens NW3 5QT</p> <p>date: JULY 2020</p> <p>scale: 1:100@A3</p> <p>drawing number: 1916_L-016</p> <p>revision: *</p>
<p>Pre-App Issue</p>			



Existing Front Elevation (West)
Datum 4700m



Existing Side Elevation (South)
Datum 4700m

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<p>C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfill the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.</p> <p>KEY black lines existing green lines to be demolished red lines proposed</p>					<p>date: JULY 2020</p> <p>drawing number: 1916_L-015</p>	<p>scale: 1:100@A3</p> <p>revision: *</p>