

vented gully investigated - clear channel, replace modern cement render with Roman cement matching original render, strip existing grilles of clogging paint to restore airflow, seek to reduce external flower bed to lightwell level, retain stone slab adjoining window cill - set to fall away from window, remove concrete base - ref dwg GC 102A

Full CCTV survey of drains to confirm condition

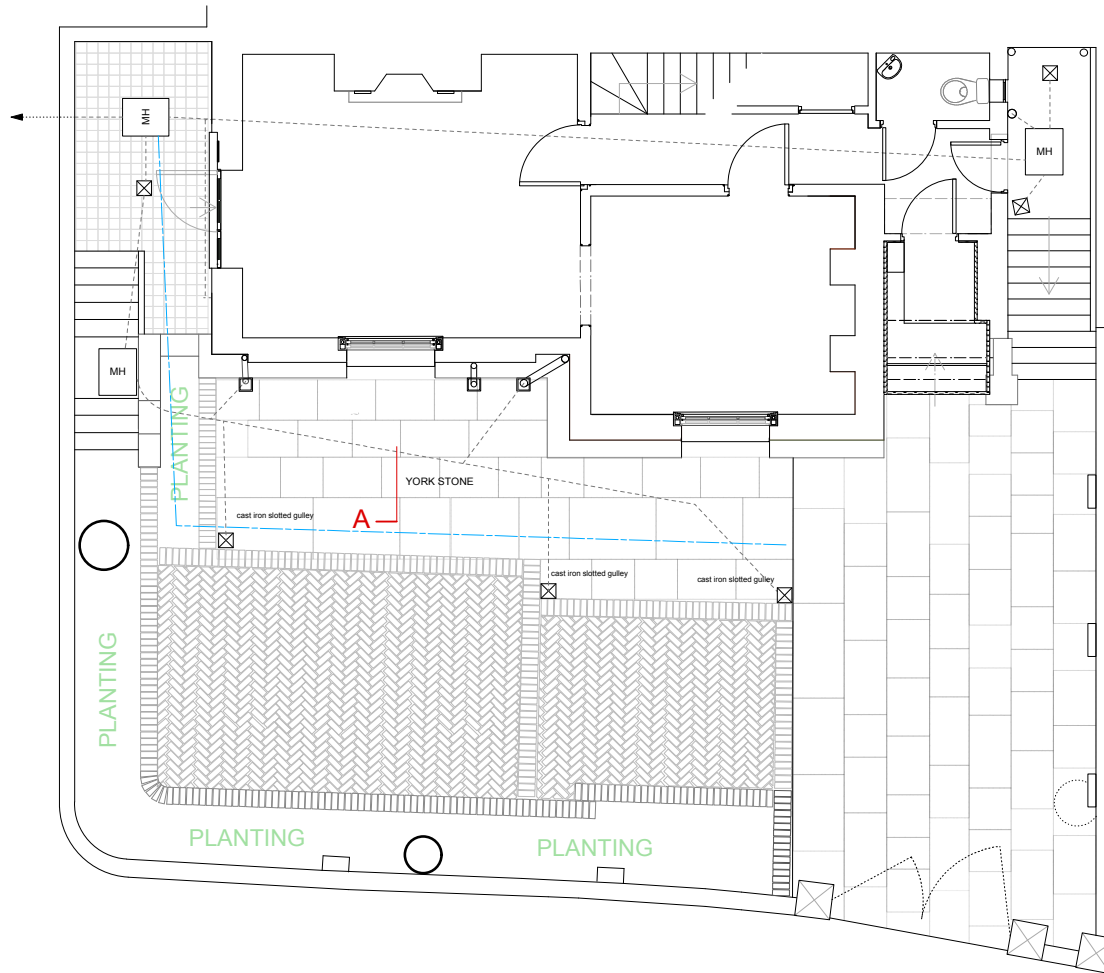
retain york stone paving and re-bed loose or unlevel slabs to retain existing pattern but minimised trip hazards

retain existing herringbone paviors, border walls and perimeter wall as existing.

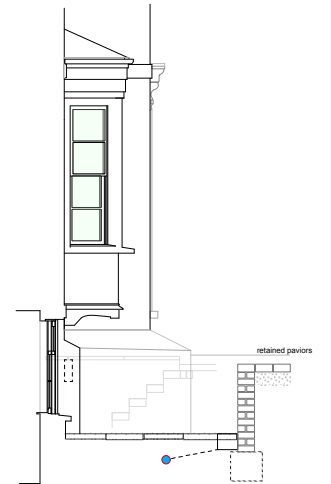
retain concrete to falls, black quarry tile finish to North and South areas

retain red engineering brick stair to North area

existing timber gates require decay cut out, pieced in matching timber with joints reinforced with metal plates or fixings as required



retained york stone slabs cleaned and mortar repairs with graded base

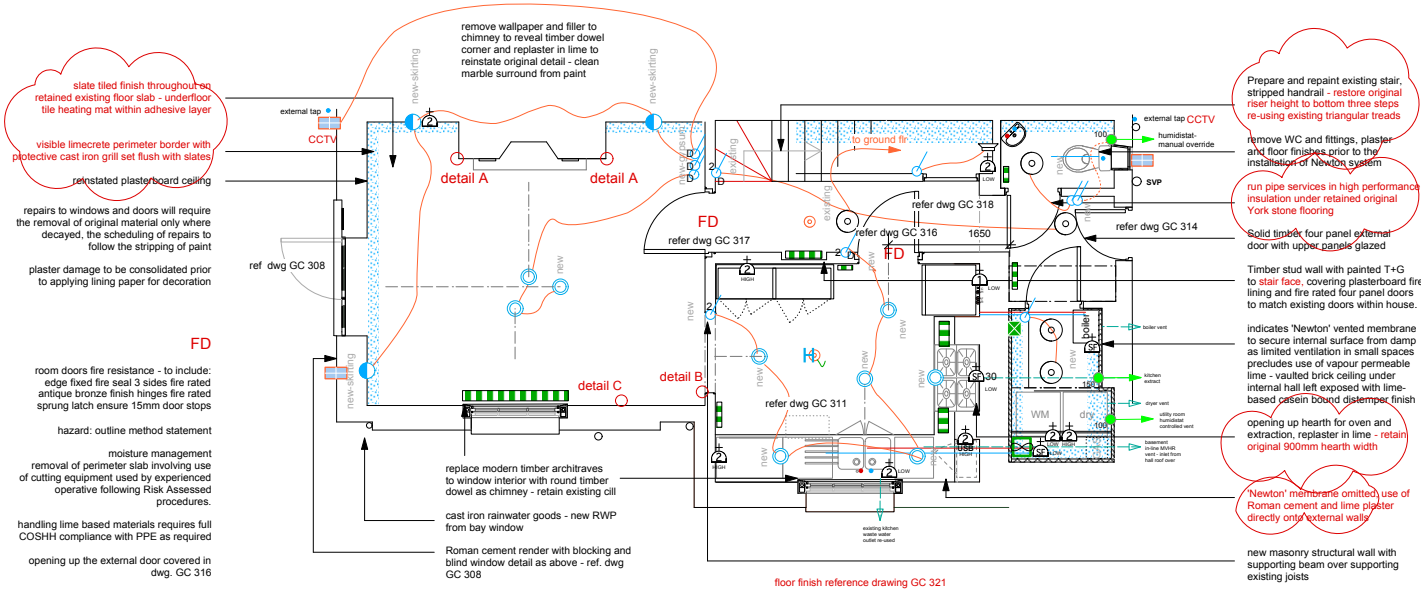


reclaimed york stone paving gully moved away from house wall, retaining wall in brick herringbone paviors retained - revealed masonry vented cavities rendered in Roman cement decorated as per house in microporous silicate paint

NOTE: lowered ground level to be completed under a separate external garden works contract so should not form part of the enforcement timescale.

SECTION A 1:50





slate tiled finish throughout on retained existing floor slab - underfloor tile heating mat within adhesive layer

visible limecrete perimeter border with protective cast iron grill set flush with slates
reinstated plasterboard ceiling

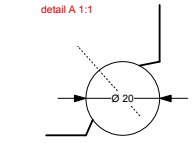
repairs to windows and doors will require the removal of original material only where decayed, the scheduling of repairs to follow the stripping of paint
plaster damage to be consolidated prior to applying lining paper for decoration

FD

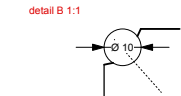
room doors fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latch ensure 15mm door stops

hazard: outline method statement
moisture management removal of perimeter slab involving use of cutting equipment used by experienced operative following Risk Assessed procedures.

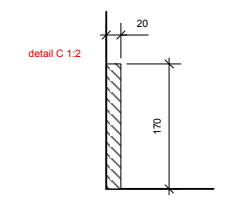
handling lime based materials requires full COSHH compliance with PPE as required opening up the external door covered in dwg. GC 316



timber dowel corner bead - original existing detail retained and plaster repaired



timber dowel corner bead - replica detail



timber skirting throughout - replicate skirting to stair side

NOTE: switches, sockets and light fittings to re-use current outlet locations where possible to minimise the cutting of new electrical boxes into historic fabric.

Unauthorized electrical works using gypsum plaster repairs around boxes to have gypsum removed - replaced with 3 coat lime plaster

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LEGEND

- WATER**
- RADIATOR Iron column floor standing radiator tbc
- THERMOSTAT tbc
- towel radiator electric backup tbc
- WATER supply
- STUB STACK AAV - Air Admittance Valve
- SVP
- Note: min 450mm from WC connection to drain invert level
- SMALL POWER + LIGHTING - H = HIGH LEVEL**
- NOTE: LOW LEVEL OUTLETS TO BE 450mm FFL WHERE EXISTING LOCATIONS RETAINED, SKIRTING MOUNTED ELSEWHERE
- All outlets to be brass trim face-plate
- PENDANT / CEILING LIGHT various client supply
- SPOT LIGHT recessed fitting LED allow for Envirolight DLCT/AC acoustic fluorescent hood to each fitting.
- LIGHT IP65 rated
- WALL LIGHT tbc IP rated where appropriate
- 5 AMP OUTLET wall switched tbc
- LIGHT SWITCHES (SINGLE / DOUBLE / 2-way D-dimmer)
- All switches brass finish TBC
- WALL LIGHT EXTERNAL IP65 rated main feed switched
- WALL LIGHT EXTERNAL IP65 rated mains fed PIR controlled
- DOUBLE with 2x USB / EXTERNAL / DOUBLE / SINGLE SOCKET OUTLET
- SWITCHED FUSED SPUR OUTLET to suit application
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- Distribution Board for ground and first floor electrical circuits, flag or similar quality, allow for min. 1 number spare circuit for future use. Board-RCD to BS 7671:2008+A3:2015 Amendment 3 compliant, conforms to BS EN 61439-3, pnc. Annex ZB
- WIFI router location for security linked to PIR/camera detection via bluetooth located within retained storage cupboard
- WIFI router location for doorbell linked sounder/mobile devices via bluetooth located within retained storage cupboard
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- MAINS OPERATED ALARM/HEAT ALARM - GENT or similar approved

FD30 High fire door hinges, latches and frame seals to BS 476: Part 22
CCTV Outlet connection to CCTV security/light



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previously stripped joinery to be refixed where loose, prepared for redecoration

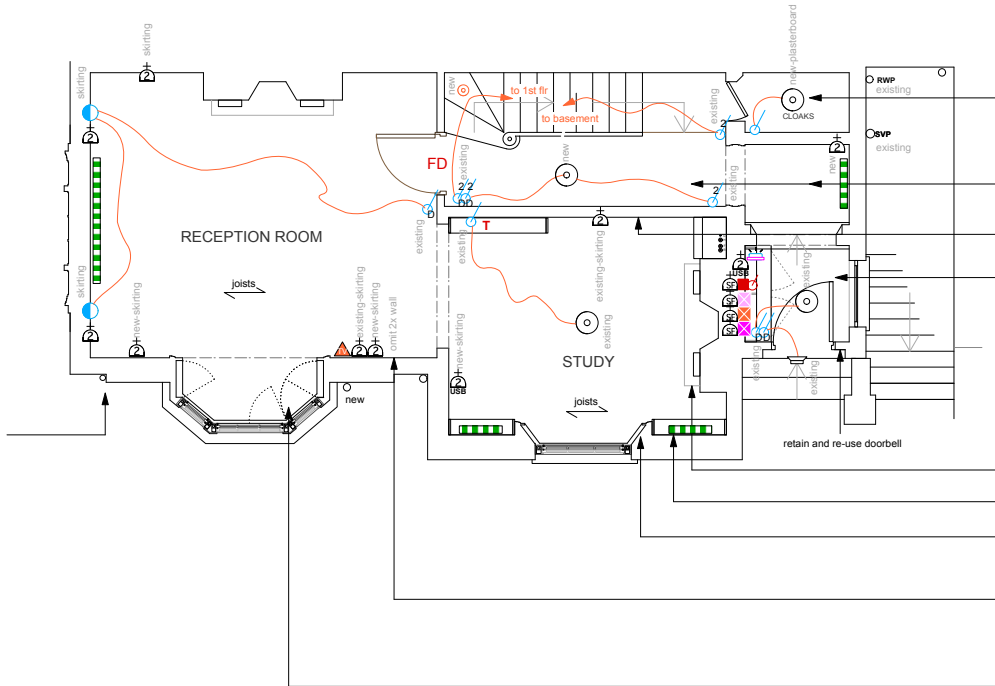
floorboards to be cleaned, refixed using cut floorboard nails where necessary, finish to be non petroleum based floor wax

FD

room doors adjoining the stair require upgrading fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latch ensure 15mm door stops

cast iron rainwater pipework:
- replacing PVC from main valley
- iron guttering and downpipe from bay roof
- cast iron hopper and downpipe from Northern parapet gutter

Welsh slate roofing matching colour thickness and edge finish replaces modern leadwork - lead secret gutter



repair existing lime based plaster to walls following paint removal - remove rotten joists and redundant steel water tank reinstate plaster ceiling under half roof door prepared for new paintwork
- floor boards cleaned and wax finished

floors cleaned and waxed, skirtings, spindles and steps decorated, stair handrail cleaned and waxed

study walls filled with lime based repair, fully papered and redecorated - note section of existing lacure finish to remain visible, location TBC

stone floor cleaned, recessed lime based pointing to joints/cracks

joinery, window and door prepared and redecorated, locks and hinges changed

consolidation of water damaged ceiling in situ, loose lining paper carefully removed and re-lined. Cornice cleaned of paint for redecoration in lime distemper, missing ornament replaced

2x marble surrounds to iron insert heads cleaned, fractured hearthstones to be consolidated in situ

shelving cleaned and retained as found

missing shutters remade as per details of bay window fitted into existing empty shutter boxes, decorated as window

gypsum plaster first coat repairs to electrical installation to be carefully removed and matching 3 coat haired lime with split laths used to repair walls prior to lining paper. No power outlets above 450mm

missing leaves of existing shutters re-instated, conservation repair to existing shutters, redecorated. Modern filler removed and original details reinstated to moulded reveal to bay soffit

Note:
all original joinery/mouldings/skirting repaired using conservation methods and appropriate matching materials - to be decorated

Gypsum + mesh undercoat to stair wall skimmed in gypsum and painted if gypsum cannot be removed without significant damage to lime plaster under

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hazard: outline method statement

Wiring
Wireways to minimise damage to lime plaster wall lights located to allow for floor run cabling with reduced opening up - gaps between studwork to be utilised for vertical runs - dust from plaster minimised but PPE required.

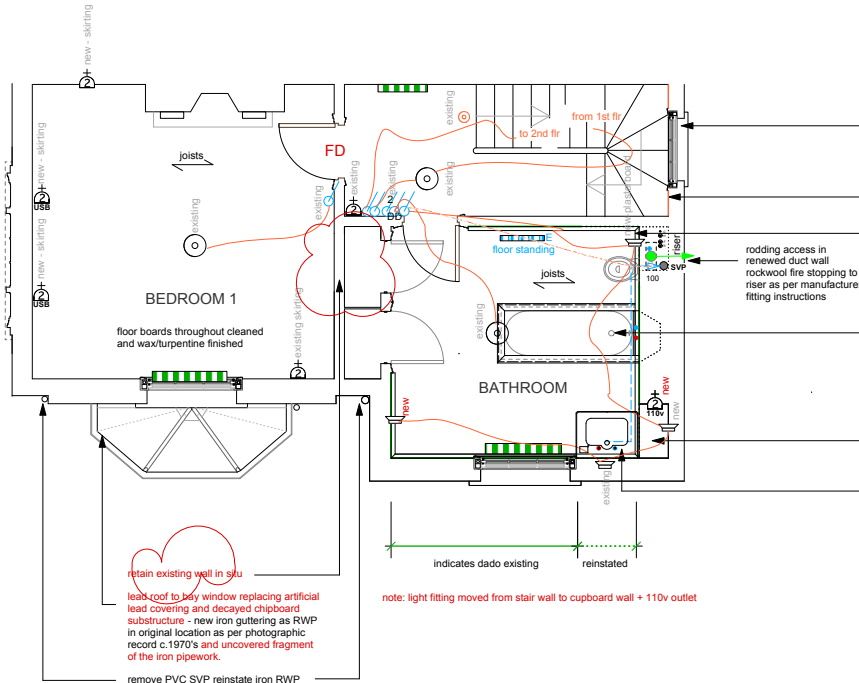
Water services
waste pipe runs between existing floor joists - existing notching to be used. Lifting of floorboards allows for inspection of joists, timber repair required if existing cut-outs excessive - engineer to comment. Boards lifted as per guidance from SPAB ensuring minimal risk to operative AND to boards.

External leadwork to be covered by Risk Assessment on working via scaffolding and COSHH aspects of lead handling - work by experienced and qualified tradesperson.

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3x sashes to stair, bedroom and bathroom stripped of paint and decay removed with matching timber pieced in, retain all glass in situ, replace putty on exterior of all panes, re-cord and fit new staff/ parting beads adjusted to run smoothly - replace oil and any sections of frame where water damage is evident

remove gypsum to window wall reinstate original lime plaster specification

WC panels relocated to wall, missing element to stair wall made to match detail and material traditional WC pan with reclaimed mahogany seat

In-line fan to re-use external airbrick as exhaust internally a circular brass grill used above existing cistern access panel in duct wall

Ref drawing GC 312 - existing panelling reinstated to restored bath with mahogany surround reinstated (if decay visible has penetrated into the timber matching wood to be sourced and remanufactured to size - taps traditional chrome with handspray shower cradle

basin vanity unit panels relocated to external wall and across alcove with replacement mahogany shelf made using reclaimed wood

underslung Shanks basin sourced with marble top and chrome legs to suit retained vitrolite splashback

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previously stripped joinery to be refixed where loose, prepared for redecoration
floorboards to be cleaned, refixed using cut floorboard nails where necessary, finish to be floorpaint due to the previous over-sanding and varnishing removing the character of the boards and reducing thickness - preventing further sanding to remove unsightly varnish

FD
room doors adjoining the stair require upgrading fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latch ensure 15mm door stops

remove lowered plasterboard ceiling to North of valley beam set at original level of 2 metres

remove existing rain and waste water pipework

remove section of plaster retain original mansard rafters

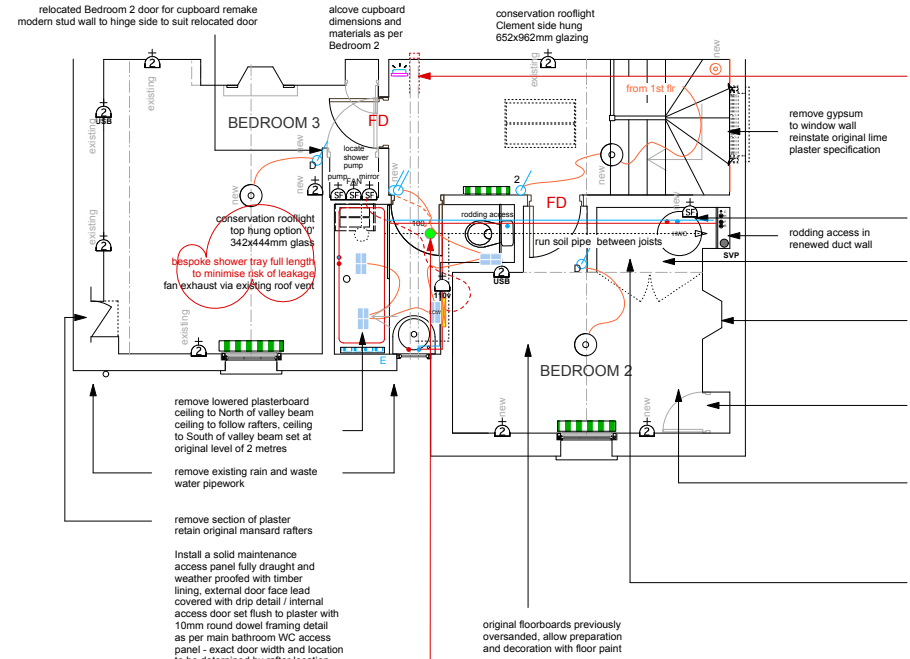
Install a solid maintenance access panel fully draught and weather proofed with timber lining, external door face lead covered with drip detail / internal access door set flush to plaster with 10mm round dowel framing detail as per main bathroom WC access panel - exact door width and location to be determined by rafter location and gutter height - inaccessible without scaffolding so detail can be a condition drawn and approved once full scaffold is erected - door size estimated at 250mm wide x 400mm high

relocation of extract vent to level ceiling + shift light positions

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decay of valley beam extensive - steel reinforcement required to connect into existing wall bearing 2x 12mm plates bolted to existing beam with stiffener and bearing plate set within wall.

remove existing WC, replace duct wall plasterboard with suitable access panels - relocate door to Bedroom 3 - allow new hardwood frame to replace softwood frame from 1968-9

remove studwork and plaster board walls from 1968-9, re-configure to locate WC in bathroom, waste pipework run between joists to retained SVP

clean and repair existing hearth, missing fire surround not replaced allow lime plaster repair around open brick hearth

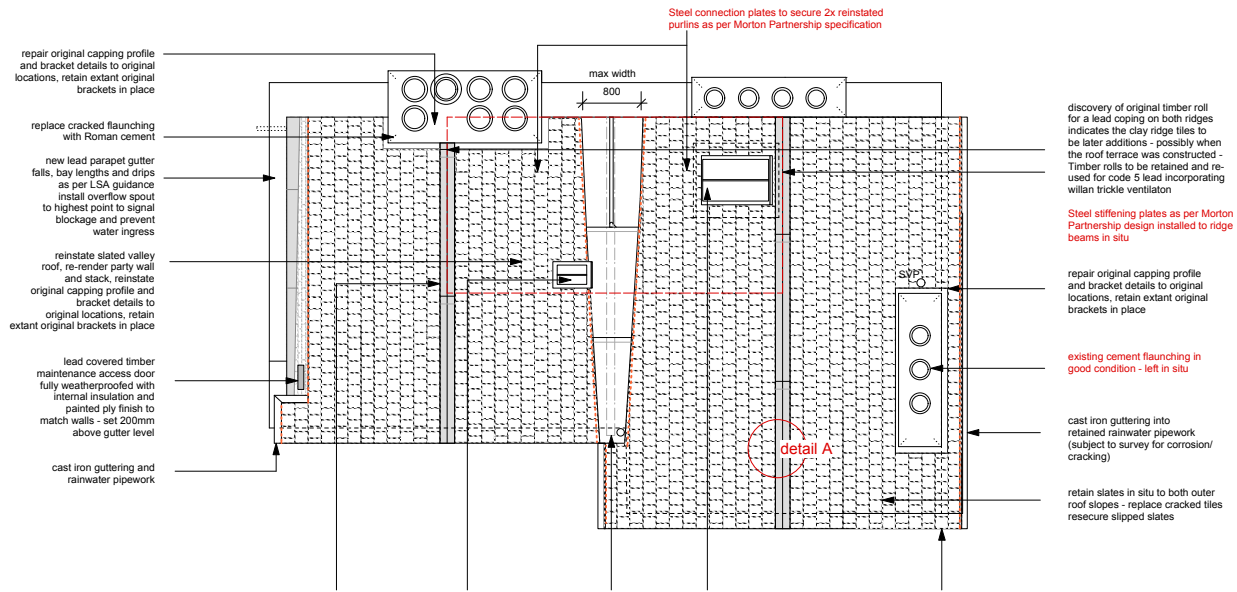
repair and redecorate original alcove cupboard with extant shelving, strip paint and repair lime plaster interior

pitched plasterboard ceilings removed, rafters insulated with insulated plasterboard ceilings - ventilation described on dwg ref. GC 305

lowered 'ceiling' to WC and wardrobe extended across entry door threshold, set at original ceiling height pre-1968 to acknowledge scale of servant quarters - pitched ceiling runs above to stair wall visually reinstating the original depth of the room

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 - illuminated mirror with integral on-off switch



Investigation has revealed the original hand planed timber ridge roll shaped for a lead covering. The lead in code 5 will be used to reinstate the original detail.

The introduction of Glidevale vents between lead ridge and slates will allow for ventilation under slates

Glidevale eaves vents to be located at gutter level and at tilting level of lead valley gutter to comply with Building Regulations Approved Document G2 and BS 5250

Indicates extent of pitched roof reinstatement

top hung conservation rooflight (by Clement - opening size 263x462mm) to Shower room - note rooflight set into new rafters recreating original pitch - no original roofing timbers affected by rooflight installation

lead valley - three drips @65mm - bossed and welded lead outlet into iron downpipe - allow rodding point on bend accessible from bathroom window below for safe clearance access

Code 5 lead bay length suitable for 2m, each bay 1.5m max

No splash lap, allow raking cut to drip within tapered gutter, wood core roll to centre of upper bay

Steel bearing plates as per Morton Partnership design to replace decayed valley beam end to party wall - fitted in-situ to existing beam

side hung egress conservation rooflight (by Clement - glass size 652 x 962mm) allowing maintenance access - 'fallsafe' anchor fixed to party wall to allow harness use - rooflight opening edge side to party wall

bargeboards stripped of paint, decay cut out and new timber pieced in - redecorated to same colour as render (off white) using oil based primer, undercoat, top coats

discovery of original timber roll for a lead coping on both ridges indicates the clay ridge tiles to be later additions - possibly when the roof terrace was constructed - Timber rolls to be retained and re-used for code 5 lead incorporating willan trickle ventilation

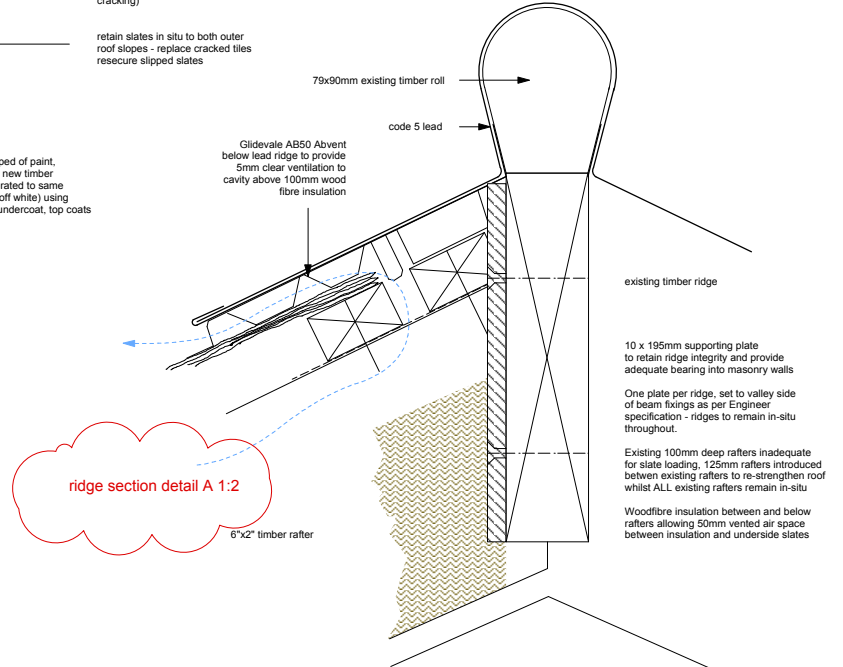
Steel stiffening plates as per Morton Partnership design installed to ridge beams in situ

repair original capping profile and bracket details to original locations, retain extant original brackets in place

existing cement flashing in good condition - left in situ

cast iron guttering into retained rainwater pipework (subject to survey for corrosion/cracking)

retain slates in situ to both outer roof slopes - replace cracked tiles resecure slipped slates



ridge section detail A 1:2



150mm rafters set in between existing rafters to reinforce vulnerable timber on all pitches

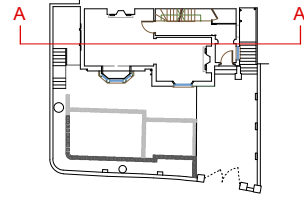
opening up blocked hearth leave in brick - if hearthstone present restore in situ

refer to GC320A for specification of code 5 lead roof detailed as per Lead Sheet association guidance replacing existing fibreglass flat roof

reinstate existing shelving and radiator cabinets utilising original fixings, lightly clean original limewash wall finish to rear of w/dow wall shelving reinstate radiators to cabinets full height mirrors reinstated on existing timber framework missing shutters remade details as per adjacent room

opening up blocked hearth for inset cooker, incorporate new extraction unit into flue across laundry ceiling to exterior

Note: reinstated purlins as part of listed consent/enforcement action to reverse the unauthorised terrace installation from 1969



- install cast iron guttering
- inspect and if necessary replace valley gutter using code 5 lead as per LSA details to existing outlet
- maintenance access between existing rafters
- reinstate timber structure to original double pitch roof - add rooflight retaining existing wall
- repair dado panelling from 1968 retain all panelling, bath and surround replace broken shanks basin with equivalent basin and marble top
- remove render - reopen 1968 doorway
- remove arched cross wall, replace with square headed opening
- lower external ground level if required

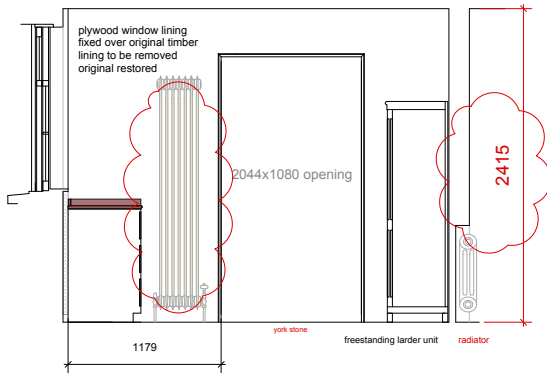
original Scullery flagstone floor retained in-situ refer to drawing GC 321

limecrete 'lung' to edge of retained concrete slab - slate tiles across existing concrete slab ref GC 321

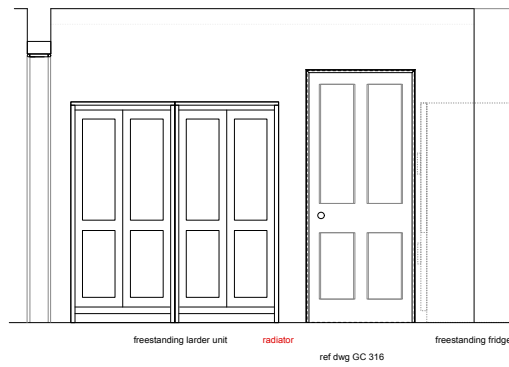




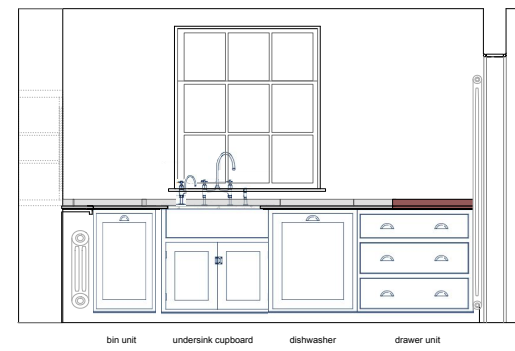
section AA



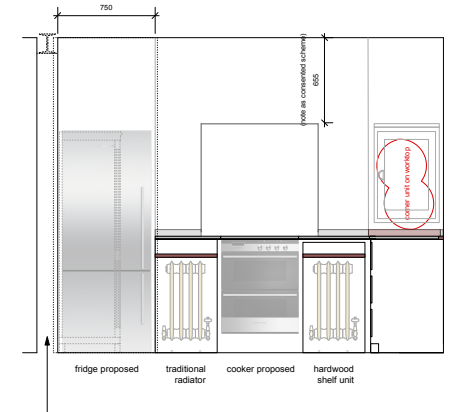
elevation A



elevation B



elevation C



joinery items use single panel doors following precedent
 worktop material salvaged by Bennett for the 1969 kitchen re-used to maintain continuity of appearance and usefulness
 original 1850's window surround under plywood to be restored

fire rated wall to stairway
 hall under retained steel RSJ
 softwood T+G to stairside on plasterboard/studwork with full fill rockwool mineral batts for fire rated enclosure. Plaster board to kitchen face

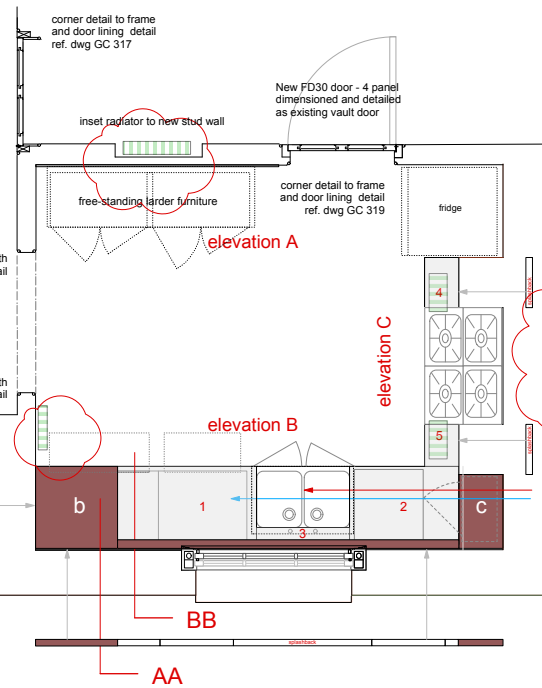
hardwood and Carrera marble reclaimed material from original kitchen



New FD30 door - 4 panel dimensioned and detailed as existing vault door

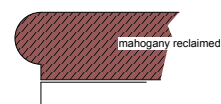
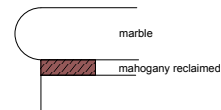
timber lining of opening with dowel corner detail

timber lining of opening with dowel corner detail



worktop edge detail shaped to follow existing marble edge detail

section detail AA 1:1 worktop



section detail BB 1:1 worktop

splashback material marble or mahogany aligned to worktop material adjacent

elevation D

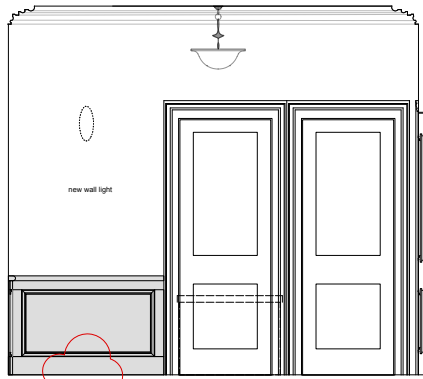


ref. dwg GC 317

20 diameter timber
 dowel corner detail to doorway and opening
 170x20mm softwood square edged skirting
 dowel corners run onto top edge of skirting
 timber linings to doorways



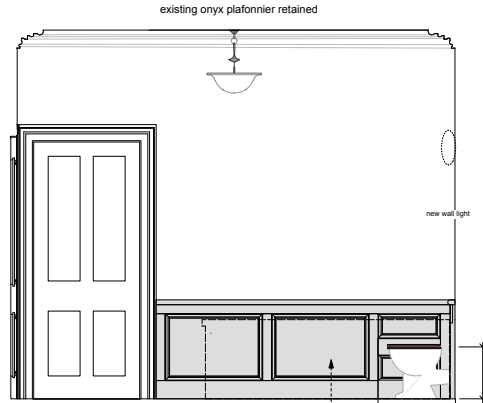
section AA



omission of shower tray and enclosure

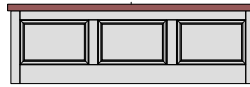
retained cupboard doors redecorated

elevation A



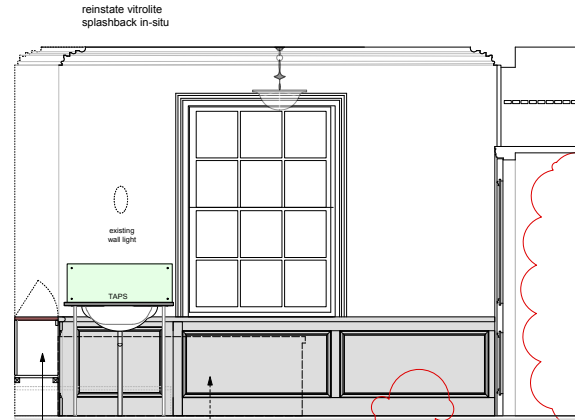
retained door redecorated

additional paneling to match panel above



bath side

elevation B

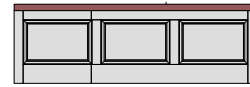


hinged mahogany shelf for access to storage within dado paneling

relocate existing vanity unit panel to continue existing dado

omission of shower tray and enclosure

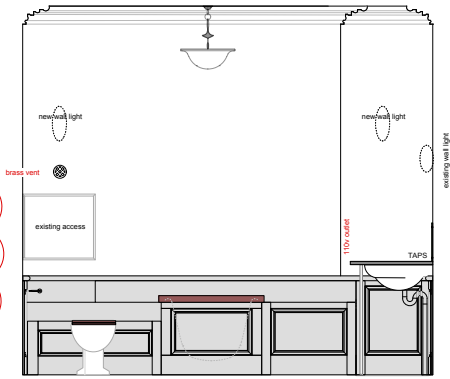
retain existing wall and cupboard arrangement - no change



bath side

additional panel to match adjacent

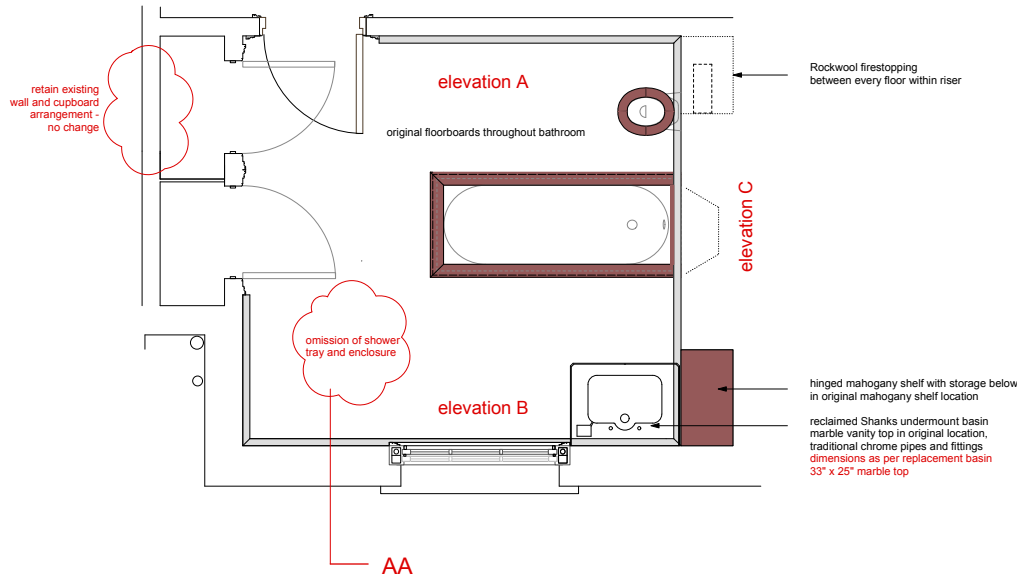
elevation C



relocate existing WC facing panel to continue dado

re-make existing bath end panel re-using mouldings replace MDF with ply to match side paneling

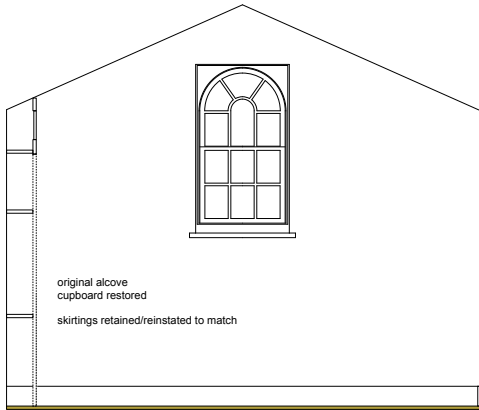
relocate existing vanity unit door panel to continue existing dado



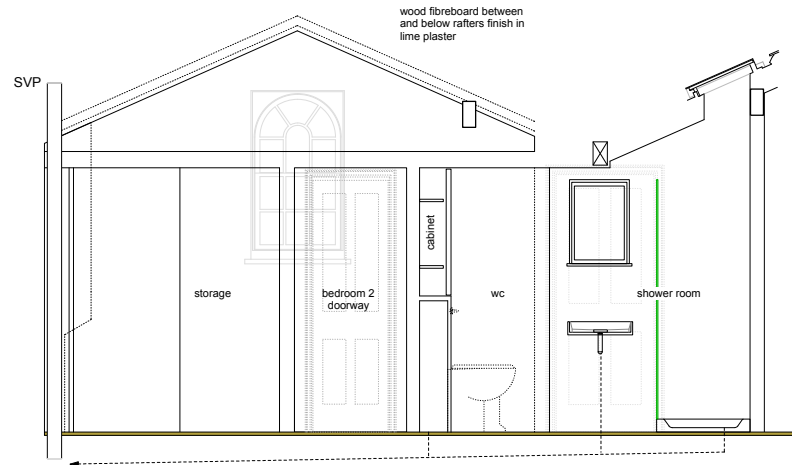
AA



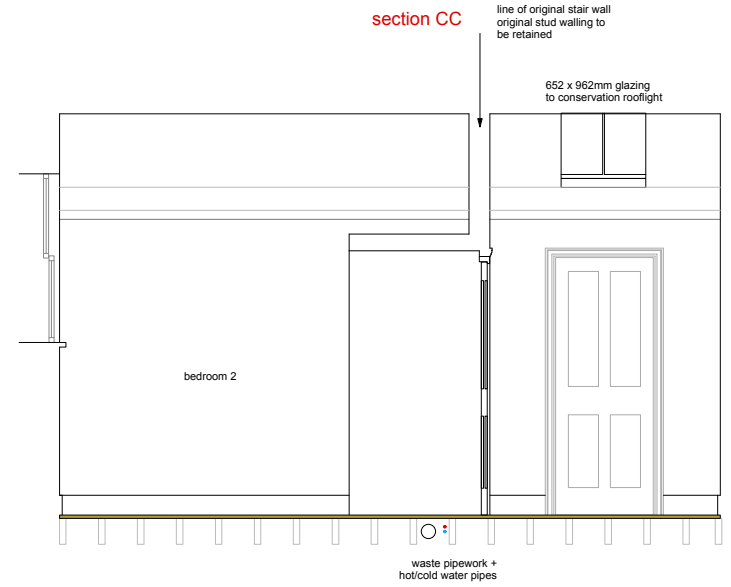
section AA



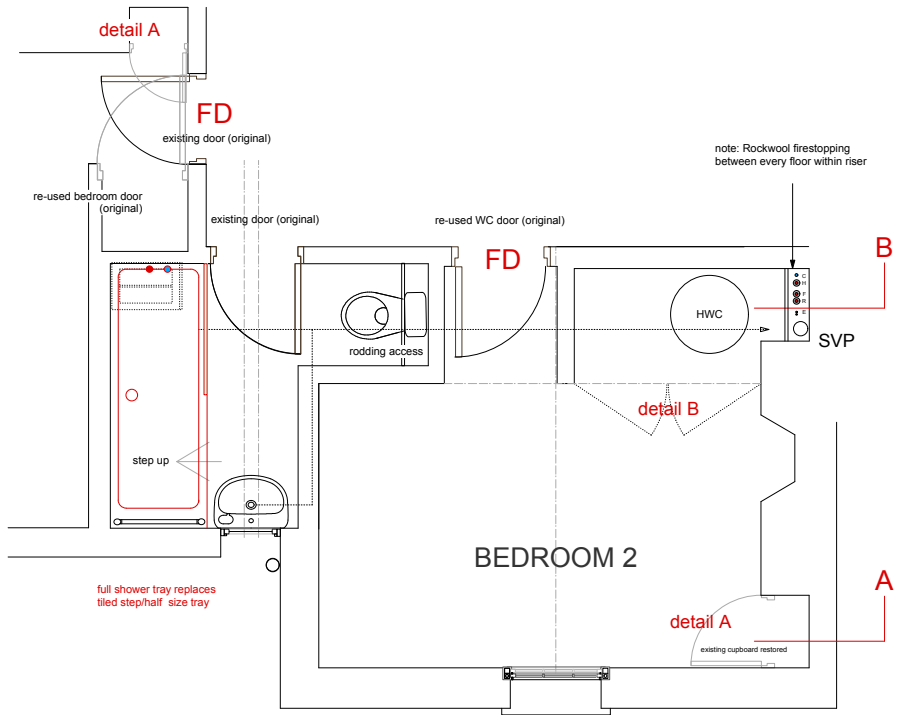
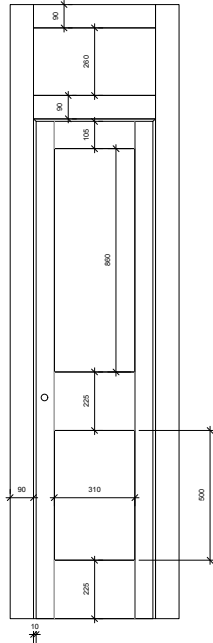
section BB



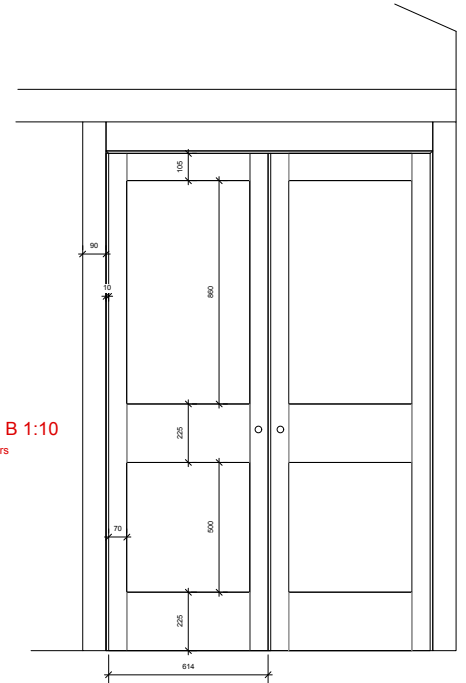
section CC

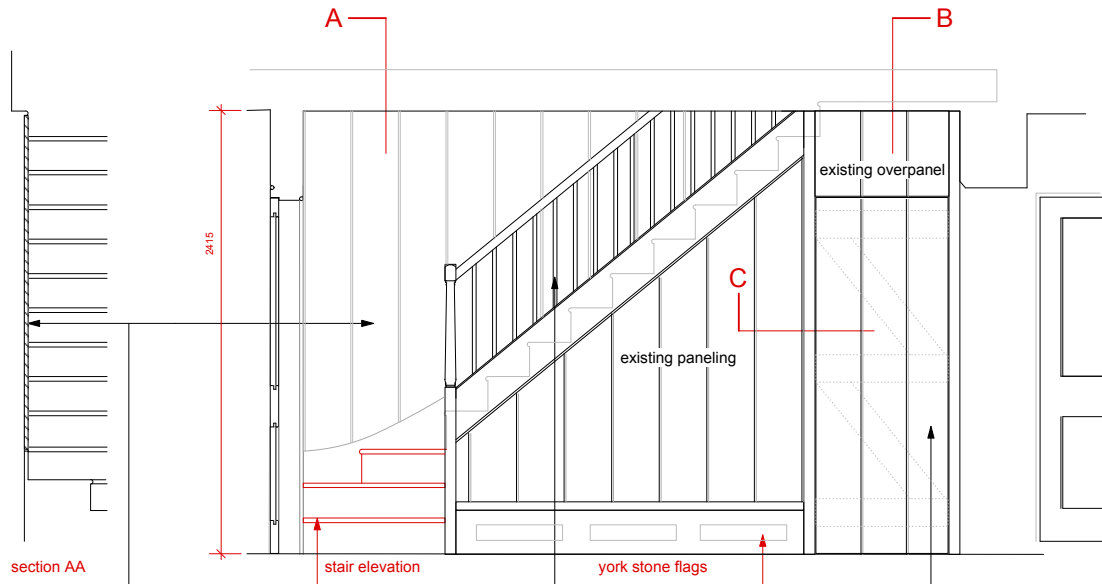


detail A 1:10
existing door



detail B 1:10
new doors





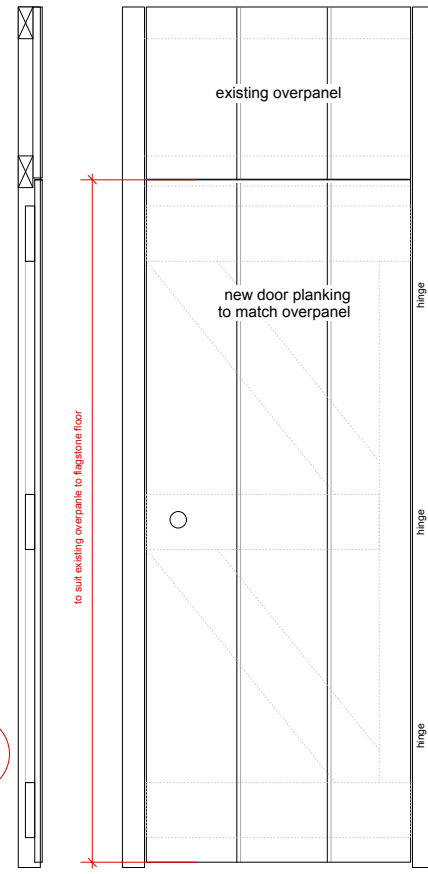
vertical timber paneling as per stairside - run between retained stringer and existing rounded timber 'shelf' projection to stepped party wall - decorated as stairside - paneling on party wall only

- square spindles retained, repaired and decorated
- newel post and handrail retained as stripped wood, cleaned and waxed
- external stringer decorated as per original vertical stair boarding, skirting and new door
- linoleum and plastic nosings to steps and risers removed - timber cleaned and decorated in floor paint to cover existing mis-matched ply repairs

lower three risers were previously reduced to accommodate screed and tile depth, restoration of the original floor level requires the returning of the lower three risers to original dimension using matching timber

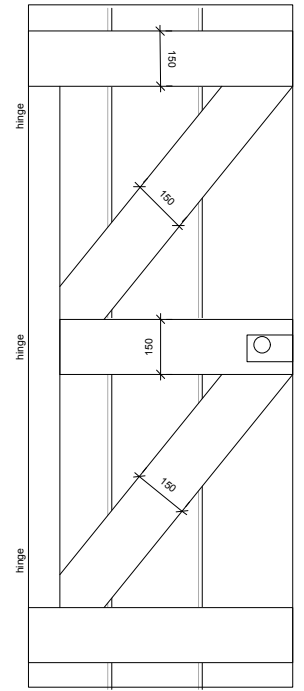
existing skirting with three flush panels retained and lower edge decay cut out and restored following removal of cement screed and tiles

new braced plank door in redwood plank widths as per existing, decorated as per existing stairside and overpanel

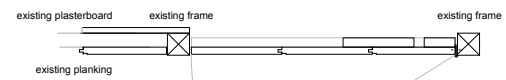


section BB 1:10

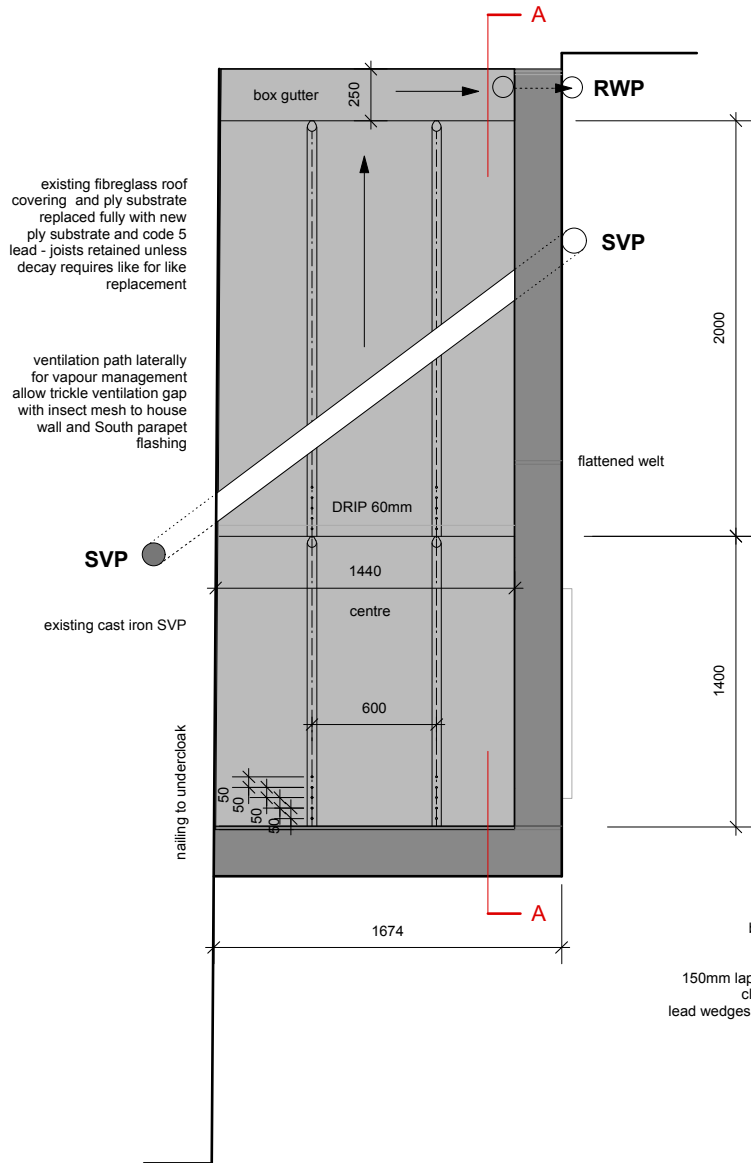
outer face



inner face



section CC 1:10



Code 5 lead sheet throughout.

Rolls set out to avoid pipe wall exit and low point above parapet gutter.

Max. 2 metre coping cloak length joint centre on wall.

Over and undercloak bossed over splayed end of wood cored rolls - avoid welding.

wood cored rolls abutting wall to have bossed detail - undercloak may be nailed to roll using five nails per roll at 50mm spacing from the abutting wall - avoid welding.

Drip within gutter 50mm min. Corners to box gutter may be welded. Splashlap to be 40mm as fall less than 3 degrees.

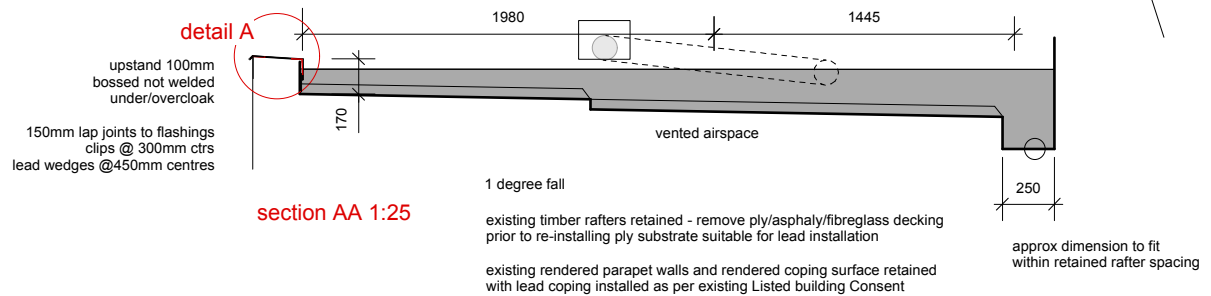
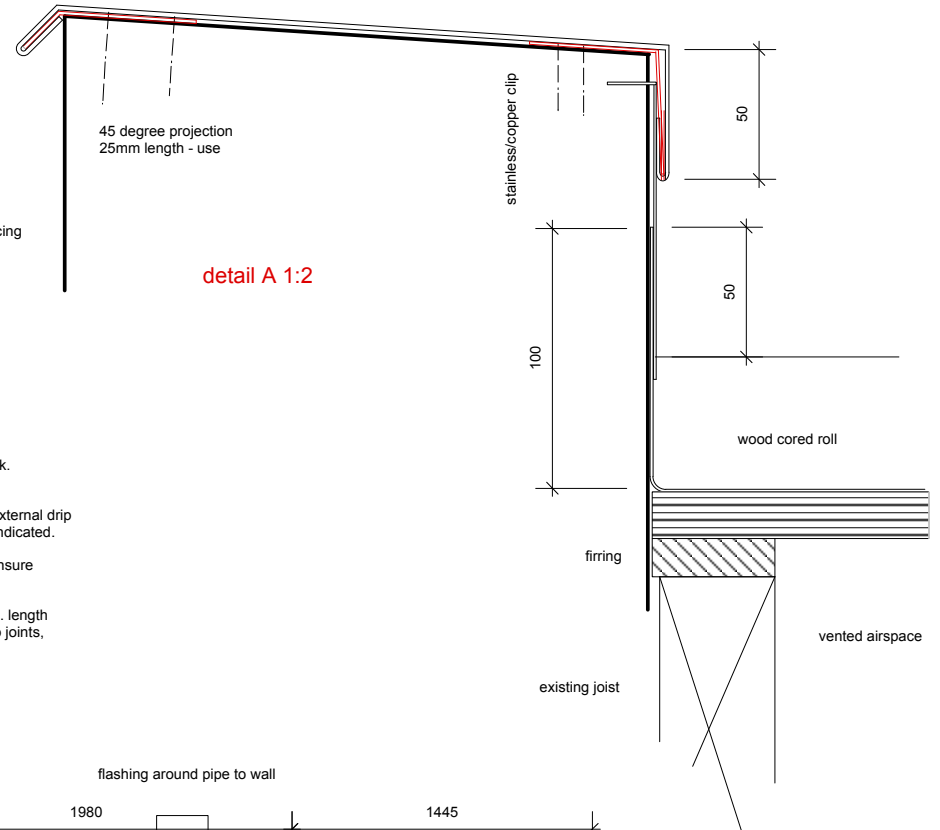
Catch pit with welded lead spigot through wall to existing iron hopper - the size of the catch pit to be enlarged if the existing roof build-up restricts depth to 150mm. A lead overflow should be fitted at a level just below the dressed gutter lining.

Lead outlet diameter to match iron pipework.

Coping details using clips along length of external drip to suit exposure - flattened welts on head indicated.

Dress lead coping around existing SVP - ensure adequate clipping.

Covering flashings to house wall 1.5m max. length between laps, lead clips at 400ctrs, 100 lap joints, upstand min 75mm.

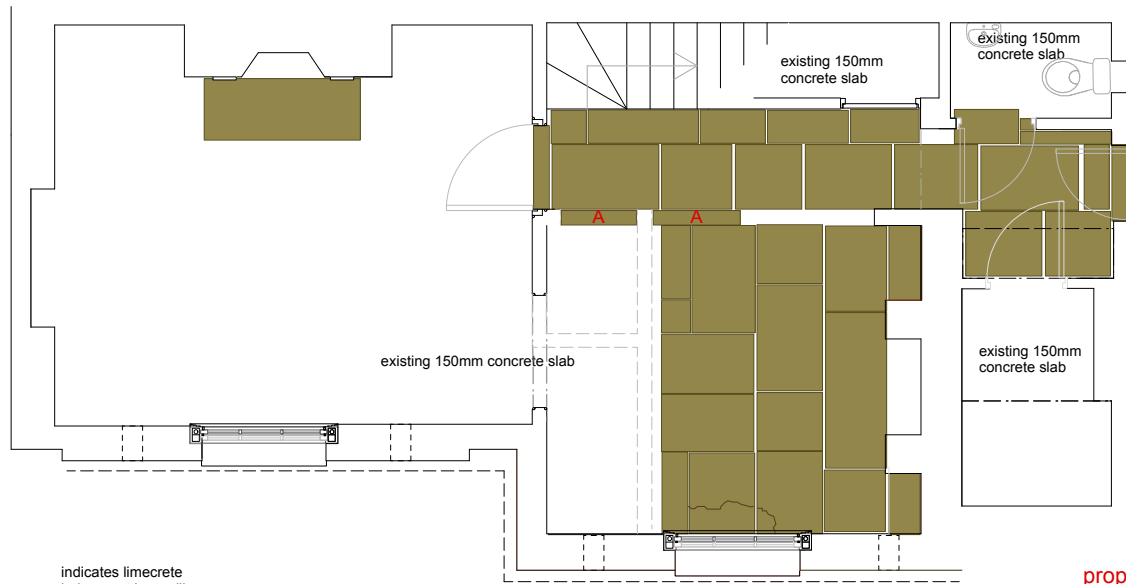


survey of original scullery and hallway floor

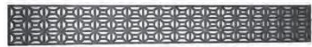
A note original York stone door thresholds retained in situ under the reinstated scullery wall given consent in 2020

the scullery slabs are supported on brick supports with a 70mm continuous void created below the slabs linked to vents positioned in the external wall linked to an external ventilated full height cavity discovered at the commencement of approved works

existing plan 1:50



external plinth - cement removed, re-rendered in Roman stucco clay tile supports retained where intact - replaced with matching clay tiles. The existing vent holes cleaned and mesh fitted, with a 50mm clear gap between external wall and new limecrete 'lung' to facilitate moisture evaporation through the original vented cavity.



detail A

Ballantine castings cast iron grille G040 -136(W)x1115(L)x 6mm (not to scale)

indicates limecrete below cast iron grille

detail A

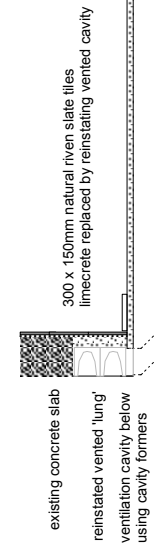
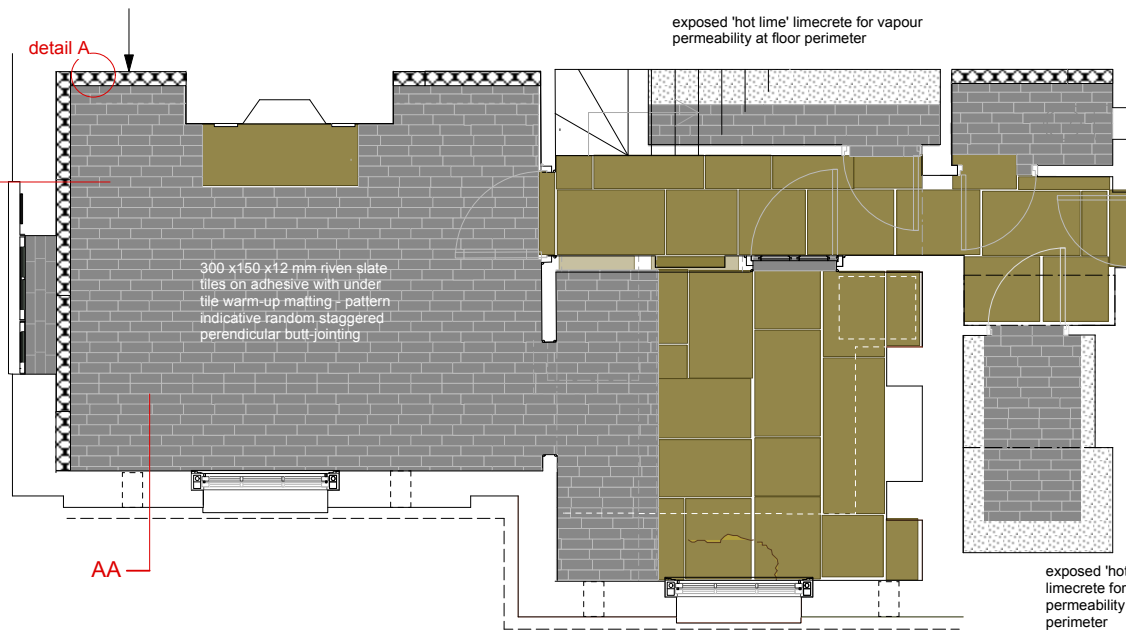
exposed 'hot lime' limecrete for vapour permeability at floor perimeter

proposed section AA 1:20

BB

new door approved in 2020 with slate threshold set level with finished floor level aligned to original York stone floor

proposed plan 1:50



section BB 1:20

