

vented guiley investigated - clear channel, replace modern cement render with Roman cement matching original render, strip existing grilles of clogging paint to restore airflow, seek to reduce external flower bed to lightwell level, retain stone slab adjoining window cill - set to fall away from window, remove concrete base - ref dwg GC 102A

Full CCTV survey of drains to confirm condition

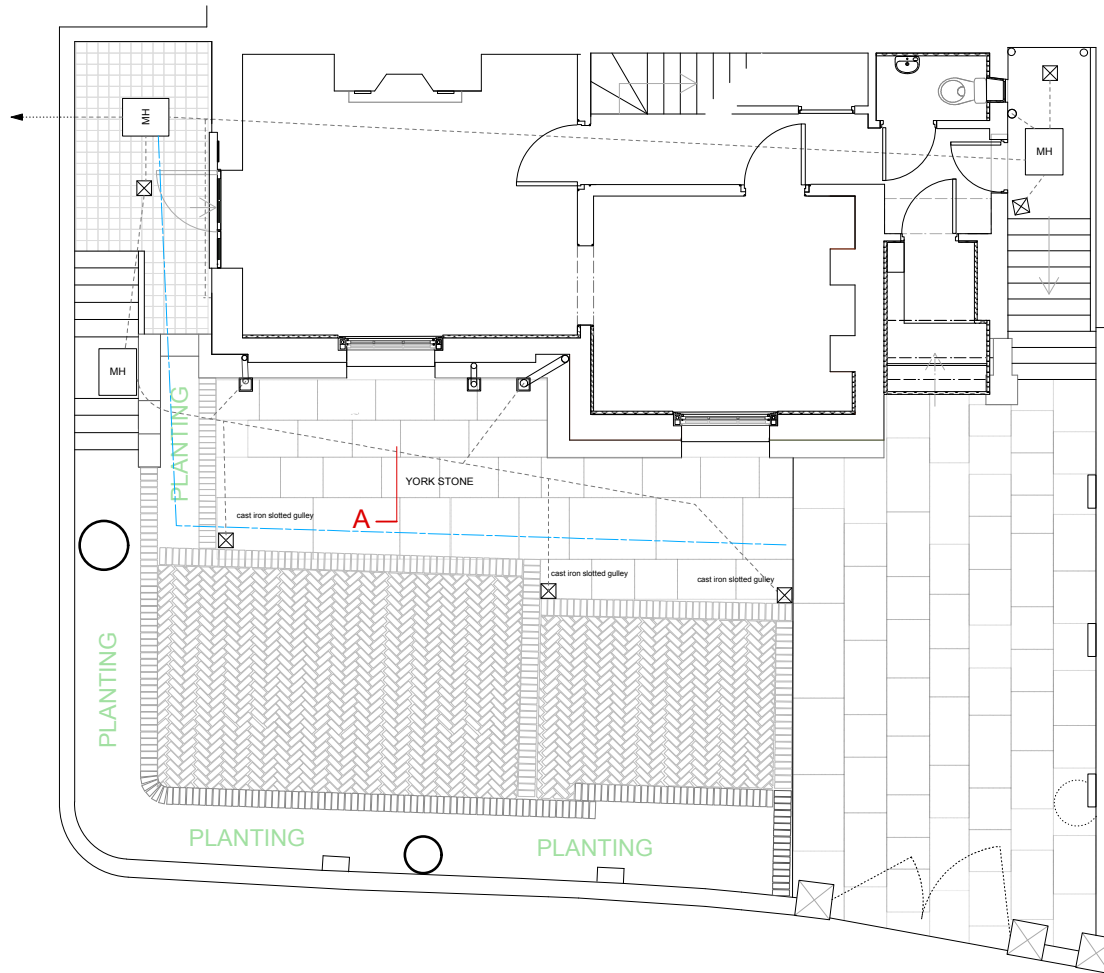
retain york stone paving and re-bed loose or unlevel slabs to retain existing pattern but minimised trip hazards

retain existing herringbone paviors, border walls and perimeter wall as existing.

retain concrete to falls, black quarry tile finish to North and South areas

retain red engineering brick stair to North area

existing timber gates require decay cut out, pieced in matching timber with joints reinforced with metal plates or fixings as required



retained york stone slabs cleaned and mortar repairs after cracked base



reclaimed york stone paving guiley moved away from house wall, retaining wall in brick herringbone paviors retained - revealed masonry vented cavities rendered in Roman cement decorated as per house in microporous silicate paint

new land drain

retained paviors

SECTION A 1:50

remove wallpaper and filler to chimney to reveal timber dowel corner and replaster in lime to reinsteate original detail - clean marble surround from paint

slate tiled finish throughout on rigid insulation board (use subject to screed depth below quarry tiles)

visible limecrete perimeter border set flush with slates and polished

reinstated plasterboard ceiling

repairs to windows and doors will require the removal of original material only where decayed, the scheduling of repairs to follow the stripping of paint

plaster damage to be consolidated prior to applying lining paper for decoration

previously stripped joinery to be refixed where loose, prepared for redecoration

FD

room doors fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latch ensure 15mm door stops

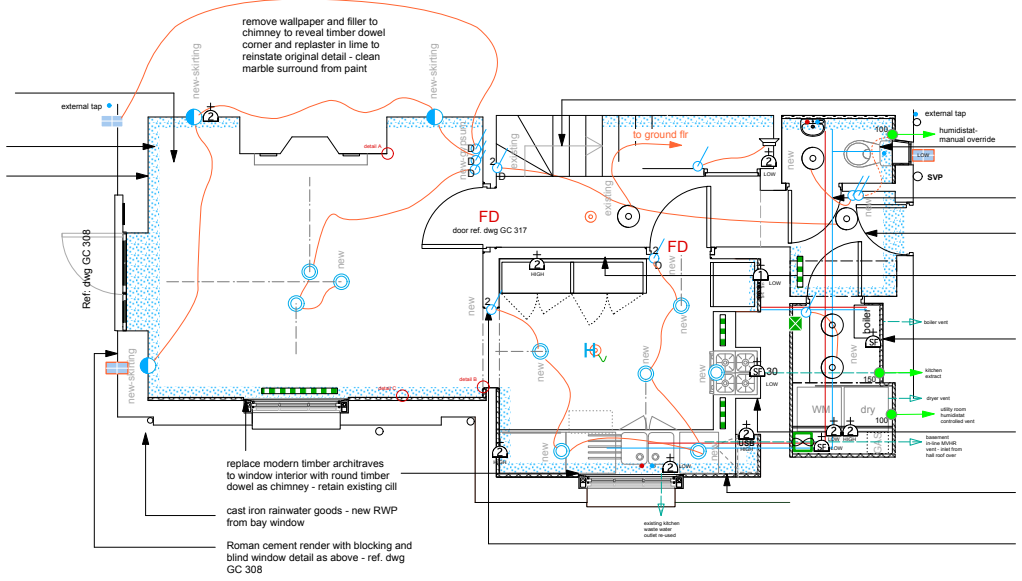
hazard: outline method statement

Moisture management

Removal of perimeter slab involving use of cutting equipment used by experienced operative following Risk Assessed procedures.

Handling lime based materials requires full COSHH compliance with PPE as required

Opening up the external door covered in dwg. GC 316



Prepare and repaint existing stair, stripped handrail

remove WC and fittings, plaster and floor finishes prior to the installation of Newton system

allow chases for pipework in concrete slab, high performance pipe insulation, limecrete repair

Solid timber four panel external door with upper panels glazed

Timber stud wall with painted T+G to faces, covering plasterboard fire lining and fire rated four panel doors to match existing doors within house.

indicates 'newton' vented membrane to secure internal surface from damp as limited ventilation in small spaces precludes use of vapour permeable lime - vaulted brick ceiling under internal hall left exposed with lime-wash finish

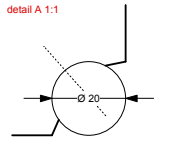
opening up hearth for oven and extraction, replaster in lime

newton membrane with wet plaster mesh to provide robust surface screened from earth reatining wall preventing moisture build-up behind kitchen units

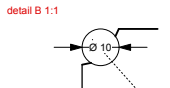
new masonry structural wall with supporting beam over supporting existing joists

LEGEND

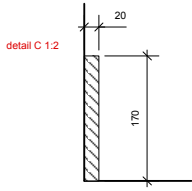
- WATER**
- RADIATOR Hudevad P6 tbc
 - RADIATOR Iron column floor standing radiator tbc
 - THERMOSTAT tbc
 - lowv radiator electric backup tbc
- WATER supply**
- STUB AAV - Air Admittance Valve
 - SVP Note: min 450mm from WC connection to drain invert level
- SMALL POWER + LIGHTING - H = HIGH LEVEL**
- NOTE: LOW LEVEL OUTLETS TO BE 450mm FFL WHERE EXISTING LOCATIONS RETAINED, SKIRTING MOUNTED ELSEWHERE
- All outlets to be brass thin face-plate
- PENDANT / CEILING LIGHT various client supply
 - SPOT LIGHT recessed fitting LED allow for Enviroglar DLCT/AC acoustic intumescent hood to each fitting.
 - LIGHT IP65 rated
 - WALL LIGHT tbc IP rated where appropriate
 - 5 AMP OUTLET wall switched tbc
 - LIGHT SWITCHES (SINGLE / DOUBLE / 2-way D-dimmer) All switches brass finish TBC
 - WALL LIGHT EXTERNAL IP65 rated main fed switched
 - WALL LIGHT EXTERNAL IP65 rated mains fed PIR controlled
 - DOUBLE with 2x USB / EXTERNAL / DOUBLE / SINGLE SOCKET OUTLET
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 - Distribution Board for ground and first floor electrical circuits. Flag or similar quality, allow for min. 1 number spare circuit for future use. Board-RCD to BS 7671:2008+A3:2015 Amendment 3 compliant, conforms to BS EN 61439-3 etc. Annex ZB
 - WiFi router location for security linked to PIR/camera detection via bluetooth located within retained storage cupboard
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 - MAINS OPERATED ALARM/HEAT ALARM - GENT or similar approved
 - FD30 Half Hour fire door hinges, latches and frame seals to BS 476: Part 22



timber dowel corner bead - original detail



timber dowel corner bead - replica detail



timber skirting throughout - replicate skirting to stair side

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Unauthorized electrical works using gypsum plaster repairs around boxes to have gypsum removed - replaced with 3 coat lime plaster

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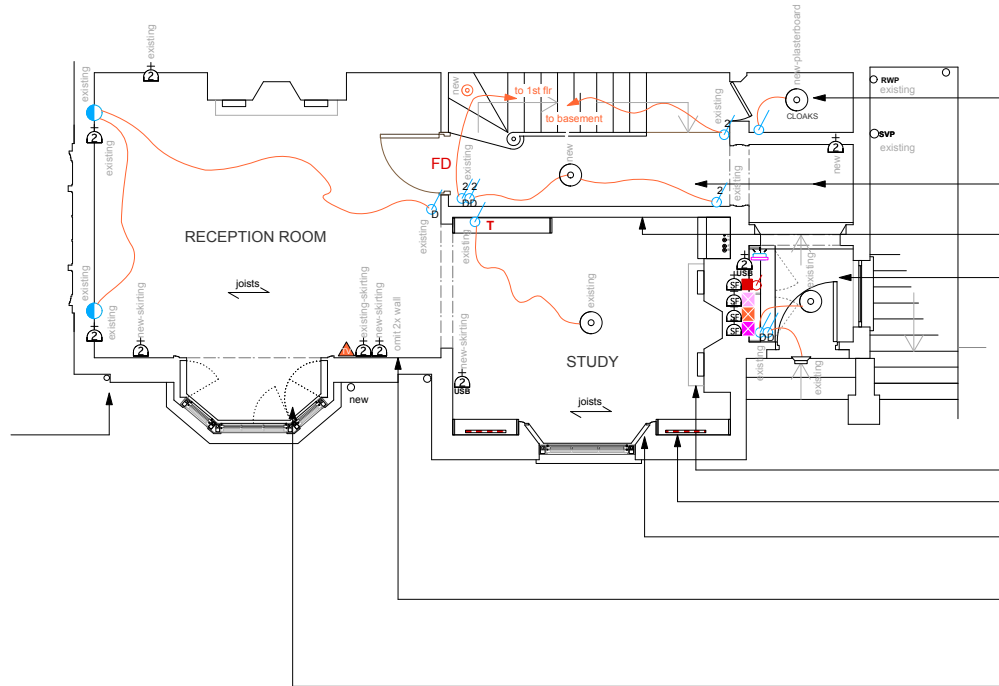
floorboards to be cleaned, refixed using cut floorboard nails where necessary, finish to be non petroleum based floor wax

FD

room doors adjoining the stair require upgrading fire resistance - to include: edge fixed fire seal 3 sides fire rated antique bronze finish hinges fire rated sprung latch ensure 15mm door stops

cast iron rainwater pipework:
- replacing PVC from main valley
- iron guttering and downpipe from bay roof
- cast iron hopper and downpipe from Northern parapet gutter

Welsh slate roofing matching colour thickness and edge finish replaces modern leadwork - lead secret gutter



repair existing lime based plaster following paint removal - reinstale plaster at high level to match existing - ceiling lath + 3 coat work as elsewhere - door prepared for new paintwork - floor boards cleaned and wax finished.

floors cleaned and waxed, skirtings, spindles and steps decorated, stair handrail cleaned and waxed

study walls filled with lime based repair, fully papered and redecorated - note section of existing lacure finish to remain visible, location TBC

stone floor cleaned, recessed lime based pointing to joints/cracks

joinery, window and door prepared and redecorated, locks and hinges changed

consolidation of water damaged ceiling in situ, loose lining paper carefully removed and re-lined. Cornice cleaned of paint for redecoration in lime distemper, missing ornament replaced

2x marble surrounds to iron insert heads cleaned, fractured hearthstones to be consolidated in situ

shelving cleaned and retained as found
missing shutters remade as per details of bay window fitted into existing empty shutter boxes, decorated as window

gypsum plaster first coat repairs to electrical installation to be carefully removed and matching 3 coat haired lime with split laths used to repair walls prior to lining paper. No power outlets above 450mm

missing leaves of existing shutters reinstated, conservation repair to existing shutters, redecorated. Modern filler removed and original details reinstated to moulded reveal to bay soffit

Note:
all original joinery/mouldings/skirting repaired using conservation methods and appropriate matching materials - to be decorated

Gypsum + mesh undercoat to stair wall skimmed in gypsum and painted if gypsum cannot be removed without significant damage to lime plaster under

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 - RADIATOR Iron column floor standing radiator tbc
 - T THERMOSTAT tbc
 - tbc low radiator electric backup tbc
 - WATER supply
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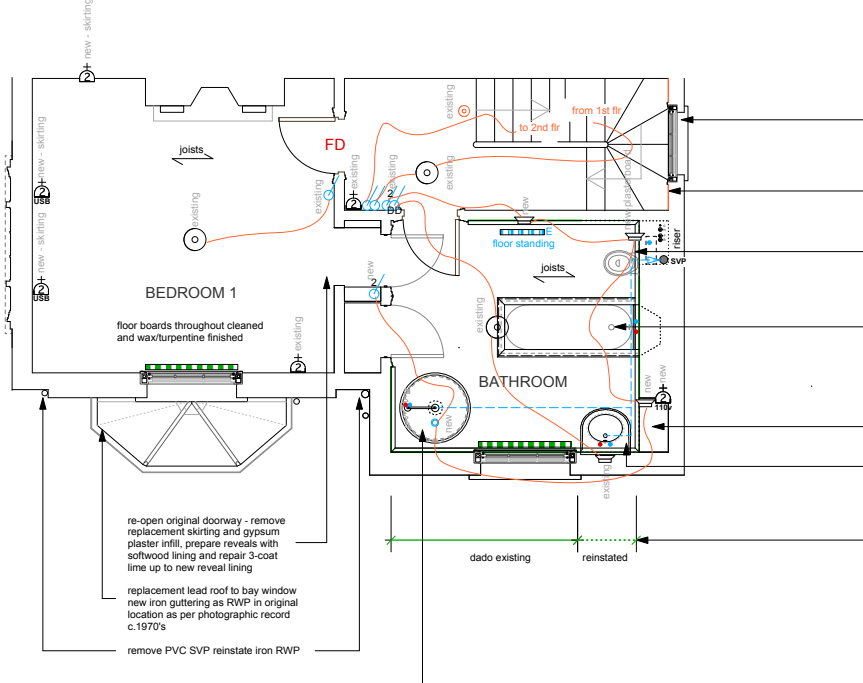
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hazard: outline method statement

Wiring
Wireways to minimise damage to lime plaster wall lights located to allow for floor run cabling with reduced opening up - gaps between studwork to be utilised for vertical runs - dust from plaster minimised but PPE required.

Water services
waste pipe runs between existing floor joists - existing notching to be used. Lifting of floorboards allows for inspection of joists, timber repair required if existing cut-outs excessive - engineer to comment. Boards lifted as per guidance from SPAB ensuring minimal risk to operative AND to boards.

External
leadwork to be covered by Risk Assessment on working via scaffolding and COSHH aspects of lead handling - work by experienced and qualified tradesperson.



BEDROOM 1
floor boards throughout cleaned and wax/petroleum finished

re-open original doorway - remove replacement skirting and gypsum plaster infill, prepare reveals with softwood lining and repair 3-coat lime up to new reveal lining

replacement lead roof to bay window new iron guttering as RWP in original location as per photographic record c.1970's

remove PVC SVP reinstate iron RWP

circular shower tray with curtain enclosure on ceiling mounted rail, no contact with any wall or paneling - note shower pipework/supply and control freestanding fixed to shower tray - short section of floorboard removed for pipe access, retained on site for future refitting if shower to be removed ensuring reversability

3x sashes to stair, bedroom and bathroom stripped of paint and decay removed with matching timber pieced in, retain all glass in situ, replace putty on exterior of all panes, re-cord and fit new staff/parting beads adjusted to run smoothly -replace cill and any sections of frame where water damage is evident

remove gypsum to window wall reinstate original lime plaster specification

WC panels relocated to wall, missing element to stair wall made to match detail and material reclaimed vintage WC pan with reclaimed mahogany seat

Ref drawing GC 312 - existing paneling reinstated to restored bath with mahogany surround reinstated (if decay visible has penetrated into the timber matching wood to be sourced and remanufactured to size - taps traditional chrome with handspray shower cradle

basin vanity unit panels relocated to external wall and across alcove with replacement mahogany shelf made using reclaimed wood

underslung Shanks basin secured with marble top matching original in colour and edge moulding with traditional chrome taps

stripped cornice around entire room finished in lime distemper, ceiling repaired in lime with lath support

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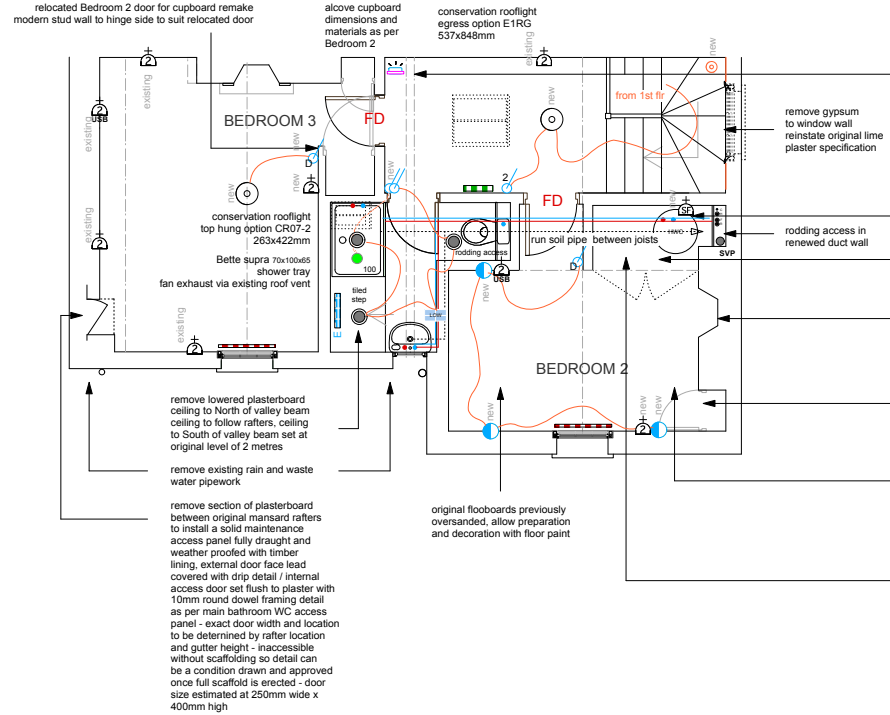
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floorboards to be cleaned, refixed using cut floorboard nails where necessary, finish to be floorpaint due to the previous over-sanding and varnishing removing the character of the boards and reducing thickness - preventing further sanding to remove unsightly varnish

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investigate surface decay of valley beam - if unsound or water saturated brickwork cannot be effectively dried out then a section of the beam to be removed and replaced with a matching species and grain plus engineered splice plate

remove existing WC, replace duct wall plasterboard with suitable access panels - relocate door to Bedroom 3 - allow new hardwood frame to replace softwood frame from 1968-9
remove studwork and plaster board walls from 1968-9, re-configure to locate WC in bathroom, waste pipework run between joists to retained SVP

clean and repair existing hearth, missing fire surround not replaced allow lime plaster repair around open brick hearth

repair and redecorate alcove cupboard with extant shelving, strip paint and repair lime plaster interior

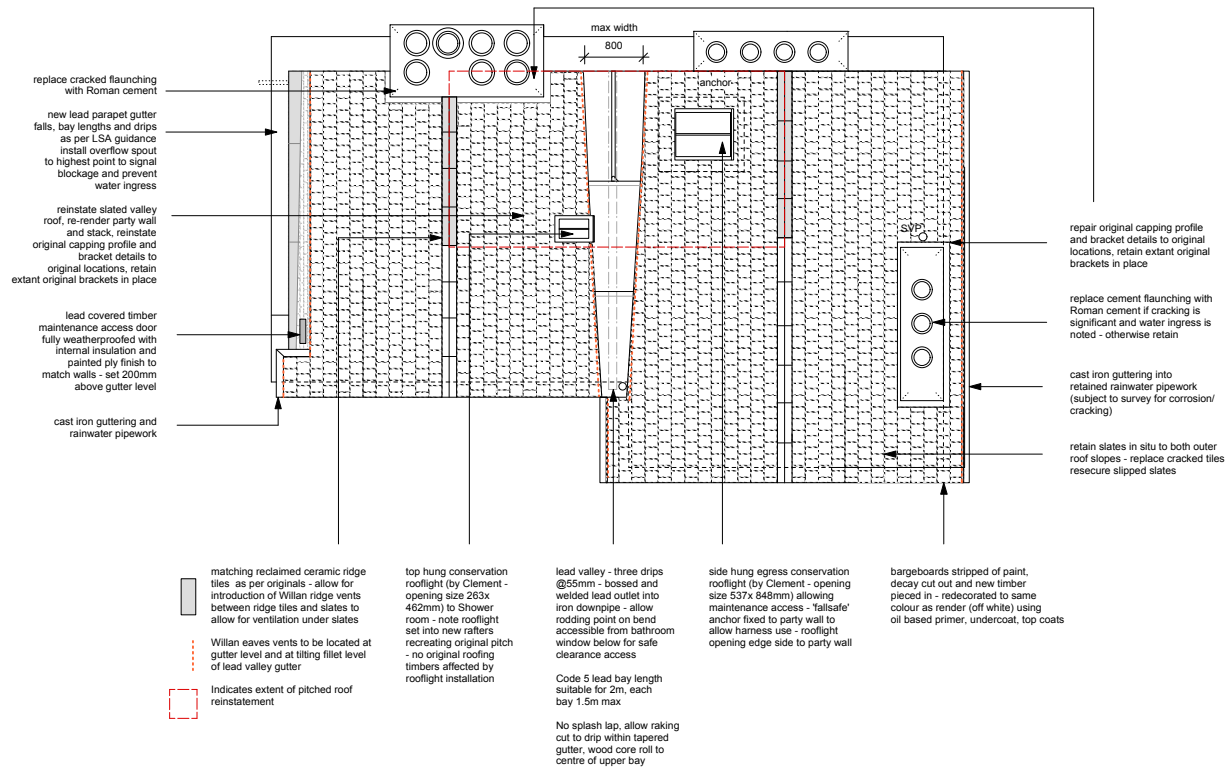
pitched plasterboard ceilings removed, rafters insulated with insulated plasterboard ceilings - ventilation described on dwg ref. GC 305

lowered ceiling to WC and wardrobe extended across entry door threshold, set at original ceiling height pre-1969 to acknowledge scale of servant quarters - pitched ceiling runs above to stair wall visually reinstating the original depth of the room

LEGEND

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hazard: outline method statement

Facade

Full scaffolding (guarding, netting, toe-boards erected and certified by competent installer required for all access above 2 metres. Lifts to provide ready access to all surfaces without the use of stepped access on the scaffold. A scaffold to both chimneypieces will be required.

Ensure operations such as iron pipework have at least two operatives attending the work at any time, with no-one working on the lifts directly below. Lead should not be used to seal the iron pipework joints for health and safety reasons.

Balustrading to gutter and all projecting mouldings to be stress tested prior to works commencing to ensure loose debris unable to fall in an uncontrolled way.

Minimal original material to be removed back to sound surface when making crack repair. Any areas of blown render to be identified to the Architect prior to removal to confirm extent of repair - cutting discs may be used to minimise impact vibration, depth must not exceed the render thickness to preserve the masonry, all operatives must use full and appropriate PPE as identified in the relevant Risk Assessment and have undertaken certified abrasive wheel safety training.

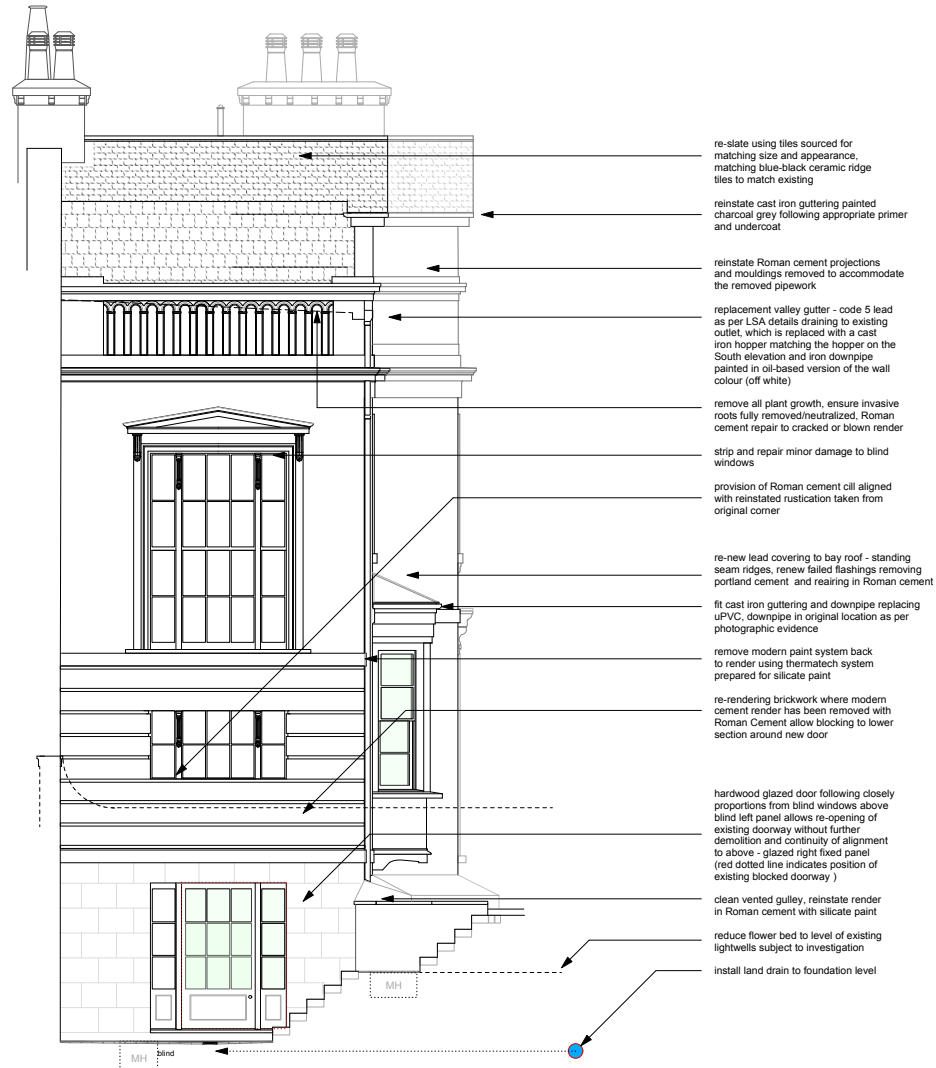
Roofing

Slatting works to be scheduled with no workers on scaffold below, undertaken by operatives experienced in traditional roofing, works covered by site specific risk assessments. Note slates removed for re-use, ensure nail holes are not enlarged during removal.

Modern sarking felt visible under slates indicating recent removal/replacement - battens therefore to be replaced - fixings and nails to be treated steel or non-ferrous for longevity. Ensure each existing slated pitch photographed prior to removal and pattern of slates followed when reinstating.

Doorway

Existing concrete beam to be utilised so removal of existing blockwork to create new doorway will not require an Engineering method statement. PPE as identified in the relevant Risk Assessment is required.



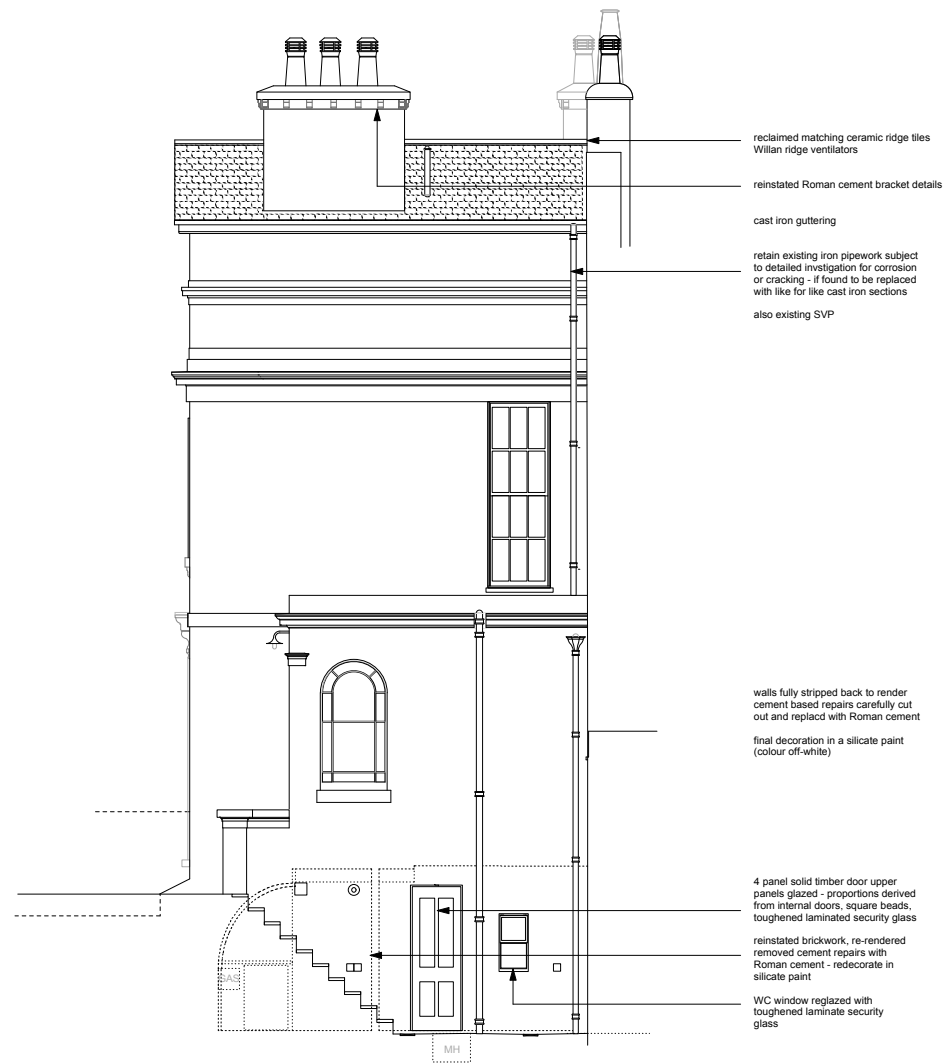
Cement render covering the flashing to be removed a 35mm upstand to the wall abutment used for the wood roll detail, a cover flashing bossed to cloak the meeting point of the two ridge rolls where they meet at the wall. Head fixings must be sealed prior to the cover flashing. Roman cement used to repair render to the cover flashing (lead wedges @450mm ctrs) - no render used over flashing (note failure of render and damp ingress in existing detail).

Cover flashing lap to be 200mm for 24 degree pitch

Splayed roll ends run to drip, bossed ends used with no splash lap - no welding to roll ends - allow min 40mm for adequate lap, form return under ply substrate which should have the drip edge rounded (as per torus roll) before forming vertical drip into the iron guttering







- boiler flue visible ☉
- kitchen extract set behind cast iron grille set flush to render □
- WC, dryer vent and room vent set behind 100x100 cast iron grilles ▣

reclaimed matching ceramic ridge tiles
Willan ridge ventilators

reinstated Roman cement bracket details

cast iron guttering

retain existing iron pipework subject to detailed investigation for corrosion or cracking - if found to be replaced with like for like cast iron sections

also existing SVP

walls fully stripped back to render cement based repairs carefully cut out and replaced with Roman cement

final decoration in a silicate paint (colour off-white)

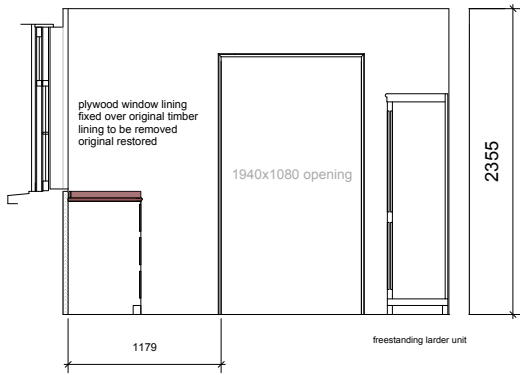
4 panel solid timber door upper panels glazed - proportions derived from internal doors, square beads, toughened laminated security glass

reinstated brickwork, re-rendered removed cement repairs with Roman cement - redecorate in silicate paint

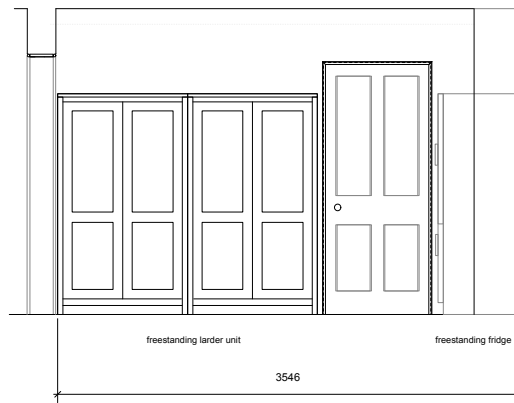
WC window reglazed with toughened laminate security glass



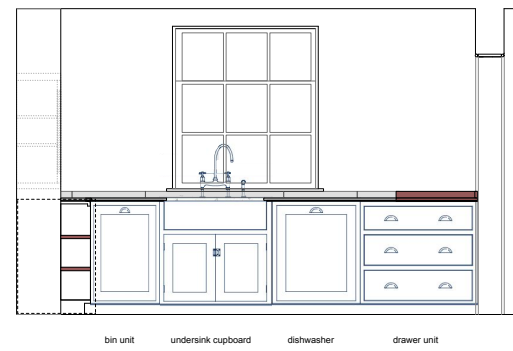
section AA



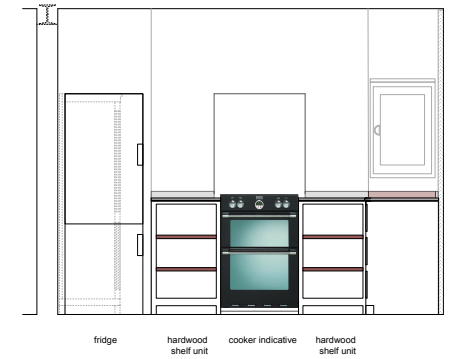
elevation A



elevation B



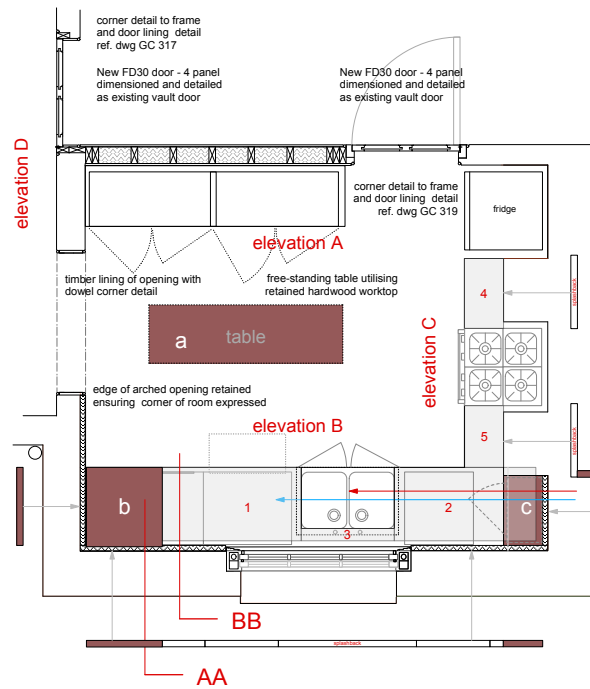
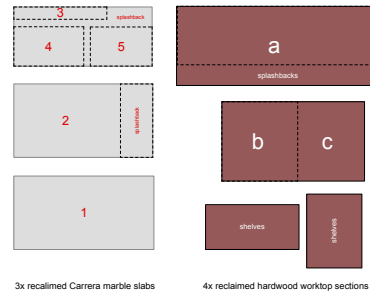
elevation C



joinery items use single panel doors following precedent
 1969 salvaged worktop material from Bennett kitchen re-used to maintain continuity of appearance and use
 original 1850's window surround restored

new masonry spine wall
 fire rated stud wall to stairway under retained steel RSJ

hardwood and Carrera marble reclaimed material from original kitchen



worktop edge detail shaped to follow existing marble edge detail

section detail AA 1:1 worktop



section detail BB 1:1 worktop

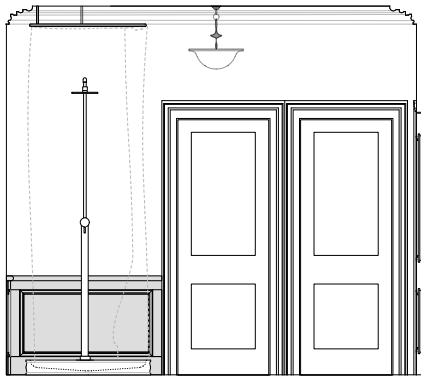
elevation D



20 diameter timber
 dowel corner detail to doorways and opening
 170x20mm softwood square edged skirting
 dowel corners run onto top edge of skirting
 timber linings to doorways

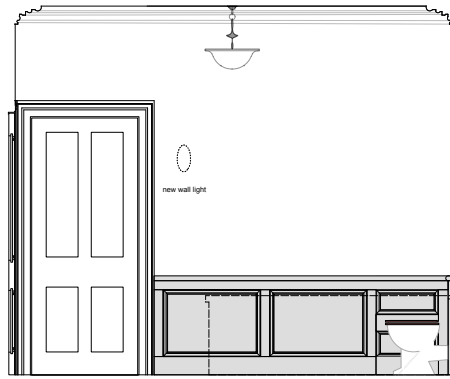


section AA

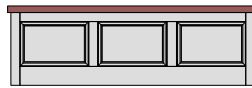


existing onyx plafonnier retained

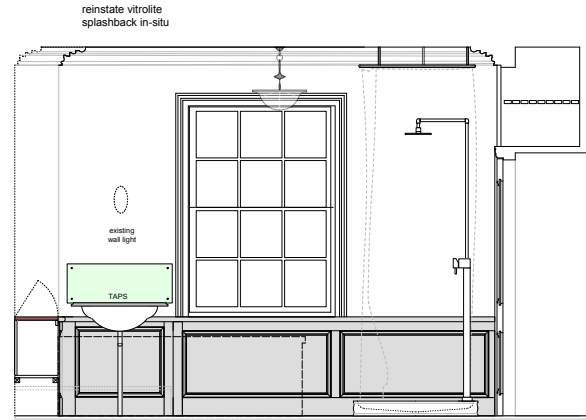
elevation A



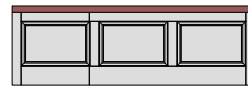
additional paneling to match panel above



elevation B

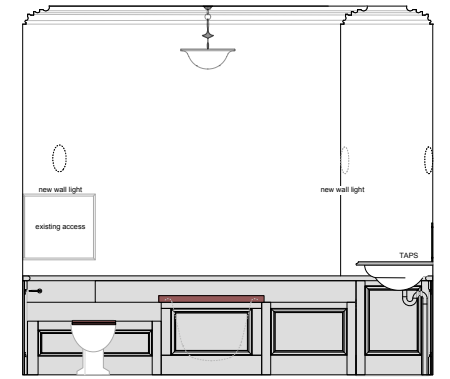


relocate existing vanity unit panel to continue existing dado



additional panel to match adjacent

elevation C



relocate existing WC facing panel to continue dado

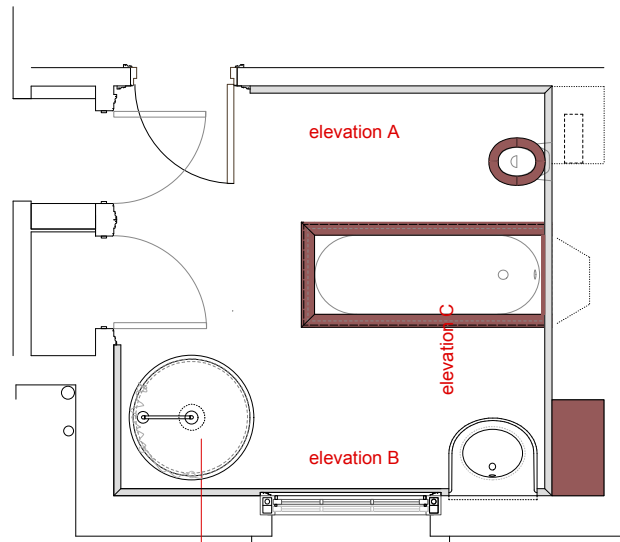
re-make existing bath end panel re-using mouldings replace MDF with ply to match original materiality

relocate existing vanity unit door panel to continue existing dado

ceiling mounted rail - fixing points aligned to existing ceiling joists



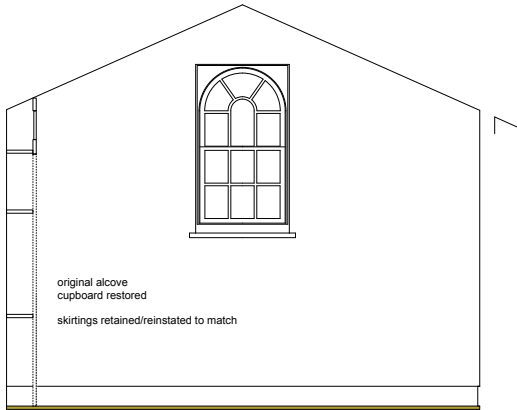
marble floor standing shower tray and tray-mounted floor-fed shower unit



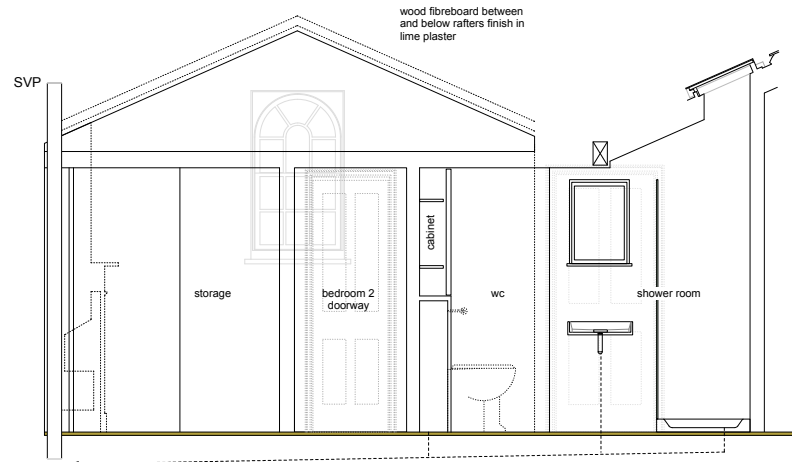
AA



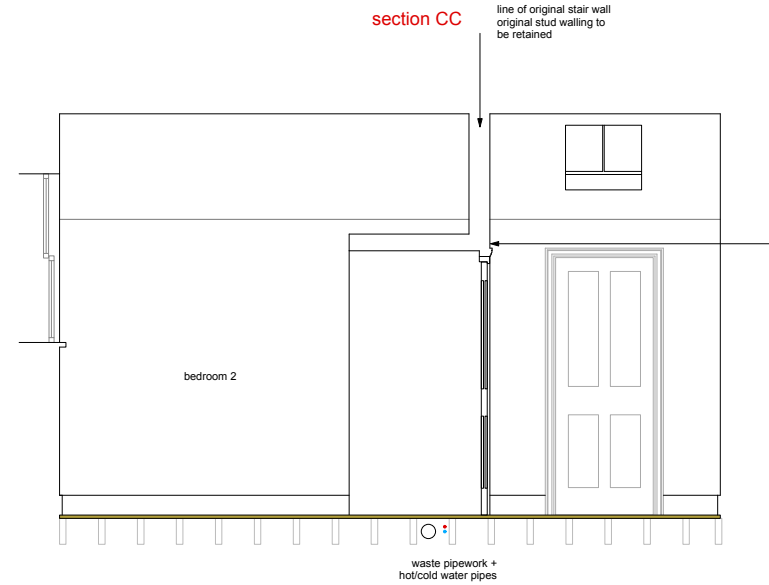
section AA



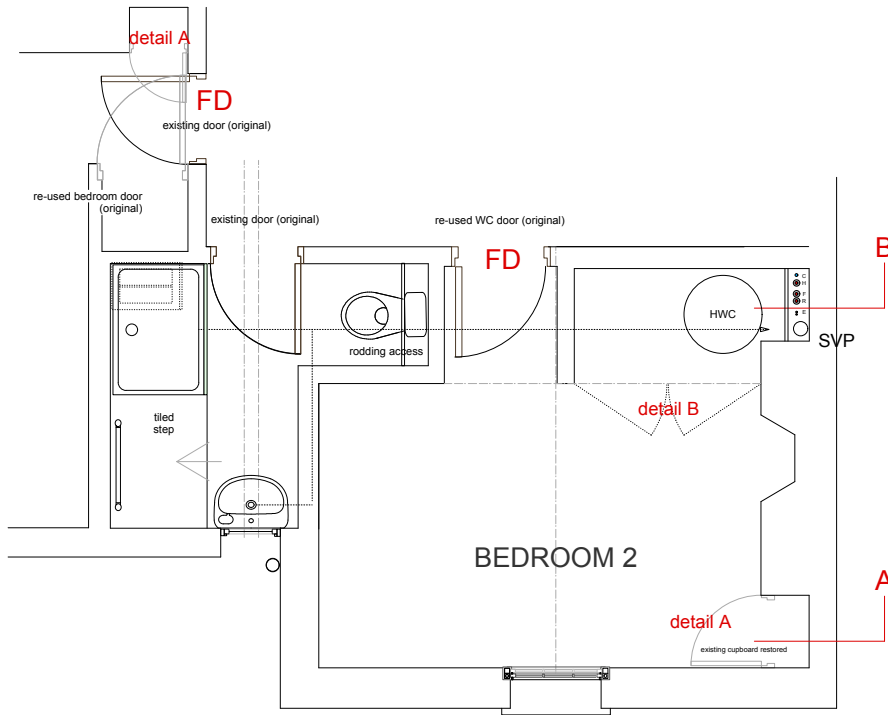
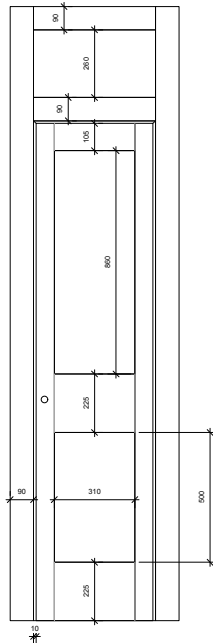
section BB



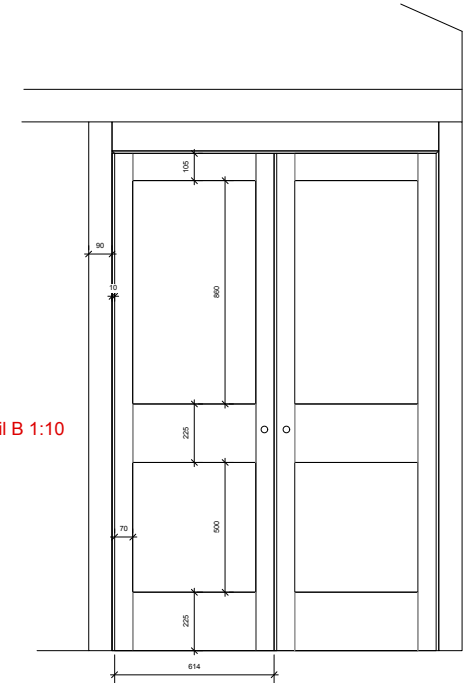
section CC



detail A 1:10



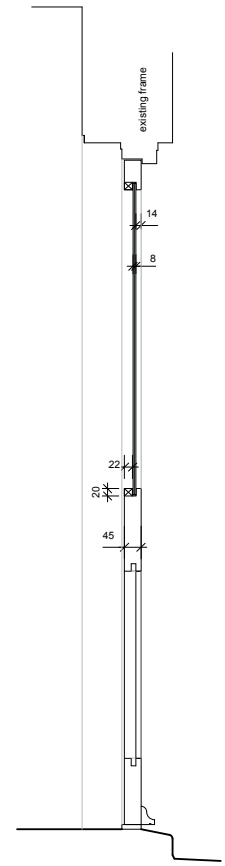
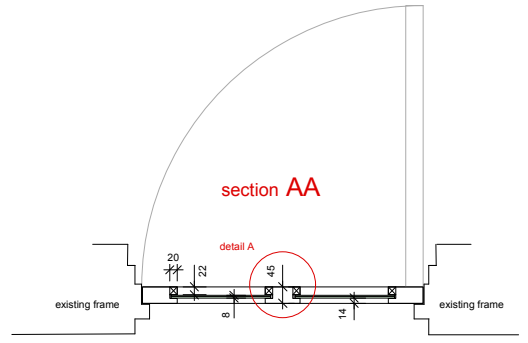
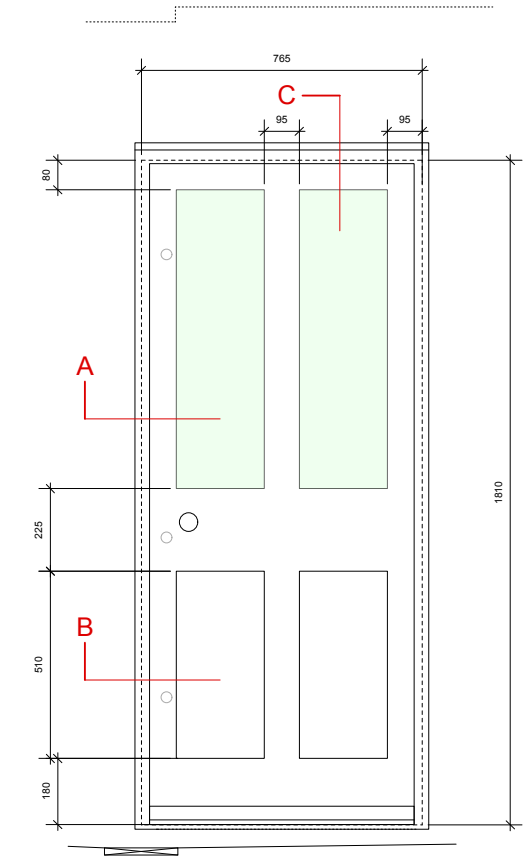
detail B 1:10



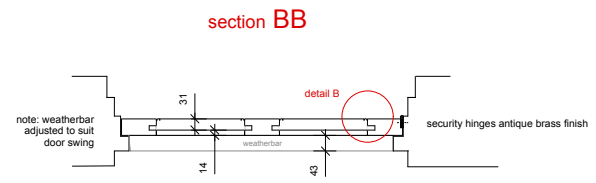
hazard: outline method statement

Door
Existing solid flush door removed - frame to be retained in situ, decayed bottom threshold to be replaced.

Door fabricated offsite using FSC accredited European hardwood refitted to frame - draught stripping added to frame, ensure use of router by experienced joiner, Risk Assessment to cover operation.

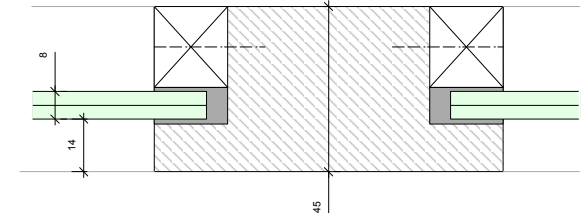


section CC

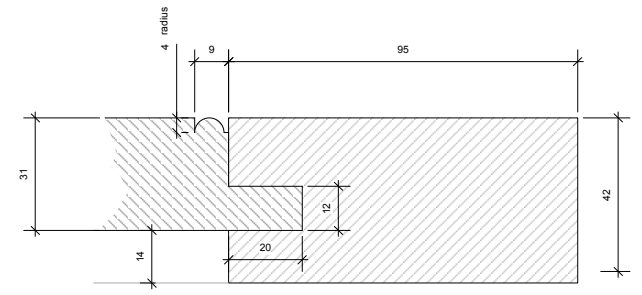


section BB

detail A 1:1



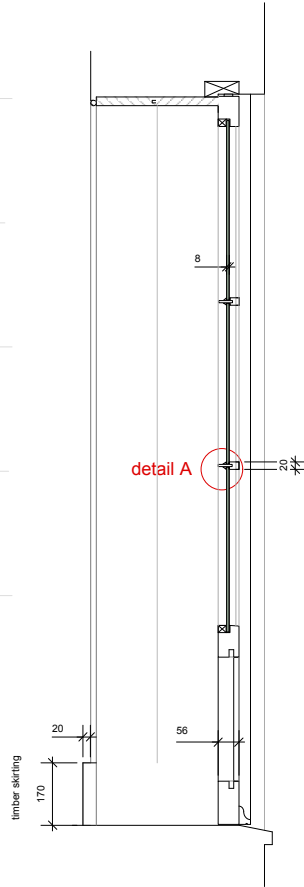
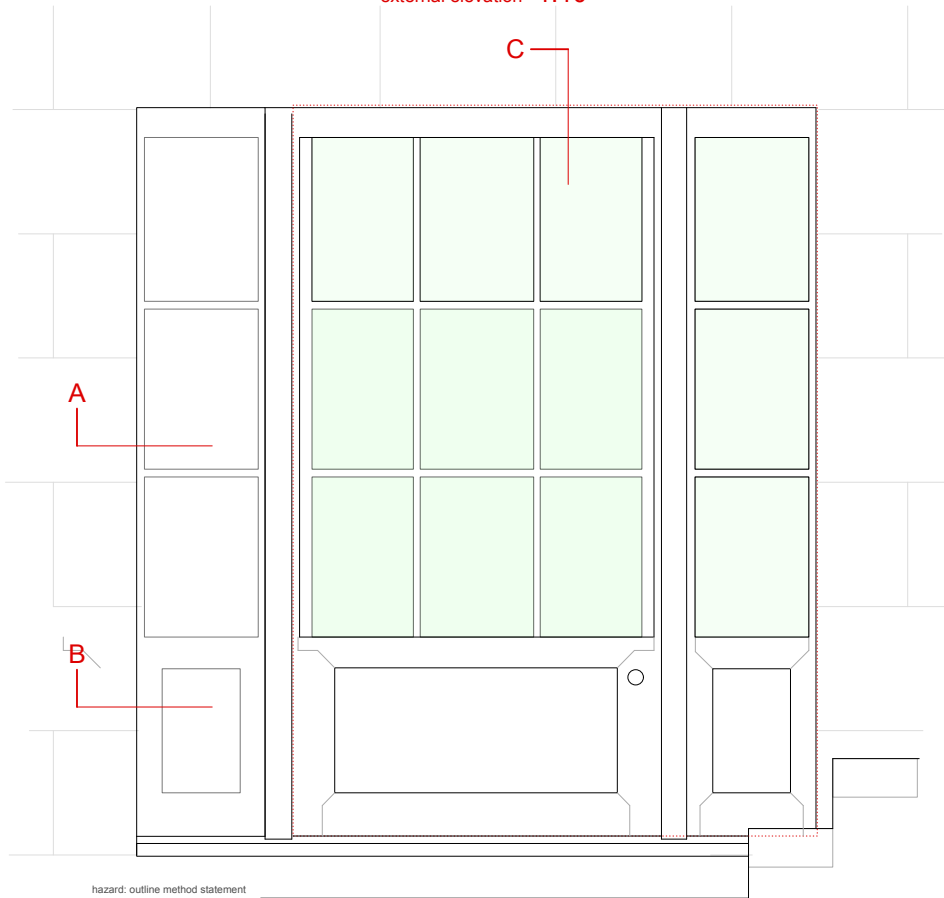
detail B 1:1



external elevation 1:10

section CC

internal elevation 1:10



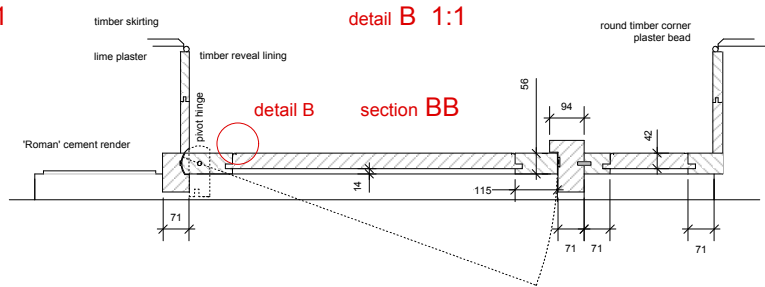
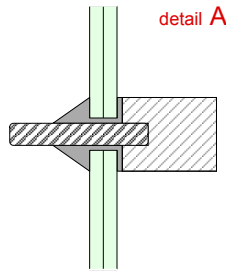
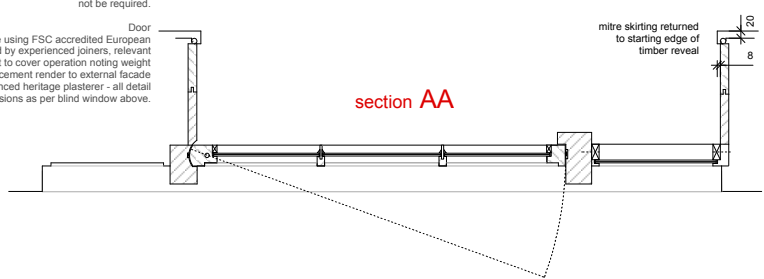
hazard: outline method statement

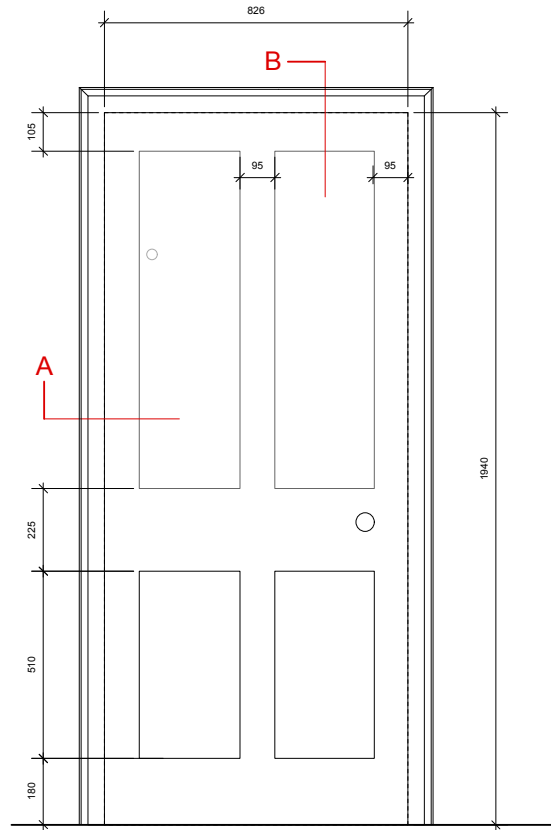
Opening
Removal of brick infill to use small power tools - no breakers to be used to avoid vibration damage
Concrete beam retained in situ - structural assessment by qualified site engineer of beam to confirm integrity prior to opening up, propping should not be required.

Door
Fabricated offsite using FSC accredited European hardwood fitted by experienced joiners, relevant Risk Assessment to cover operation noting weight of door. Roman cement render to external facade by experienced heritage plasterer - all detail dimensions as per blind window above.

composite glazing bar to conform to dimensions of blind window above:
internal steel divider to brace glazing
hardwood external bead (decorated)

bead detail on internal vertical joints to flush lower panels

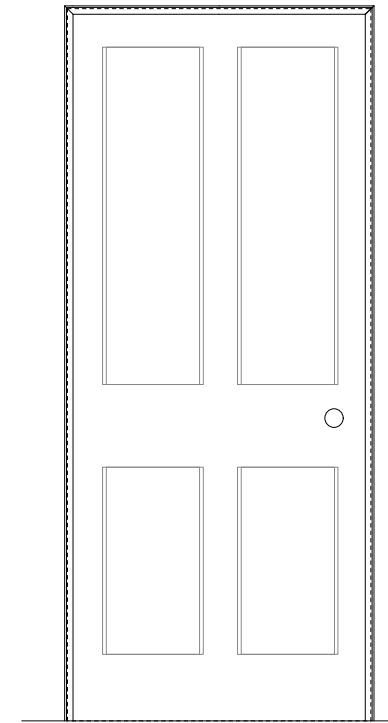
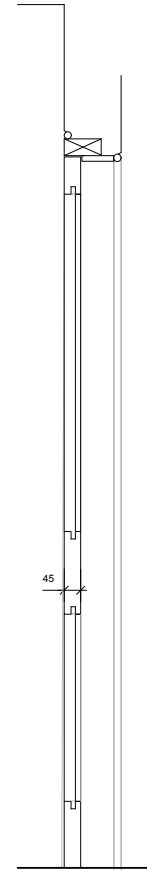




hazard: outline method statement

Door
Existing solid flush door removed - frame to be retained in situ, decayed bottom threshold to be replaced.

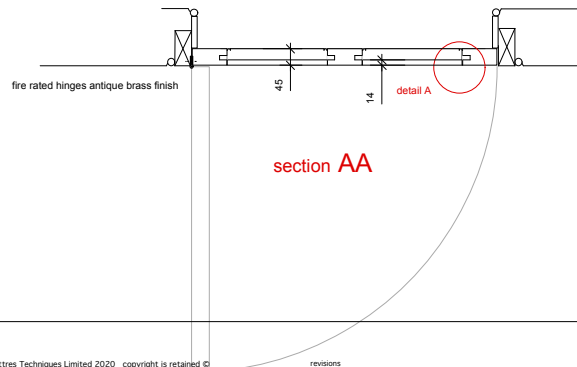
Door fabricated offsite using FSC accredited European hardwood refitted to frame - draught stripping added to frame, ensure use of router by experienced joiner, Risk Assessment to cover operation.



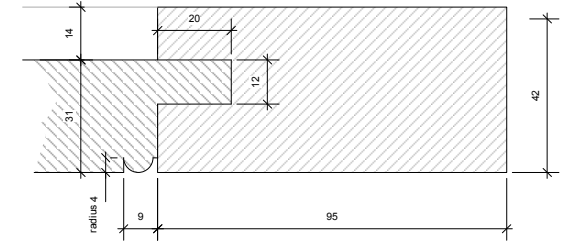
kitchen elevation

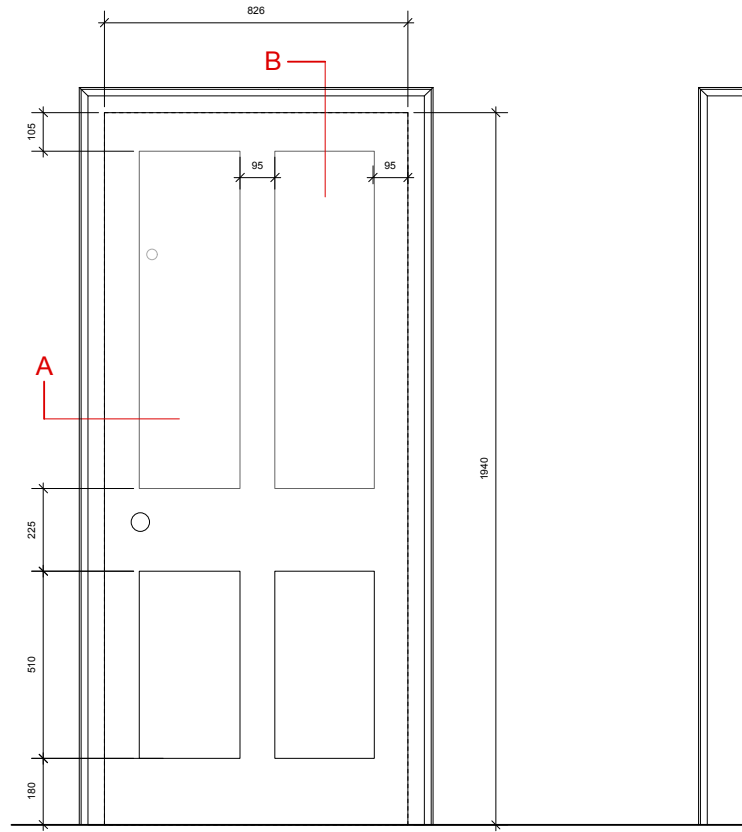
section BB

hallway elevation



detail A 1:1

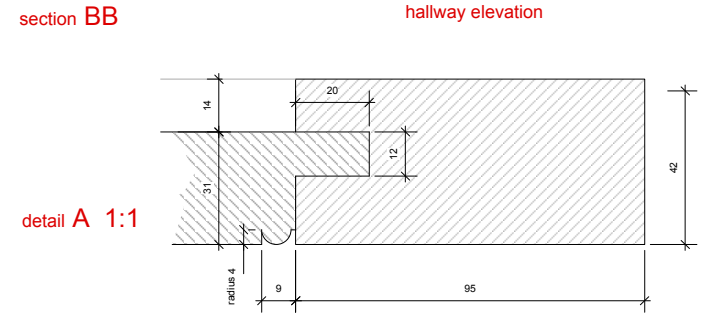
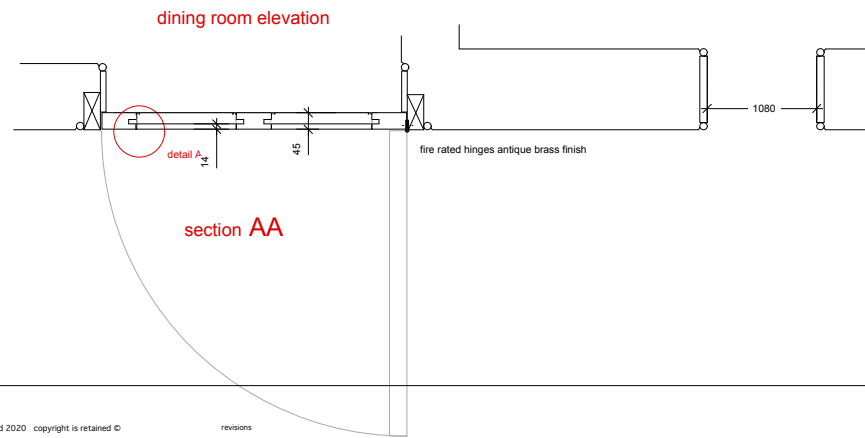
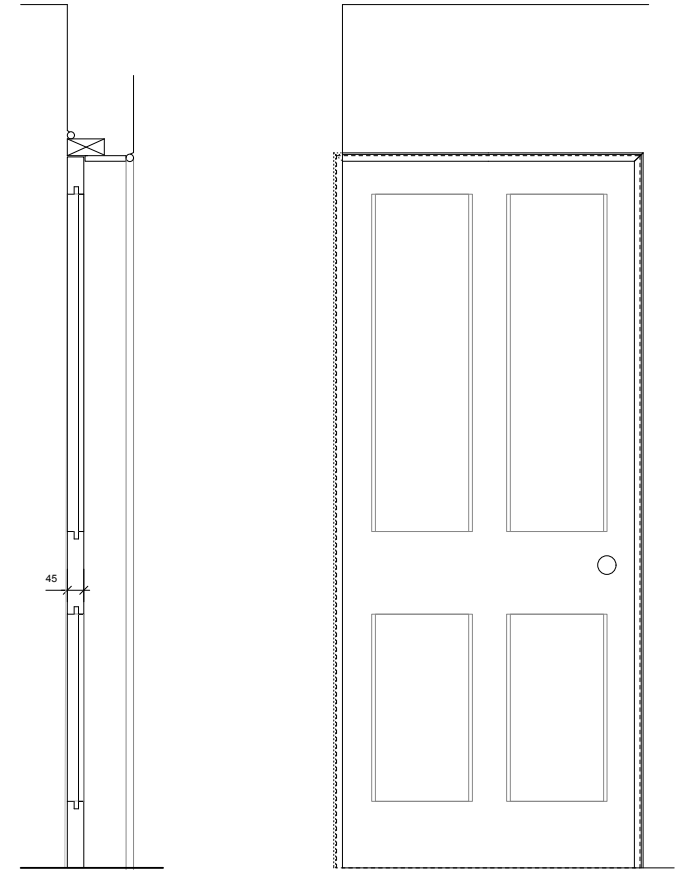


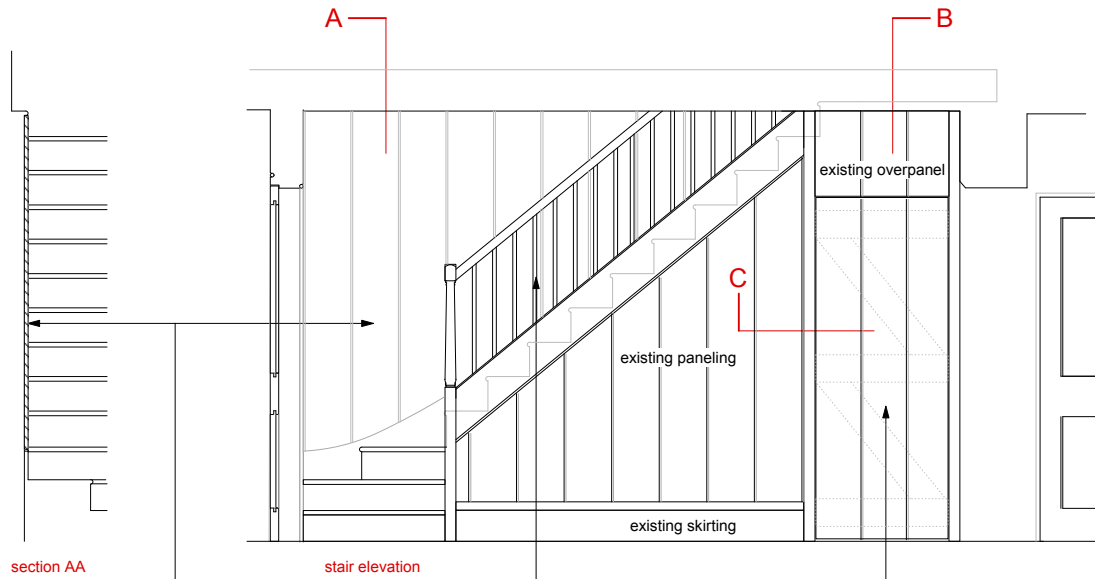


hazard: outline method statement

Door
Existing solid flush door removed - frame to be retained in situ, decayed bottom threshold to be replaced.

Door fabricated offsite using FSC accredited European hardwood refitted to frame - draught stripping added to frame, ensure use of router by experienced joiner, Risk Assessment to cover operation.





section AA

stair elevation

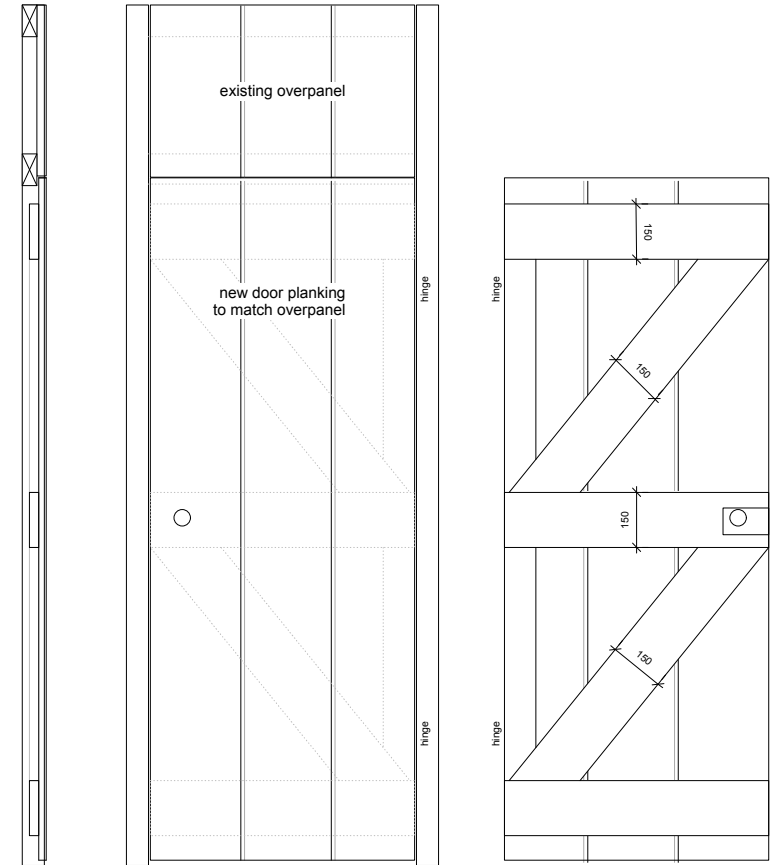
vertical timber paneling as per stairside - run between retained stringer and existing rounded timber 'shelf' projection to stepped party wall - decorated as stairside - panels on party wall only

square spindles retained, repaired and decorated
newel post and handrail retained as stripped wood, cleaned and waxed

external stringer decorated as per original vertical stair boarding, skirting and new door

steps with linoleum removed - cleaned and painted

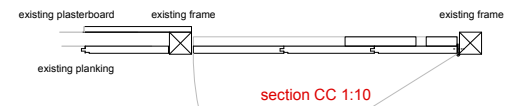
new braced plank door in redwood plank widths as per existing, decorated as per existing stairside and overpanel



section BB 1:10

outer face

inner face



section CC 1:10