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18-May-21

Ms Antonia Powell
Senior Conservation Officer
London Borough of Camden

Re: 52 Oakley Square: planning addendum

Dear Antonia,

Thanks for your time today, it was a really useful call to give us a steer for this final stage. Please see below for the points that we discussed today.

1) Roof repairs (please see fig.1)

Due to the extent of the weather damage to the roof (and accumulation of ill suited patch repairs), we have been advised to do a full repair of roof sections 1 and 2
This will involve replacing the batons, ply boards and slates. We will add a waterproof membrane under the slates and try to salvage as many of them as possible (however, many are in poor condition). We will not be touching the larger beams or trusses.

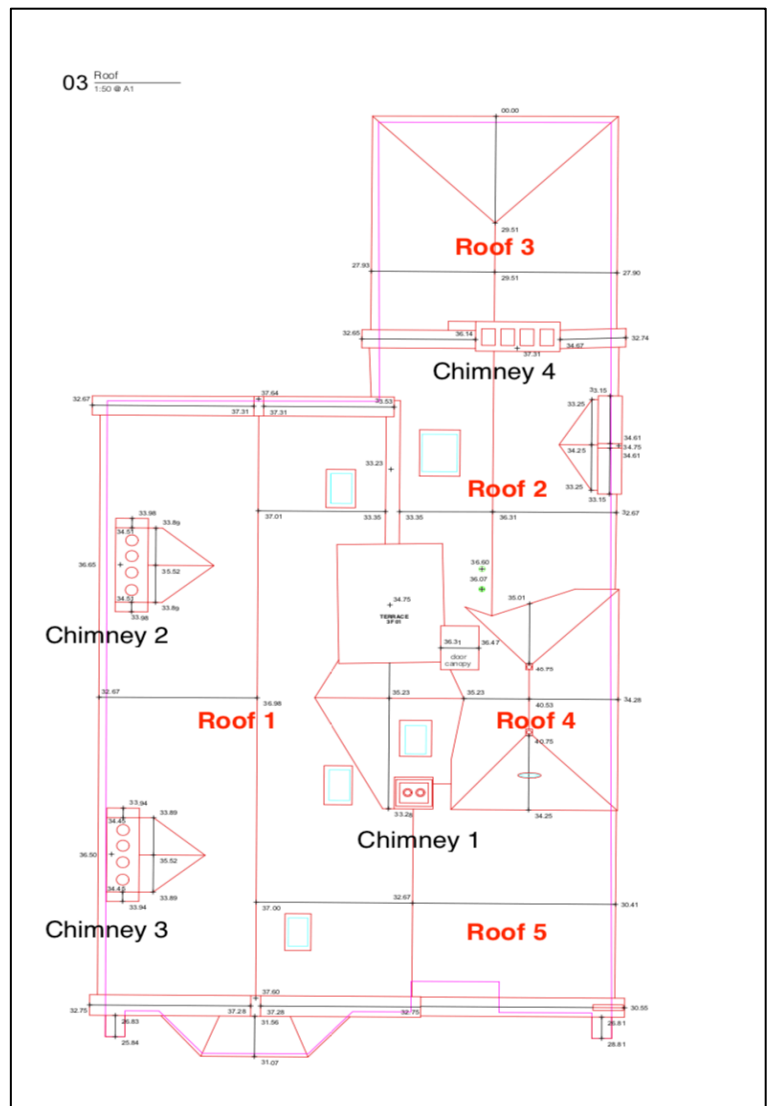


Figure 1: Existing roof configuration

2) Skylights (please see fig.2)

Skylight 1: to stay the same size and position

Skylight 2: to stay the same size, but we are proposing to move it to be inline with skylight no.1 in order to make them appear less jarring from the street view

Skylight 3: to increase in size to better match the scale of the room. It will not entail any changes to the existing roof purlins

Skylight 4: to stay the same size and position

Skylight 5: to stay the same size and position

All skylights are to be renewed with ones that are conservation style and low profile.

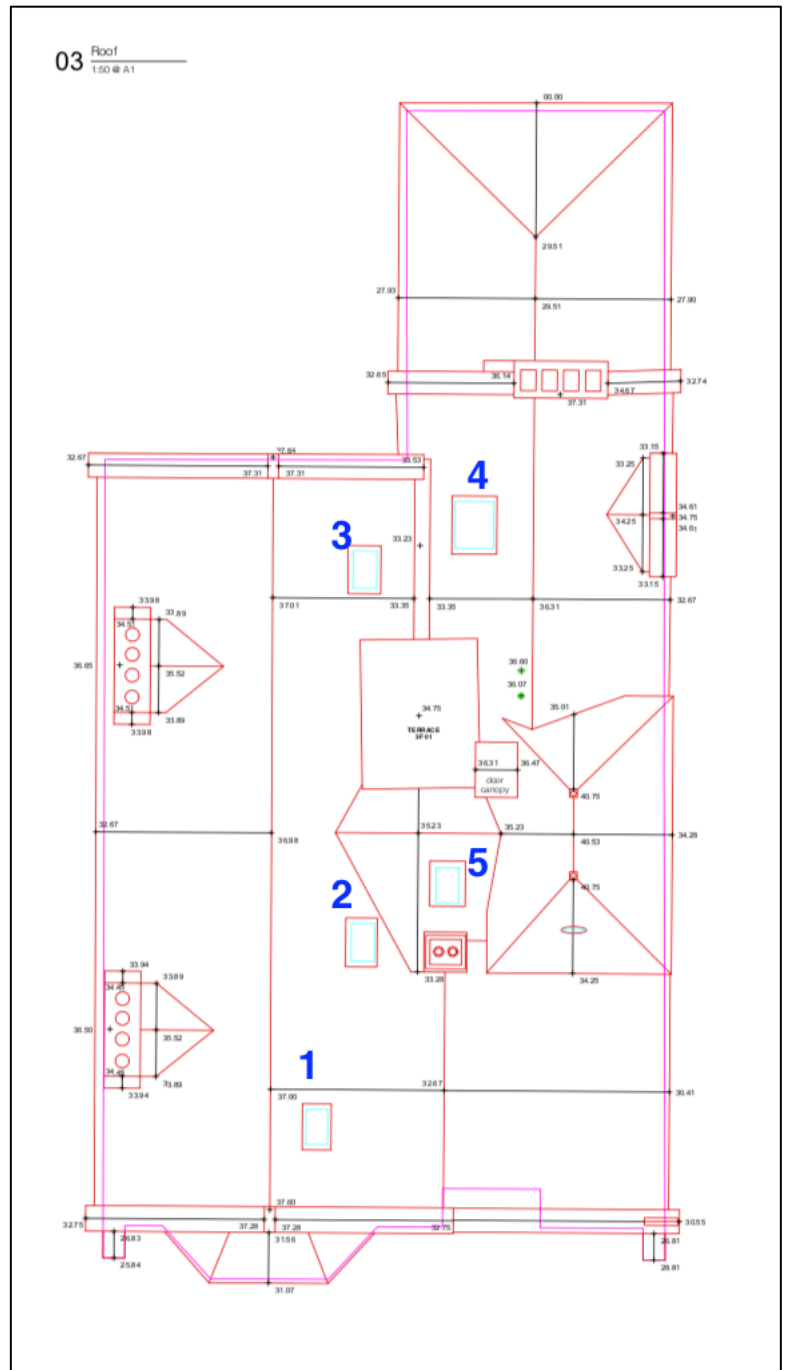


Figure 2: Existing sky light configuration

3) Basement damp proofing (please see fig.3)

After further consultations with damp proofing experts we are proposing a bespoke solution. This is in order to minimise the disruption to the existing features of the basement whilst achieving the highest quality of damp proofing to protect the building for the future.

From the diagram:

Pink dotted line = chemical damp proofing course to prevent rising damp from potentially damaging features of the Ground floor
Green line = install a 8mm Delta membrane to the existing walls and finish with plasterboard and plaster.
Blue line = install a 8mm Delta PT Lathe membrane mesh to existing walls. Finish with plaster.

This membrane product allows the damp proofing to be conducted without disturbing the window frames.

Pump = there will be a Delta V3 Dual Surface water pump installed to the vault/cellar room at the front of the building. This will pump the water captured by the membrane to the external waste pipe.

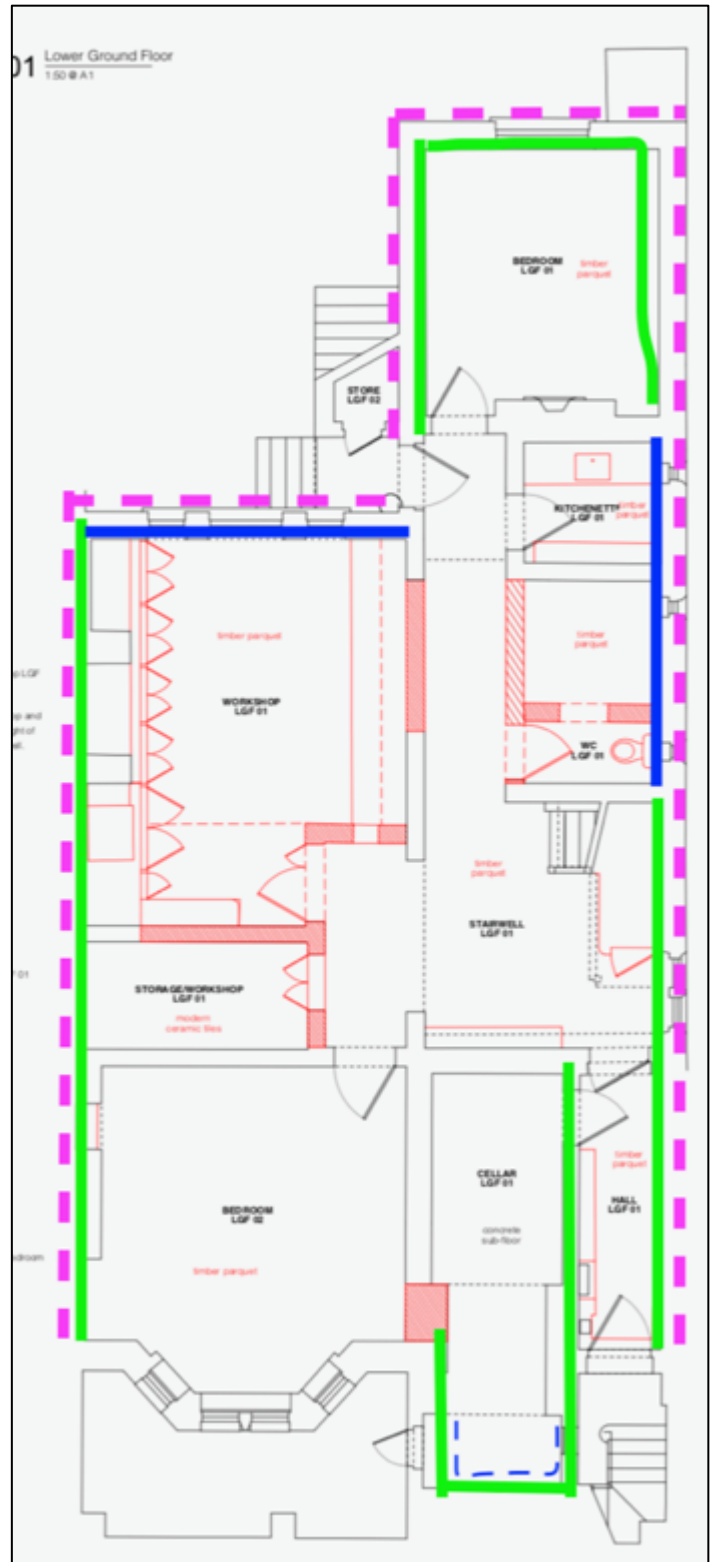


Figure 3: Proposed bespoke damp proofing solution

4) Basement structural works

We are proposing to remove several sections of internal walls. We are hoping to reduce the loss of historic fabric and also limit the intrusiveness of any steels that may be required by doing the following:

- a) Leaving lintels over the openings that are created to demark the historic floor plan and reduce loss of historic fabric
- b) Concealing any steels that may be required in the lintels or within the ceiling
- c) Using the well-respected structural engineering company, Elliot Wood, to conduct the works. We have done 2 previous projects with their engineers and have been impressed by their ability to propose simple, elegant and where required, creative solutions.

NB The previous owner has already done structural work in the basement, during the creation of her workshop. Our surveyor (from Desbruslais) took a picture of the steel beam (red metal beam as seen below) that was inserted during these previous works. Please see fig.4 for this, taken from our Building Survey Report, p11



Figure 4: Existing metal beam in the basement

5) Ground floor decorative ceiling

We are proposing to add decorative ceiling plasterwork to the ceiling of the principal rooms of the Ground floor- the main reception room and kitchen. In researching the building, we have been captivated by the architectural drama and playfulness of the Neo-Gothic period, and other examples of this period such as Strawberry Hill. We believe 52 Oakley Square has some fantastic Gothic features, particularly the facade, and that the interior decor should balance this where appropriate. We researched other examples of decorative ceilings being used in buildings with religious connections and have found some exciting examples, please see the pdf attached (“Decorative ceilings.pdf”). It seems decorative ceilings were not uncommon in buildings of this period and style, and indeed create a striking visual effect when used.

Whilst we would be very open to be guided by you on the style of decorative ceiling to be adopted for the two principal ground floor rooms at 52 Oakley Square, we have proposed a simple strap work pattern with ceiling rose, as per the drawing in fig.5, which we consider would be suitable for this space and not overly ornamental. This design was also referenced in our previously submitted planning document, p25.

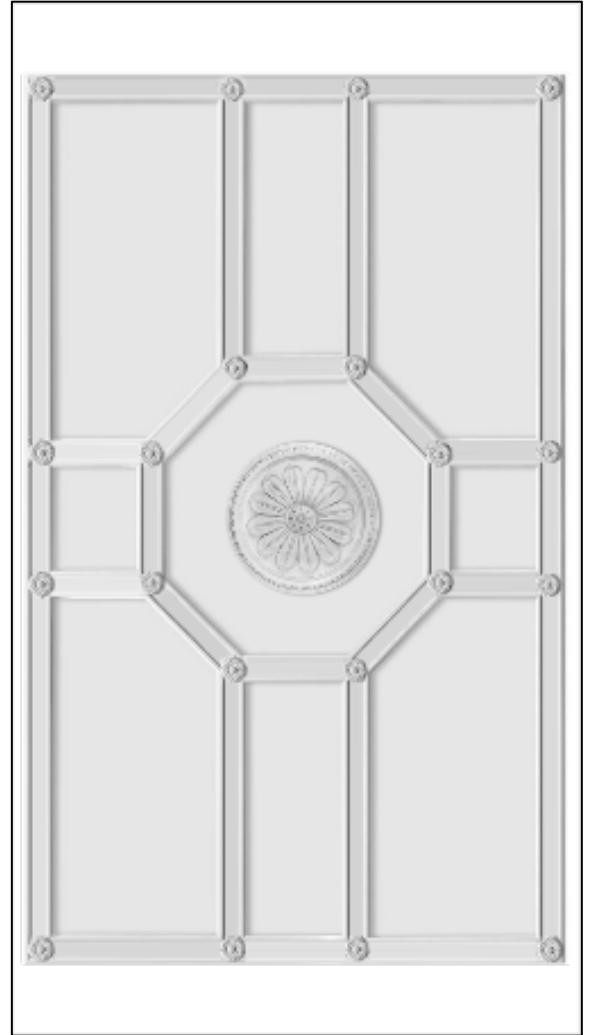


Figure 5: potential ceiling design

Please let me know if we can help with any more information or clarification of our proposals.

Best,
Duncan & Jo-Jo
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