

# LETHABY BUILDING

## DEMOLITION METHOD STATEMENT GLAZED LINK AND BRIDGE, COCHRANE THEATRE

Listed Building Consent 202/2482/L Condition 7

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1.0  
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## DEMOLITION METHOD STATEMENT

### Document status

Version	Purpose of document	Authored by	Reviewed by	Approved by	Review date
1.0	LBC Condition Discharge	VC	VC/Orms	VC	30 04 2021

### Approval for issue

Veronica Cassin	VC	30 April 2021
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#### Prepared by:

**RPS**

Veronica Cassin BArch., M.A.  
Deputy Operational Director

20 Farringdon Street  
London, EC4A 4AB

T +44 20 3691 0500  
E veronica.cassin@rpsgroup.com

#### Prepared for:

**Grange Global St Martins Hotel**

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## Cochrane Theatre at the Lethaby Building

### Methodology for Demolition of Structures Connected to Lethaby Building

#### 1.0 LBC Condition Discharge 2020/2481/L and 2020/2470/P

This document has been prepared to partially discharge Condition 7 of Listed Building Consent 2020/2481/L

- 7 *Prior to commencement of the relevant part of the development hereby approved, a photographic and recording report which demonstrates the back stage facilities and machinery of the Cochrane Theatre shall be submitted to and approved in writing by the Local Planning Authority. Any salvaged machinery and fixtures which are salvaged shall be offered to the Association of British Theatre Technicians (ABTT) or other theatres for re-use. **A demolition method statement shall also be submitted to and approved in writing by the Council to demonstrate measures taken to safeguard the listed building. The development shall be completed in compliance with the approved details unless otherwise agreed first in writing.***

*Reason: In order to safeguard the special architectural and historic interest of the proposed retained buildings and to safeguard the character and appearance of the wider area in accordance with the requirements of policies D2 of the Camden Local Plan 2017.*

#### 2.0 Methodology for Demolition of Former Theatre Building

To be read with Preliminaries/ General conditions.

SURVEY - Scope: Before starting deconstruction/ demolition work, examine available information, and carry out a survey of: - the structure or structures to be deconstructed/ demolished, - the site on which the structure or structures stand, and - the surrounding area.

Contractor to submit a Condition Report and Method Statements for Design Team approval describing:

- Form, condition and details of the structure or structures, the site and the surrounding area.
- Type, location and condition of features of historical, archaeological, geological or ecological importance.
- Type, location and condition of adjoining or surrounding premises that might be adversely affected by removal of the structure or structures or by noise, vibration and/ or dust generated during deconstruction/ demolition.
- Identity and location of services above and below ground, including those required for the Contractor's use, and arrangements for their disconnection and removal.
- Form and location of flammable, toxic or hazardous materials, including lead-based paint, and proposed methods for their removal and disposal.
- Form and location of materials identified for reuse or recycling, and proposed methods for removal and temporary storage.
- Proposed programme of work, including sequence and methods of deconstruction/ demolition.
- Arrangements for protection of personnel and the general public, including exclusion of unauthorized persons.
- Arrangements for control of site transport and traffic.

EXTENT OF DECONSTRUCTION/ DEMOLITION FOR GLAZED LINK - General: Subject to retention requirements specified in main contract documents, deconstruct/ demolish structures down to finished ground level only

TRIAL HOLES: Contractor prepare trial holes to confirm floor slab build up, Design Team / Contract Administrator to confirm extent of floor slab to be broken out based on this investigation.

LOCATION OF SERVICES - Services affected by the Works: Locate and mark positions. - Mains services marking: Arrange with the appropriate authorities for services to be located and marked.

SERVICES DISCONNECTION ARRANGED BY CONTRACTOR - Responsibility: Before starting deconstruction/ demolition arrange with the appropriate authorities for disconnection of services owned by those authorities and removal of associated fittings and equipment.

SERVICES DISCONNECTION ARRANGED BY EMPLOYER - Responsibility: The Employer will arrange disconnection of services and removal of fittings and equipment owned by those authorities prior to deconstruction/ demolition. - Timing: Do not start deconstruction/ demolition until disconnections are completed.

DISCONNECTION OF DRAINS - General: Locate, disconnect and seal disused foul and surface water drains.

### **Sequence of Demolition to Protect Listed Building fabric**

The sequence of demolition of the Cochrane Theatre should prioritise the protection of the historic fabric of the Lethaby Building with the first step to be de-coupling the steel and glass link building from the historic building.

1. Following installation of appropriate supports, remove fixings and sealants of roof glazing in aluminium frame.
2. Remove vertical glazing in whole sheets, avoiding breakage, for disposal off site.
3. Provide temporary support for horizontal structural framing elements while vertical elements are unbolted and removed from site.
4. Provide suitable weather protection and waterproofing to prevent water ingress following removal of cladding.
5. Where possible, structural connections will be removed from stonework by raking out mortar where necessary.
6. Where modern structural elements are mechanically fixed to listed building fabric, they will be cut proud of the stone face. The surface of the historic fabric will be locally protected with rigid boards fixed through mortar lines.
7. All newly exposed stone should be protected locally with soft covering until such time as stone repairs can be undertaken.
8. During demolition of theatre building, the north elevation, up to the second storey floor level of the Lethaby Building will be isolated hoardings. No mechanical fixings into the original facades of the Lethaby building will be accepted. Works to this area of the demolition site will be restricted.
9. Upon clearance of the former theatre site, scaffold access will be maintained by the main contractor to carry out the localised stone repairs as identified by Architect.

### 3.0 Methodology for Repairs to Historic Fabric

#### Site designations

1. The Lethaby Building is a Grade II\* listed building located in the Kingsway Conservation Area on the corner of Southampton Row and Theobalds Road, Holborn.
2. The Cochrane Theatre has planning permission and Listed building consent to be demolished. It is connected to the Listed building fabric and therefore careful consideration and precautions are in place to protect the existing fabric and prevent any harm to significance of the designated assets.

#### Description of overall works package

3. The work to demolish the theatre and its connecting structure to the Lethaby Building is described on the approved planning and LBC drawings:

- GSM-ORM-LB-NO-DR-A-12551\_revP02\_Elevation Demo North – Lethaby
- GSM-ORM-ZZ-00-DR-A-12150\_revP02\_Demo 00FL Plan - Red Lion
- GSM-ORM-ZZ-01-DR-A-12151\_revP02\_Demo 01FL Plan - Red Lion
- GSM-ORM-ZZ-02-DR-A-12152\_revP02\_Demo 02FL Plan - Red Lion...

4. The proposed scheme would substantially enhance the listed building and its setting by reinstating lost historic fixtures and fittings and plan forms and removing low-quality additions. The modern link structure between the Cochrane Theatre and the Lethaby Building is proposed to be demolished and replaced with the reinstated Orange Street (pedestrian footpath).

5. All of the works described in these documents are considered to be the minimum necessary to protect and restore the fabric of the listed Lethaby Building.

#### Documentation

6. The extent of the site is shown on drawing GSM-ORM-ZZ-00-DR-A-12002\_revP01\_Existing Site Plan and specific repairs will be detailed by the Stone Conservation Specialist (to be appointed under the main works contract).

#### Preparation of samples of materials and workmanship

7. Sample panels as part of the discharge of conditions for 2020/2481/L will be produced for the following details, showing full details of the materials in question and submitted to the architect for approval:

- Cleaning of the stonework and brickwork
- Indent repairs
- Mortar Repairs

#### General Technical Standards

8. Keep product information on site for reference by all personnel: Obtain or retain copies of manufacturer's instructions, product information, certificate, delivery notes etc. and hand over on or before completion of the Works.
9. Provide all trades with necessary details of related types of work. Before starting each new type or section of work ensure previous related work is appropriately complete to a suitable standard.
10. Water for the works is to be mains supply, clean and uncontaminated.
11. Obtain Client's approval of samples well in advance. Retain the approved sample in good, clean condition on site. Remove when no longer required.
12. Before completion make good any damage consequent upon the Works. Clean the Works thoroughly inside and out. Remove all splashes, deposits, efflorescence, rubbish and surplus materials. For any minor faults: Touch up in newly painted work, carefully matching colour and brushing out edges. Repaint badly marked areas back to suitable breaks or junctions.
13. At completion leave the Works secure with, where appropriate, all accesses closed and locked. Account for and adequately label all keys and hand over to Employer

14. For making good defects arrange access with Employer, give reasonable notice for access to the various parts of the Works and notify when remedial works have been completed.

**Localised Repairs to Exterior Stonework following removal of steel and glass link structures, including the bridge at first floor level.**

**Brushes for use on stonework**

- Bristle brushes: A variety of bristle brushes may be employed such as toothbrushes, nail brushes and general purpose hardware brushes. Bristles to be of uniform height in close formation. (Under no circumstances should ferrous brushes be used).

**Areas of vegetation removal**

Only areas specified / agreed with the architect should be cleaned / removed of organic growth.

**Removal of moss, lichen, loose matter, soil, debris:**

Remove as much loose matter as possible without damaging the stone beneath using wooden scrapers and stiff bristle or non-ferrous phosphor bronze soft wire brushes.

Observe reasonable safety instructions; rubber gloves and boots, masks and eye goggles should be worn.

**Stonework repair**

Where stone repairs are specified, an assessment will be made on site as to the most appropriate method using the joint experience and expertise of the stone mason and architect. This should be undertaken as soon as close inspection (through erection of a scaffold or use of a cherry-picker) is possible.

Stone should only be replaced or repaired where identified by the architect and any further stonework thought to require replacement and not shown on the drawings, should be marked up with chalk to allow for further inspection. The contractor must check with the architect if the drawings / instructions are not clear.

**Re-setting stone**

- Scrape out mortar joints to stone
- Lever stone loose using timber shims etc to protect the arrises and other dressings
- Clear backing and bedding mortar
- Reset stone using lime mortar to new line in lime mortar as specified using slate shims if necessary

**Replacing stone, Outline Specification**

The type of stone for use in replacements is to be confirmed by the architect following comparison of samples on site.

For this purpose the contractor should provide samples of potentially suitable Cornish granite or Portland stone for comparison and selection on site.

Cut out defective stone completely or to a minimum depth of 100mm (or depth to match width / height if less), using hand tools and diamond disc cutters to minimise vibration; and taking care to avoid damage to arrises and surfaces of adjacent stonework.

Provide supports as necessary.

Fix new stone as specified, worked and finished to conform with existing detail, bedded with lime mortar.

Grout and point up with lime mortar finished to slightly reveal arrises keeping the work clean to prevent staining.

Replacement stonework shall have a finished surface to match the immediately adjacent existing stonework which includes bush hammered and honed. All surface finishing shall be of the same pitch to match existing adjacent stonework. All surface finishing shall be done by hand tools only.

**Indented repair, Outline Specification**

Carefully cut out defective area of stone to minimum depth of 100mm (or depth to match width / height if less), to vertical and horizontal joints, square to the face and with sharp arrises Use light hand tools or, with prior approval, disc cutters to minimise vibration.

Cut new stone sawn square to provide joint width no greater than 2mm, worked and finished to conform with existing detail.

Replacement stonework shall have a finished surface to match the immediately adjacent existing stonework which includes bush hammered and honed. All tooling shall run in the same direction and be of the same pitch to match existing adjacent stonework. All rustication shall be done by hand tools only.

Fix stone into position with stainless steel threaded pins secured in annulus of polyester or epoxy resin. (Design by others) Avoid getting resin on adjacent stone faces.

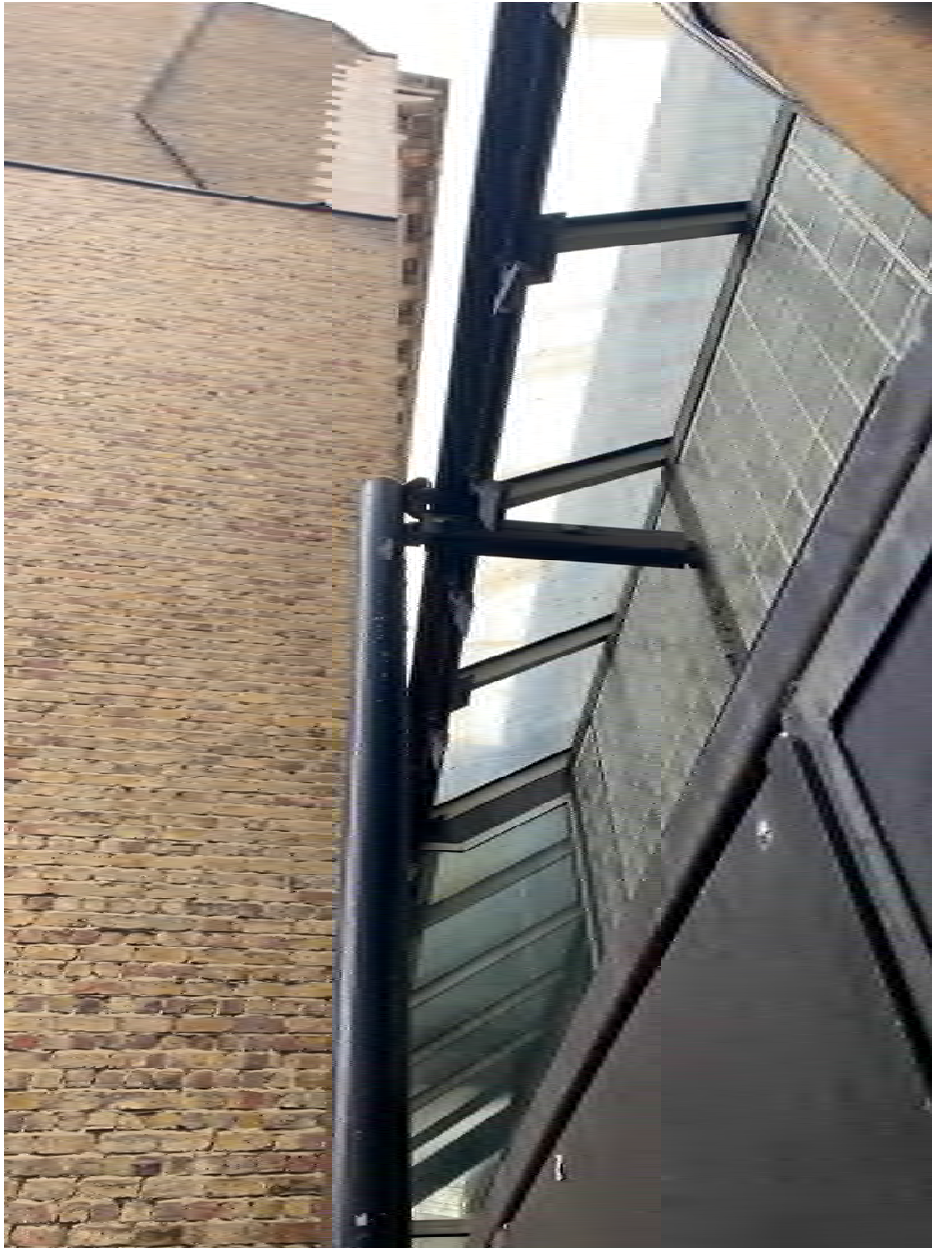
Point up with lime mortar finished flush with the face. Mortar colour to match stone as closely as possible.

**Lime mortar repairs, Outline Specification**

Prepare samples of mortar to match the various conditions of weathering and various stone core colours on a piece of stone or tile to be judged on its wet and dry appearance. If using proprietary mix, please follow manufacturer's instructions.



#### 4.0 Photographs of Existing Connections



**Figure 1: Exterior view at rear of Lethaby Building showing glazing arrangement and steel super-structure.**



**Figure 2: Detail of aluminium structure and glazed walls connected to Lethaby Building**

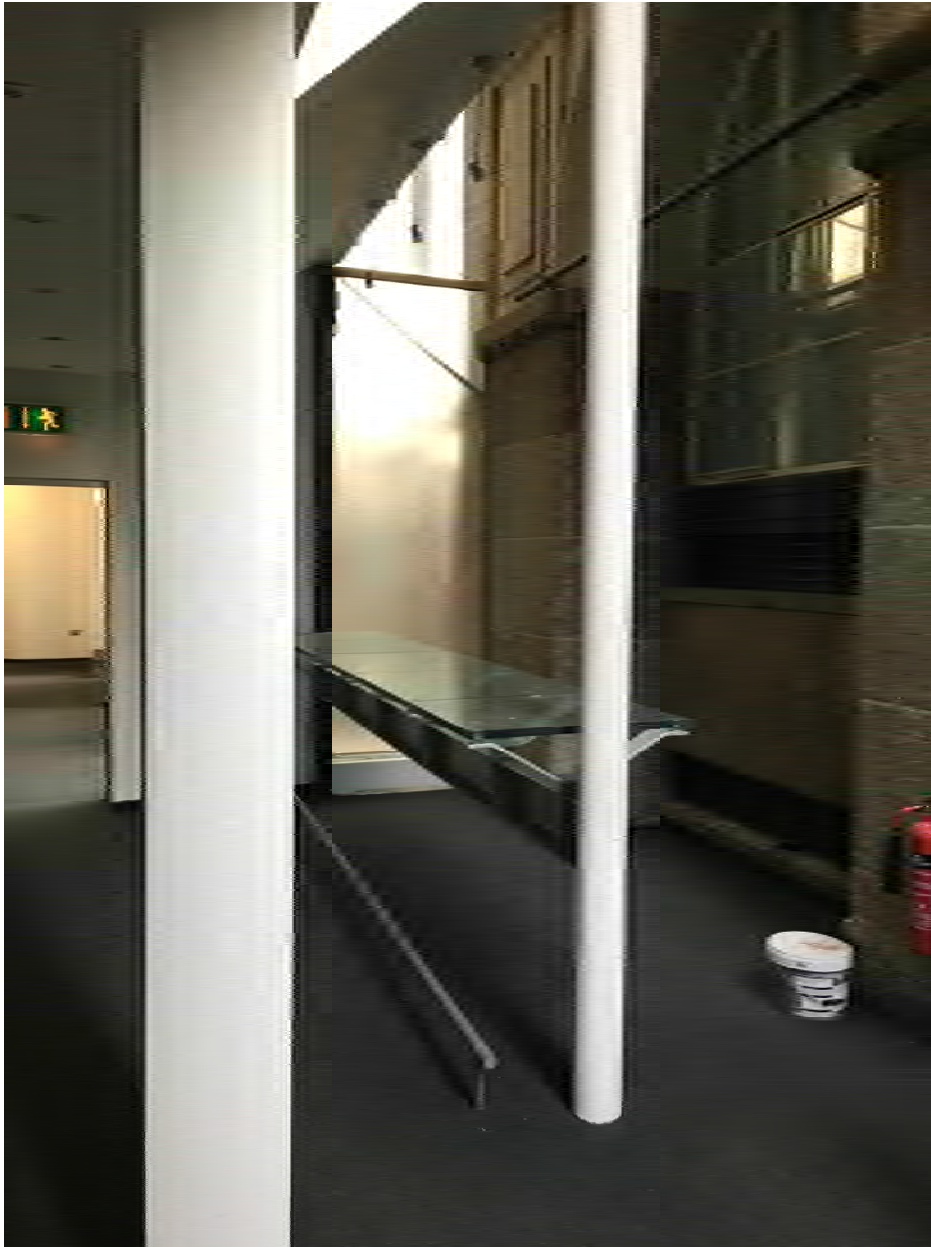


**Figure 3: Showing roof connection of glazed link to historic fabric of Lethaby Building**





**Figure 4: Steel and glass bridge link at first floor level**



**Figure 5 : Showing ground condition of link between theatre and Lethaby Building**