

AstraZeneca

2 Pancras Square Office Fit-Out

Planning Design and Access Statement

Final | 12 May 2021

This report takes into account the particular instructions and requirements of our client.

It is not intended for and should not be relied upon by any third party and no responsibility is undertaken to any third party.

Job number 231273

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1 Introduction

1.1 Overview and Summary of Proposed Development

This planning application has been prepared on behalf of the applicant, AstraZeneca, and seeks full planning permission for the replacement of existing access doors to the roof terrace for the 2 Pancras Square building.

The application seeks permission for the following:

Erection of bi-fold doors for office (B1 use class) at roof terrace level.

In summary, the works comprise of the following elements:

- Replacement of two access doors with bi-folding doors.

Full details of the design elements are included in Section 3 of this document.

AstraZeneca is a global biopharmaceutical company specialising in the discovery, development, manufacturing, and marketing of prescription medicines that make a meaningful difference in healthcare. AstraZeneca moved its global headquarters to Cambridge in 2016. However, the site subject to this application is subsidiary to these operations.

The applicant proposes to lease the two top floors of the building (Level 8 and 9) located at 2 Pancras Square for office use. The site is located within Pancras Square, which is a new square adjacent to King's Cross Station, London. The Pancras Square is made up of a collection of office buildings, retail, restaurants and cafes.

Number 2 Pancras Square is an already established office building accommodating office space, retail and restaurant uses. AstraZeneca plans to undertake an office fit-out of two floors at Level 8 and 9. The majority of the fit-out work will be all internal to the building and will not affect its external appearance. However, part of the works includes the installation of new Bi-Fold Door in the existing Level 8 Terrace Glazing System.

1.2 Summary of Planning History

Outline planning permission was granted 22 December 2006 for a comprehensive, phased, mixed-use development of former railway land within the King's Cross Opportunity Area (ref: 2004/2307/P).

Following approval of the outline planning permission, a reserved matters application (ref: 2010/0868/P) was granted approval on 25th February 2010 for the erection of a ten storey building (2 Pancras Square building) for the use as offices (Class B1) on upper floors and shopping/food and drink uses (Classes A1-A5) at ground level within the Development Zone B4.

A further application (ref: 2012/0907/P) was approved on 17th February 2012 to amend details of stone wall panels on the colonnade, the entrance doors and the

addition of a draft lobby, reduction of plant at roof level creating alterations to the number of louvres and windows, reconfiguration of life cores and shared circulation areas and associated reconfiguration of retail units.

Subsequent submissions of details required by condition 2 (sample and materials) and 3 (external lighting) of the reserved matters permission 2010/0868/P were submitted and approved on 31st May and 29th August 2013 respectively.

1.3 Form and Content of Planning Application

This planning application seeks full planning consent for the proposed development.

This document forms part of a suite of documents and drawings that together define, explain and support the planning application. Information submitted in support of the application includes:

- Planning application forms, certificates and notices;
- Planning application fee;
- Planning, Design and Access Statement (this document); and

The following plans are submitted for approval:

- Site Location Plan - (20) XXX-1-01
- Block Plan - (20) XXX-1-02
- Existing South Elevation - (03) XXX-1-03
- Proposed South Elevation - (03) XXX-1-04
- 8th Floor – Existing Floor Plan - (20) XXX-1-05
- 8th Floor – Proposed Floor Plan - (20) XXX-1-06
- Existing Roof Plan - (20) XXX-1-07
- Proposed Roof Plan - (20) XXX-1-08

1.4 Structure

The remainder of this document is structure as follows:

- Chapter 2: Site Context and Description
- Chapter 3: Design and Access Statement
- Chapter 4: Planning Statement

1.5 Site Context and Description

Number 2 Pancras Square, also known as Building 4, is one of six buildings forming Development Zone B in the southern area of the Kings Cross Site. 2 Pancras Square is in close proximity to the Grade II listed structures of the German Gym and the retained Stanley Building South as well as sitting within the wider context of the two Grade I listed stations, King Cross and St Pancras.

The site is located south of Regent's Canal is bound to the north by the realigned Goods Way, to the west by Pancras Road and to the east by the Boulevard. It is also situated in close proximity to King's Cross Station and St Pancras Station.

An aerial image of the site is provided in Figure 1. An extract of the Site Location Plan is provided in Figure 2.



Figure 1 Aerial view of the site (demarcated in red) (source: Google)

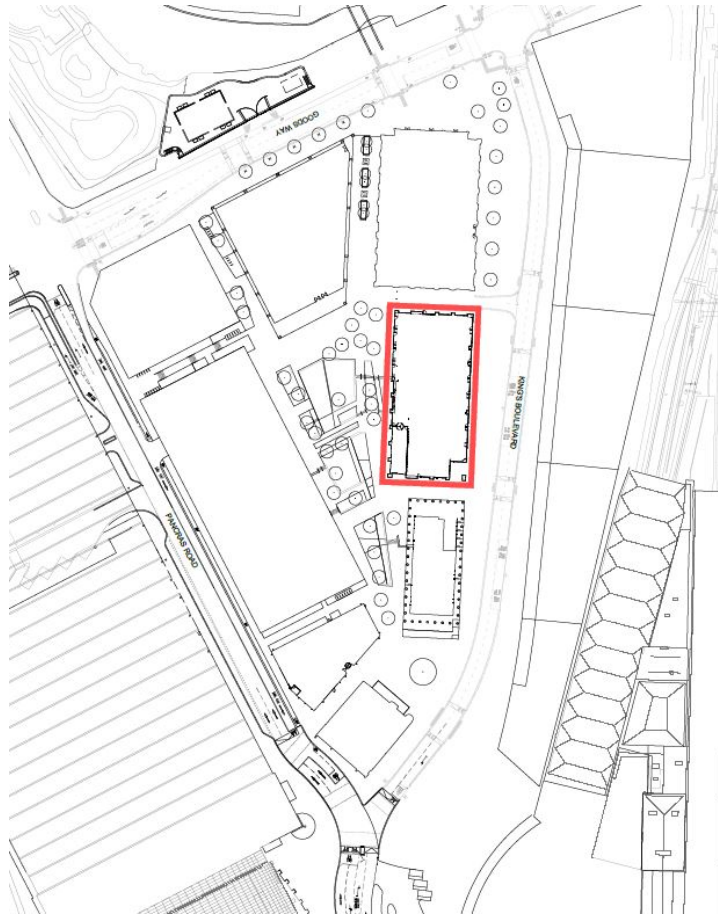


Figure 2 Extract from Location Plan ((20)XXX-1-01)

Number 2 Pancras Square is an already established office building accommodating office space, retail and restaurant uses. Level 8 and 9, which the applicant proposes to undertake an office fit-out, is currently occupied by the Performing Rights Society. The floors are currently used for office space including a cafeteria on Level 8, which opens out to a roof terrace on the southern end of the building.



Figure 3 View looking north east toward the southern elevation of the building (location of the new bi-fold doors demarcated in red).

2 Design and Access Statement

2.1 Schuco Bi-Fold Door System

This planning application seeks detailed consent for the following:

- The installation of the bi-fold doors at Level 8 of the 2 Pancras Square Building.

The Schuco bi-fold door system will replace the existing access doors and window glazing along the southern elevation of the Level 8 façade opening onto the roof terrace area. The purpose of the replacement bi-fold door system is to improve the amenity of the office space and enhance the accessibility to the roof terrace area.

2.2 Layout, Amount and Scale

The location and layout of the new Schuco bi-fold door system is shown on drawing (20)XXX—1-06 (8th Floor – Proposed Floor Plan) and (03)XXX-1-04 (Proposed South Elevation). The bi-fold door system will be positioned at the centre of the southern elevation facing the roof terrace, replacing the two single access doors and window glazing. The entirety of the system will remain within the curtilage of the building. The door system will extend approximately 8.2 metres wide and stand approximately 2.5 metres high.

2.3 Appearance

As described in Section 2.2, the new installed bi-fold doors will be located within the curtilage of the building and face out to the existing roof terrace. The new doors will have minimal impact on the appearance of the southern elevation of the building as the majority of the glazing will be retained and the colour of the doors will match the curtain wall system (see Figure 4). The new bi-fold doors will also be set back from the outer edge of the roof terrace and concealed by the outer façade of the southern elevation of the building. This is shown on the proposed elevations submitted as part of the planning application:

- Proposed South Elevation – (03)XXX-1-04



Figure 4 An example of Schuco Bi-Fold Door System

2.4 Access

Access to the bi-fold door system will be same arrangement as the existing access doors. The design of the bi-fold door system will improve the accessibility to the roof terrace.

3 Planning Statement

Table 1 contains a summary of all the permitted planning applications made to London Borough of Camden with regards to 2 Pancras Building. This does not include withdrawn applications made on the site. The Outline planning permission was granted on 22 December 2006 for comprehensive, phased, mixed-use development of former railway land within the King's Cross Opportunity Area.

Table 1 Planning history

Application Reference	Description	Decision
2004/2307/P	Outline planning permission for comprehensive, phased, mixed-use development of former railway land within the King's Cross Opportunity Area	22 December 2006
2010/0868/P	Submission of reserved matters associated with erection of a ten storey building (basement and public realm dealt with under separate applications) for use as offices (Class B1) on upper floors and shopping/food and drink uses (Classes A1-A5) at ground floor level within Development Zone B4 as required by conditions 3, 6, 9, 10, 16-23, 27-28, 31, 33-36, 45-46, 48-49, 51, 55-56, 60, 64-67 of outline planning permission granted 22/12/06 subject to a s106 agreement.	25 February 2010
2012/0907/P	Amendments including revised details of stone wall panels on the colonnade, the entrance doors and the addition of a draft lobby, reduction of plant at roof level creating alterations to the number of louvres and windows, reconfiguration of lift core and shared circulation areas and associated reconfiguration of retail units and a net increase in floor space by 247m ² relative to the Reserved Matters granted 30/04/2012.	17 February 2012
2013/3194/P	Details required by condition 2 (sample and materials) (ref: 2010/0868/P granted 30/04/2010) to approval of reserved matters associated with the erection of a ten storey building (basement and public realm dealt with under separate applications) for use as offices (Class B1) on upper floors and shopping/food and drink uses (Classes A1-A5) at ground floor level within Development Zone B4.	31 May 2013
2013/4851/P	Details required by condition 3 (details of all external lighting) of reserved matters dated 30/04/2013 (ref: 2010/0868/P), for the submission of reserved associated with the erection of a ten storey building (basement and public realm dealt with under separate applications) for	29 August 2013

	use as offices (Class B1) on upper floors and shopping/food and drink uses (Classes A1-A5) at ground floor level within Development Zone B4.	
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Following approval of the outline planning permission, a reserved matters application (ref: 2010/0868/P) was granted approval on 25th February 2010 for the erection of a ten storey building (2 Pancras Square building) for the use as offices (Class B1) on upper floors and shopping/food and drink uses (Classes A1-A5) at ground level within the Development Zone B4.

A further application (ref: 2012/0907/P) was approved on 17th February 2012 to amend details of stone wall panels on the colonnade, the entrance doors and the addition of a draft lobby, reduction of plant at roof level creating alterations to the number of louvres and windows, reconfiguration of life cores and shared circulation areas and associated reconfiguration of retail units.

Subsequent submissions of details required by condition 2 (sample and materials) and 3 (external lighting) of the reserved matters permission 2010/0868/P were submitted and approved on 31st May and 29th August 2013 respectively.

3.1 Planning Policy Framework

Section 38 (6) of the Planning and Compulsory Purchase Act 2004, requires proposals to be determined in accordance with the Development Plans unless material considerations indicated otherwise. This planning application has been prepared in accordance with the adopted development plan (adopted Camden Local Plan - 2017), with appropriate regard to the National Planning Policy Framework (NPPF – February 2019).

Section 3.2 identifies key planning considerations relevant to the determination of this planning application and its compliance with the planning policy framework outlined above.

3.2 Key Planning Considerations

This section assesses the proposed development against the Development Plan and other relevant planning policy and guidance. For each topic, there is a description of the key relevant planning policies followed by an evaluation of the proposed development.

3.2.1 Site Designations

The Site is located within sub-area 2 of the King's Cross Conservation Area. The King's Cross Conservation Area retains a robust industrial character, mostly Victorian. Any development within sub-area will need to consider the quality of architectural design, the scale and density of development, the mix of proposed uses and the effect on the character and appearance of the Conservation Area.

3.2.2 Economic Development

At the national level, the NPPF sets out the commitment to securing economic growth in order to create jobs. The planning system should encourage and not act as an impediment to sustainable growth, and local authorities should plan proactively to meet the development needs of business. Paragraph 80 of the NPPF states:

‘Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.’

This approach should allow the local area to build on its strengths, driving innovation

‘In areas with high levels of productivity, which should be able to capitalise on their performance and potential.’

The proposed development will ensure the layout of the existing building meets the requirements of the applicant and enables ongoing operations of the business in an effective and sustainable manner. The proposal is therefore part of its commitment to scientific innovation within the Camden area, with economic development opportunities associated with this.

At the local level, Policy E1 (Economic Development) of the Adopted Camden Local Plan seeks to:

‘...secure a successful and inclusive economy in Camden by creating the conditions for economic growth and harnessing the benefits for local residents and businesses.’

Will encourage the concentrations of profession and technical services, creative and cultural businesses and science growth sectors in the borough.

When considering development proposals, the Council will continue to encourage development that supports the growth of science sector that improves the economic success of Camden, in reinforcing its success in knowledge-based industries and institutions, and which reflects the NPPF presumption in favour of sustainable development.

3.2.3 Design

The NPPF states that development should be sympathetic to local character and create places that are safe, inclusive and accessible. Furthermore, the Camden Local Plan Strategic Objective 7 seeks to promote high quality, safe and sustainably designed buildings, places and streets and preserve and enhance the unique character of Camden and the distinctiveness of our conservation areas and our other historic and valued buildings, spaces and places.

Policy D1 (Design) requiring development to respect local context and character, preserve or enhance the historic environment and heritage assets comprises details and materials that are of high quality and complement the local character. In

addition, Policy D2 requires development within conservation areas to preserve or, where possible, enhance the character or appearance of the area.

The proposed development consists of the installation of a Schuco bi-fold door system that will improve the amenity of the office space and enhance the accessibility to the roof terrace area. The majority of the window glazing within the area that will be replaced by the bi-fold door will be retained, and the colour of the doors will match the curtain wall system. The design of the new door system comprises of high-quality materials and complements the existing character of the southern façade of the building. The development preserves the character and quality of the existing building and respects the historic context of the buildings surroundings.

Photographs



Figure 5 View facing north east toward the southern elevation of Level 8 and 9 of 2 Pancras Square.

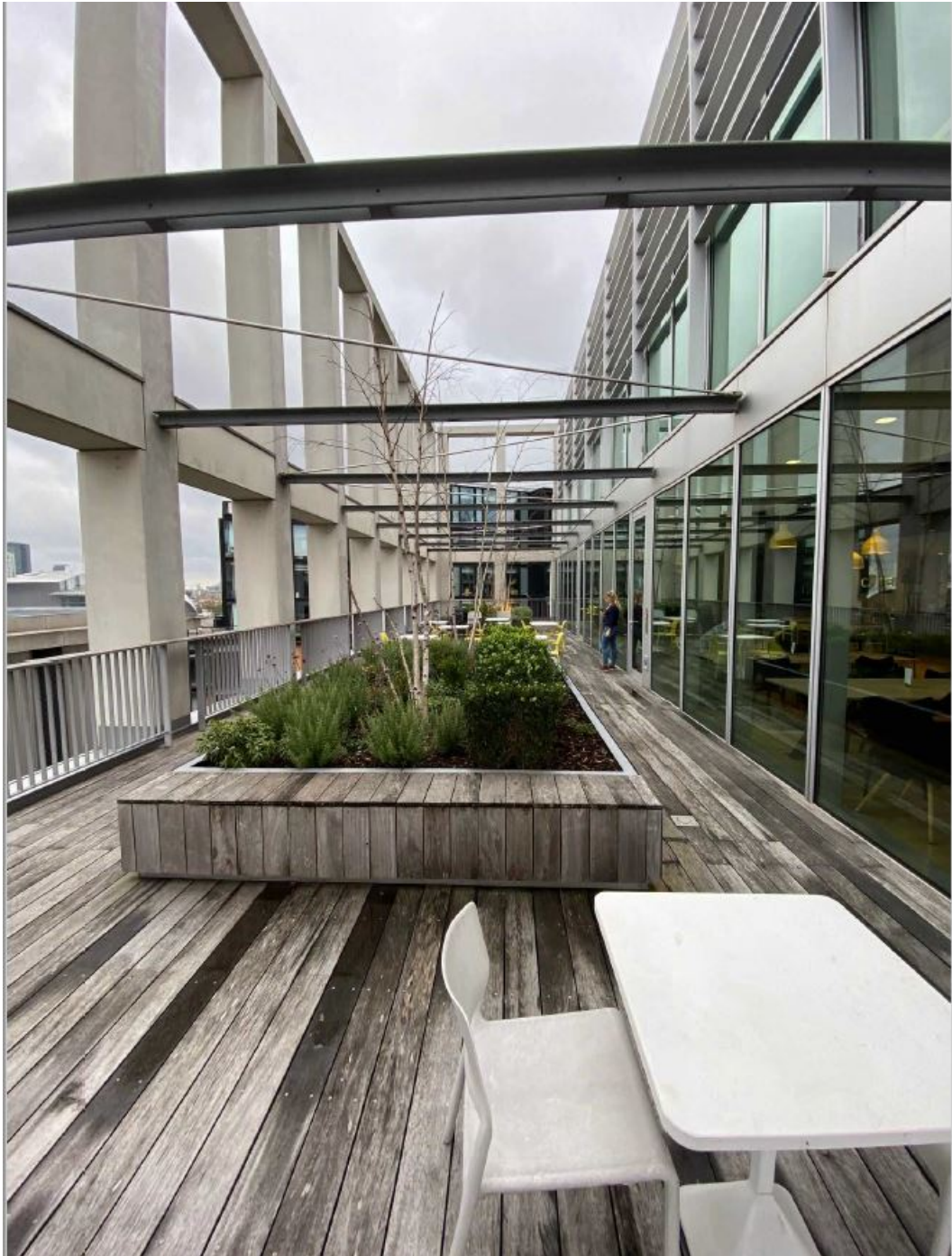


Figure 6 View facing west from the south eastern corner of the roof terrace.



Figure 7 View from Level 8 facing out toward the roof terrace.