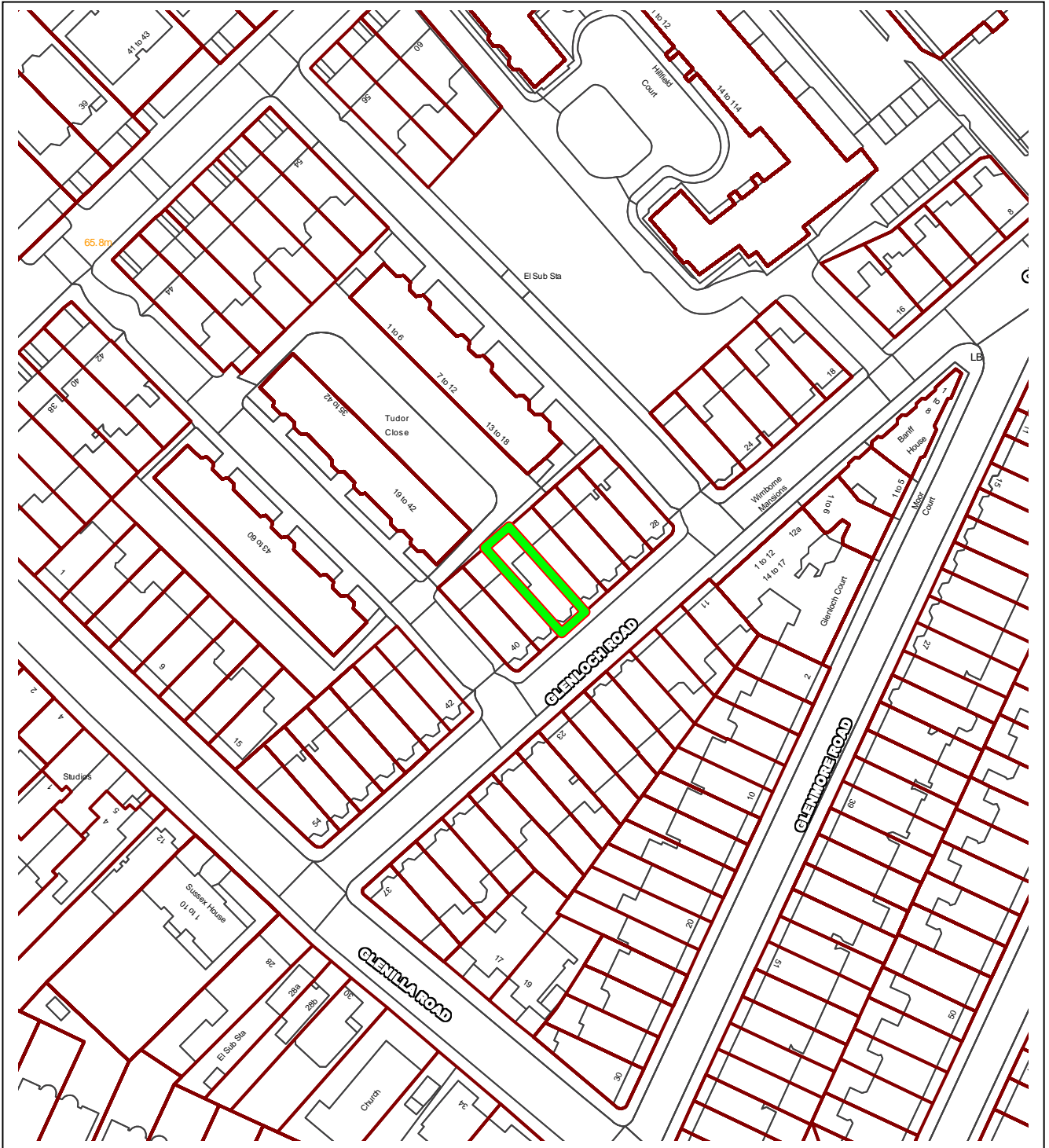


36 Glenloch Road



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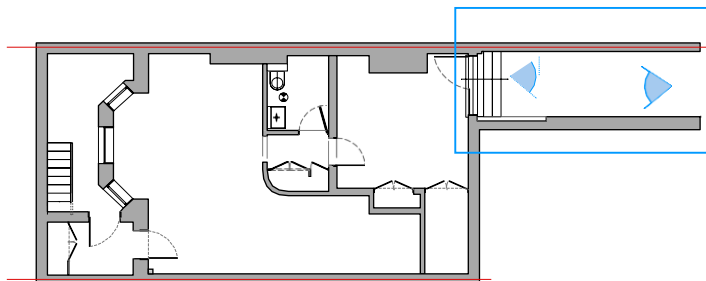
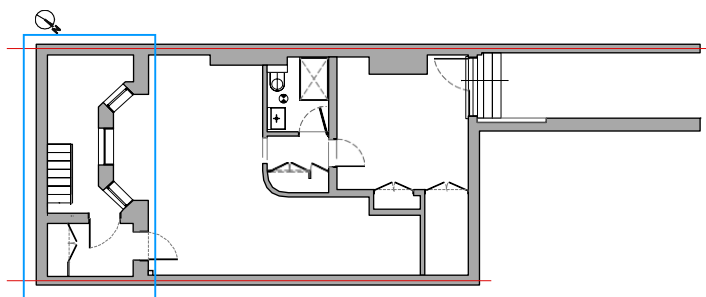
36 Glenloch Road – Front elevation



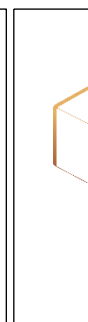
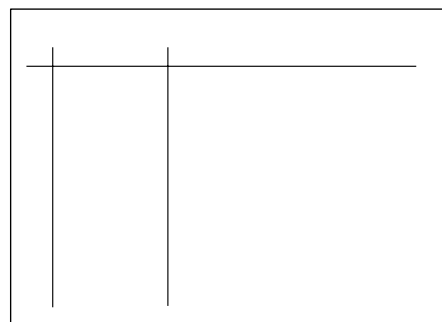
Windows to be replaced (sash style windows proposed)



Metal railings to be replaced



Site of proposed rear conservatory



Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:		22/03/2021	
		N/A		Consultation Expiry Date:		11/04/2021	
Officer				Application Number(s)			
Adam Greenhalgh				2021/0348/P			
Application Address				Drawing Numbers			
Flat A, 36, Glenloch Road London NW3 4DN				Please refer to draft decision notice			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Erection of glazed conservatory extension at rear. Replacement of windows at front with new timber double glazed windows. Provision of new metal railing along front boundary.							
Recommendation(s):		Grant Conditional Planning Permission					
Application Type:		Full Planning Application					
Conditions or Reasons for Refusal:		Refer to Draft Decision Notice					
Informatives:							
Consultations							
Adjoining Occupiers:		No. of responses		01		No. of objections	
						01	
		Site notice: displayed 12/03/2021 – expiry 05/04/2021 Press notice: published 18/03/2021 – expiry 11/04/2021					

<p>Adjoining Occupiers:</p>	<p>A letter of support has been received from the 36 Glenloch Road (Management) Limited who support the proposals, mentioning that they would benefit the appearance at the front but also mentioning that the company's consent would be required for any excavation in respect of the rear conservatory extension.</p> <p>An unaddressed letter of objection has been received. The letter raises an objection on grounds of possible building structure damage and harm to the appearance of the Conservation Area</p> <p><u>Officer comment:</u></p> <p><i>Building structure implications are not ordinarily a planning matter. Structural considerations are a matter for control under the Building Regulations.</i></p> <p><i>The comment on the harm to the appearance of the area relates to an initial proposal to relocate the entrance to the basement flat to the centre of the bay. This proposal was omitted following discussion with the applicant and the comment is therefore no longer relevant.</i></p>
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<p>Belsize Conservation Area Advisory Committee</p>	<p>Objection</p> <p>Object to glass box in front of existing entrance, storage container and relocation of entrance at front</p> <p><u>Officer comment:</u></p> <p><i>All of these items (i.e. glass box in front of the existing entrance, storage container and relocation of entrance at front) have been omitted from the proposal (following the receipt of the consultation responses) and they are no longer proposed. Therefore the objection is no longer relevant.</i></p>
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Site Description

The application relates to the basement flat of a 4 storey red brick Edwardian mid-terrace building on the north side of Glenloch Road in the Belsize Conservation Area. The terrace maintains red brickwork on the ground and upper floors while the basement frontage has been rendered. The front boundary is formed by a low brown brick wall with a metal rail atop and there are steps down to a lightwell in front of the building with the entrance to the basement flat being under the ground floor entrance steps.

At the rear the application property has a raised courtyard which occupies the side return alongside the three storey outrigger at the rear of the building. Beyond this is the rear garden at the site.

The property is one of a group, i.e. nos. 28 – 40, which are noted as being positive contributors in the Belsize Conservation Area Statement 2002.

Relevant History

Ground floor flat, 36 Glenloch Road – 2013/3033/P - Replacement of existing front elevation sash windows with double-glazed window, to ground floor flat (Class C3 – granted 30/07/2013)

Top floor flat, 36 Glenloch Road – 2004/3669/P - The erection of a rear conservatory as an extension to the rear roof slope at third floor level on an existing rear roof terrace above a 3x storey rear projection to provide additional floorspace for the top floor flat – refused 12/10/2004

Lower ground floor flat – PWX0202537 - The erection of a glazed rear extension at lower ground floor – granted 09/09/2002

36 Glenloch Road – PWX0102024 - Erection of a full width rear mansard roof extension with 3 dormers – refused 06/03/2001

36 Glenloch Road – G8/3/8/19695 - The erection of railings at the front of 36 Glenloch Road – granted 20/12/1974

Relevant policies

National Planning Policy Framework 2019

The London Plan 2021

Camden Local Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

Camden Planning Guidance (CPG)

CPG Design (January 2021)

CPG Amenity (January 2021)

CPG Home Improvements (January 2021)

Belsize Conservation Area Statement (2003)

Assessment

1 PROPOSAL

1.1 Planning permission is sought for the erection of a glazed conservatory to the side return at the rear (see Figure 1 below) and the provision of new metal railings on the front boundary.

1.2 The glazed conservatory would be at the same level as the flat and it would be 1.95m in width. It would be 1.75m in depth and 2.25m in height (and 1.3m above the level of the garden). There would be (external) steps up to the garden.

1.3 The new railings on the front boundary would be of black metal, 1m high and with loops at the top.

1.4 The existing windows at the front of the basement flat would be replaced with sash style timber double glazed windows.



Figure 1: Images of proposed glazed conservatory at rear

Revisions

1.5 The application originally proposed a glass box in front of the front entrance, storage containers in the front lightwell and a relocated front entrance (to the window in the middle of the bay at the front). These items were omitted following consultation and the comments made by the Conservation Area Advisory Committee.

2 ASSESSMENT

2.1 The material considerations for this application are as follows:

- Design and Conservation;
- Amenity of neighbouring residential occupants (Amenity)

2.2 Design and Conservation

2.2.1 Local Plan policies D1 (Design) and D2 (Heritage) are aimed at achieving the highest standard of design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area; and Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.

2.2.2 Within the Heritage section of the Council's Planning Guidance SPD it is noted that 'The Council will only permit development within Conservation Areas that preserves and where possible enhances the character and appearance of the area'.

2.2.3 Guidance note BE19 of the Belsize Conservation Area Statement states: 'New development should be seen as an opportunity to enhance the Conservation Area. All development should respect existing features such as building lines, roof lines, elevational design, and, where appropriate, architectural characteristics, detailing, profile and materials of adjoining buildings'

2.2.4 Situated within the side return at the rear, the proposed rear conservatory would not be visible within any streetscenes and it would not harm the appearance of the building, the site or the Conservation Area. Sunken below the level of the garden and situated within the side return it would not harm the appearance of the terrace or the visual amenity of the area.

2.2.5 The new metal railings at the front would be similar as those on the front boundary of no.32 and they would serve to preserve the appearance of the building in the streetscene and the Edwardian character of the Conservation Area.

2.2.6 The replacement (double glazed) windows at the front of the basement flat would be of a traditional sash style and timber framed. They would similarly preserve the character and appearance of the Conservation Area.

2.2.7 The items which are referred to in the letter of objection from the Belsize Conservation Area Advisory Committee have all been omitted from the proposal. No other objections have been made in relation to the appearance of the proposals and the effects on conservation and design.

2.2.8 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. The size, scale, design and location of the proposed alterations, would ensure no harm is caused to the character of the host building and surrounding conservation area, in accordance with policies D1 and D2 of the Camden Local Plan.

2.3 Amenity

2.3.1 Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. It seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of neighbouring residents. This includes privacy, overlooking, outlook and implications on daylight and sunlight. CPG6 (Amenity) provides specific guidance with regards to privacy, overlooking and outlook.

2.3.2 The proposed conservatory extension would sit between the solid walls of the rear projections at the application site and 34 Glenloch Road and it would not result in any overshadowing, loss of privacy or outlook from any rooms or gardens either at the application site or at 34 Glenloch Road. The use of the rear garden at the application site would not be affected by the proposed extension.

2.3.3 The need to obtain consent from the freeholder is a private matter which would need to be resolve separately. The proposal would not involve excavation which would need planning control.

2.3.4 The new railings at the front and the replacement windows would not have any effects on the amenity of any neighbouring occupiers.

2.3.5 It is concluded that the proposal would not result in any significant loss of amenity for the occupiers of any neighbouring properties.

3.0 Recommendation:

3.1 Grant conditional planning permission

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday May 17th 2021, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'

Application ref: 2021/0348/P
Contact: Adam Greenhalgh
Tel: 020 7974 6341
Email: Adam.Greenhalgh@camden.gov.uk
Date: 7 May 2021

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

RMF studio
17 Berkeley St
london
w1j 8ea

Dear Sir/Madam
DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
Flat A
36 Glenloch Road
London
NW3 4DN

Proposal:
Erection of glazed conservatory extension at rear. Replacement of windows at front with new timber double glazed windows. Provision of new metal railing along front boundary.

Drawing Nos: (Existing) 007-20-RMF-EX: 10-000, 10-100, 20-000, 20-001, 20-002, 90-000

(Proposed) 007-20-RMF-A: 10-100 Rev 2, 200-000 Rev 2, 20-001 Rev 2, 20-002, 90-000

Design & Access Statement

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved drawings :

(Proposed) 007-20-RMF-A: 10-100 Rev 2, 200-000 Rev 2, 20-001 Rev 2, 20-002, 90-000

Reason:

For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer