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Interim Validation Report



101 Camley Street Camden

**Prepared on for
ARDMORE CONSTRUCTION LIMITED**

**FEBRUARY 2021
Report Reference: SRS/20/1455/ RPT 1 ISS 3**



Report Title:	Validation Report: Capital Towers: 101 Camley Street, Camden
Report Reference No:	SRS/20/1455/ RPT 1 Iss 3

Prepared For:	ARDMORE CONSTRUCTION LIMITED
Project Reference No:	SRS/20/1455

Prepared by:	Site Remedial Services Ltd. Unit 13 River Road Business Park 33 River Road Barking Essex IG11 0EA Telephone: 020 8594 8134
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	Issue 1	Issue 2	Issue 3
Remarks	Final	Final	Final
Date	11.12.2020	11.12.2020	25.02.2021
Prepared by:	M Mensah-Twumasi	M Mensah-Twumasi	M Mensah-Twumasi
Signature			
Reviewed and Authorised by	J S Warren	J S Warren	J S Warren
Signature			



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1 INTRODUCTION

1.1 Background

This interim validation report has been prepared on behalf of Ardmore Construction Limited following the works conducted for 101 Camley Street, Camden. A site location plan is presented as Figure 1 in Appendix 1.

The purpose of the remediation works was to reduce the identified risks associated with the site and to render the site suitable for its intended use. The works were to be conducted in accordance with the remediation method statement⁽¹⁾ prepared by Card Geotechnics Limited. The development is to comprise a mixed-use development comprising the construction of a new 11 storey mixed use development with a lower level ground floor and single storey basement beneath the whole footprint of the site. It is understood that there are to be two small areas of public open space in the north-western and south-eastern corners of the site. A plan showing the site demarcation is presented as Figure 2 in Appendix 1.

1.2 Objective

The purpose of this report is to provide documented evidence of the interim works undertaken at the site and also highlight any deviations or outstanding items of works required to be carried out. In so doing the report seeks to show that the remedial actions recommended for the site have been satisfactorily carried out and that the subject area is suitable for its intended proposed redevelopment. The information contained in this report also seeks to support the application to discharge Condition 21b of Planning Permission 2014/4385/P.

1.3 Report Limitations

The report is limited to those aspects of risk reduction specifically reported on and no liability is accepted for any other aspect especially concerning sudden subsequent pollution incidents via migration which exists on adjoining sites. In such circumstances additional research than that hitherto conducted may be required before the effects of such incidents can be determined.

The comments given in this report, and the opinions expressed herein, are based upon the readily available information collated for the report and an assessment based upon the current UK guidance, primarily the Contaminated Land Research (CLR) Reports, and most importantly CLR Report 11⁽²⁾.

This report has been prepared for the sole use of Ardmore Construction Limited for the purposes described and no extended duty of care to any third party is implied or offered. Third parties using any information contained within this report do so at their own risk.

The comments on groundwater conditions are based on the available records. It should be noted that groundwater levels vary owing to seasonal or other effects.

This report refers, within the limitations stated, to the condition of the site at the time of completion of the works. No warranty is given as to the future changes in the site use.

¹ Card Geotechnics Limited, '101 Camley Street, London – Remediation Method Statement, document reference: CG/18992, 24 July 2017

² Defra, Model Procedures for the Management of Land Contamination, Contaminated Land Report 11, September 2004.



2 SUMMARY OF CONCEPTUAL SITE MODEL AND RISK ASSESSMENT

2.1 Conceptual Site Model

The following section details the CSM that was developed for the site in the context of the proposed development.

2.1.1 Environmental Setting

There are no current licensed groundwater abstractions for potable water indicated within a 1km radius of the site and the nearest identified water abstraction was located approximately 370m north of the site and related to a borehole at The Kings Cross Concrete Plant. There was one currently licensed surface water abstraction within a 500km radius of the site, relating to Camley Street Nature Park, located approximately 130m southeast. The nearest identified surface watercourse was the Grand Union (Regents) Canal which lies adjacent to the site northern boundary. There are no records of contamination incidents originating from the site pollution incidents to controlled waters in the vicinity of the site. The site was not located in an area at risk from flooding.

2.1.2 Site History

Information contained in the RMS indicated that from the 1870s, the site was largely vacant, with only a building in the centre of the site. By the 1880s stables were present on the site until the 1960s where the stables and building at the site had been removed and two new small buildings were present. By the 1980s the site had been developed into its current warehouse layout.

Previous land uses in the surrounding area have included a railway, with associated goods sheds and engine sheds, a workhouse, goods depots, ale stores, warehouses, a sorting office and a hospital. There were three records of potentially contaminative industrial land use within 100m of the site. These related to an electricity sub-station (32m north), a chimney (43m southwest) and St. Pancras hospital (82m southwest).

2.1.3 Contamination Sources

The land contamination assessment carried out for the site indicated that the Made Ground would be the likely contamination source of concern to identified receptors at the site. The following were of particular concern:

- Presence of a fuel tank (diesel) set on a concrete plinth to the northwest of the main warehouse (However, no visual or olfactory evidence of hydrocarbon spillage/leakage was observed)
- Presence of asbestos containing materials at shallow depths of the Made Ground
- Presence of PAHs, (principally benzo(a)pyrene) at shallow depths of the Made Ground
- Potentially reduced concentrations of oxygen levels recorded during the monitoring visits.



3 SUMMARY OF REMEDIATION WORKS CONDUCTED

3.1 Remediation Strategy

The remediation strategy for the site was to comprise the following key operations.

- Provision of barrier layers in areas of soft landscaping to protect future users from elevated concentrations of contaminants and asbestos fibres recorded in the Made Ground.
- Protection of underground services by specification of suitable materials, e.g. composite barrier pipe, where placed within the residual Made Ground, subject to confirmation by the water supply company.
- Materials management of basement arisings in accordance with the waste hierarchy, Duty of Care Regulations and Waste Regulations.
- Watching brief and discovery strategy.
- Implementation of environmental controls and health and safety procedures to protect construction workers and adjacent site users from potential risks associated with dust, vapours and nuisance odours

In line with Condition 21 of the Planning Permission, The remediation method statement⁽³⁾ for the site was sent to the local planning authority for review and approval.

3.2 Project Directory

The following outlines the companies associated with the project at the site.

Table 1 Project Directory	
Owner	Camley Street Limited
Developer	Chalk Farm Development Limited
Contractor	Ardmore Construction Limited

3.3 Responsibilities

The key components of the remediation works were conducted by following companies presented in Table 2 below.

Table 2 Contractors Responsible for Key Elements of the Remediation Works

Remediation Activity	Designated Contractor
Excavation Works	Ardmore Construction Limited / Ground Construction Limited
Provision of barrier layers in areas of soft landscaping*	Ardmore Construction Limited
Protection of underground services by specification of suitable materials	Ardmore Construction Limited
Materials management of basement arisings	Ardmore Construction Limited / Ground Construction Limited
Watching brief and discovery strategy.	Ardmore Construction Limited with advice from Environmental Consultant

³ Card Geotechnics Limited, '101 Camley Street, London – Remediation Method Statement, document reference: CG/18992, 24 July 2017



Table 2 Contractors Responsible for Key Elements of the Remediation Works

Remediation Activity	Designated Contractor
Implementation of environmental controls and health and safety procedures	Ardmore Construction Limited / Ground Construction Limited
<u>Validation and Verification Works</u> Collation of information relating the remediation works and preparation of validation report	SRS Ltd
Note * Item of work yet to be completed.	

3.4 Works Prior to Demolition and Excavation Works

Historic investigation at the site identified the presence of a tank prior to the demolition works (Section 2.1.3). The RSK report indicated that no visual or olfactory evidence of spillage was observed, or signs of ground contamination were identified. The report also states that two trial pits TP3 and TP4 were undertaken in the immediate vicinity of the above ground tank and not contamination was encountered.

The removal of the fuel tank was conducted prior to the demolition works and subsequent excavation works (please see photos in Appendix 2). The photos show condition of the concrete base, before and after the tank removal, which was also subsequently removed as part of the excavation works.

3.5 Excavation Works

3.5.1 Soil Excavation

As part of the ground works it was required that at the site in order to construct the lower ground and basement floors. Details of the General Arrangements are presented in Appendix 3. Photos of the reduced dig activities are presented in Appendix 4.

The photos show the extent of the reduced dig which extended to at least 6.5m below the original ground level.

3.5.2 Material Disposal

The contractor Ground Construction Limited (GCL) conducted the waste disposal activities and the wastes were transferred by a number of registered waste carriers. A summary of the Waste Tracking spreadsheet is presented in Appendix 5. The Waste Consignment Notes of materials disposed of off-site are held by the contractor. A list of the registered waste carriers is also contained in appendix 5. For the sake of size of this report, a link to view or download the full waste carrier and disposal records such as waste transfer and consignment notes is also provided in Appendix 5.

The groundworks contractor excavated a total of lorry 2505No lorry loads of material and removed from the site to a number of waste disposal sites. The material removed off site was classified as either inert, inert (non-hazardous) or concrete waste.

The table below provides a breakdown of the waste removed from the site as part of the excavation works. A breakdown of the lorry movements during the excavation works and the Classification is provided below.

Table 3 Summary of Waste Transfer Notes by Waste Classification

Waste Description	Total Loads
Inert	2374



Inert (Non Hazardous)	4
Concrete	127
Total	2505

3.6 Ground Gas Protection Measures within Building Footprint

As part of the basement construction a waterproof membrane was installed at basement level. The waterproof membrane was verified by GoeShield Limited on behalf of GCL. A Verification report for the membrane is presented in Appendix 6.

According to the report the membrane installation not only acts as a watertight membrane system but also the nature of the construction (including the membrane) meets the requirements for a gas characterisation situation 2 (CS2) for Building Type B, under BS8485:2015.

3.7 Underground Services

Details of the underground laying and associated photos are presented in Appendix 7.

The client used a barrier pipe product for the site. As such it considered that the requirements for the protection of service pipes have been met with the adoption of the barrier pipes.

Correspondence from the regulators along with the method statement for laying the are also included in Appendix 7 and they confirm the utilities acceptance of the water pipe specification adopted for the site.

3.8 Site Management

Correspondence from site management is presented in Appendix 8. It confirms that no additional contamination was encountered during the groundworks. As such no additional precautionary measures were needed for the site. Further, correspondence also confirms the measures that were implemented during the construction phase of the project.

3.9 Reinstatement with Imported Topsoil

At the time of writing this report, the landscaping works had not commenced. An addendum to this report detailing the landscaping activities will be prepared upon completion of the landscaping works.



4 SUMMARY AND CONCLUSIONS

4.1 Summary of Works Undertaken

As discussed the site work involved the excavation and removal of contaminating and deleterious waste materials, the construction of protection barriers across this portion of the site in accordance with the remediation strategy. The works were carried out taking full account of the proposed development.

4.2 Post Remediation Management Requirements

The remediation works associated with the site comprised the following items of works:

- Removal of All of the deleterious material from the site
- Provision of barrier layers in areas of soft landscaping
- Protection of underground services by the use of composite barrier pipe

All of the Made Ground at the site has been removed along with any deleterious material and so no special requirements of remediation monitoring is considered necessary for the site. A portion of the capping layer is currently being installed by Ardmore Construction Limited and will be validated as stated in Section 3.9.

It is our understanding that Planning condition PP8 on hard and soft landscaping works, has been agreed for completion within 6 months of first occupation of the residential units under application reference 2020/5530/P. It's therefore understood that a post-completion discharge for the landscape condition will be made following the works. The construction of the capping layer will be completed in line with the requirements set out by CGL Remediation Strategy Report.

4.3 Impact of the Remediation Activities

Based upon the works conducted at 101 Camley Street, all of the contaminant linkages associated with the site have been broken following the construction activities. This assertion can be made for the following reasons:

- 1) Site level reduction which involved the removal of all of Made Ground from the site. This occurred as part of the construction of the lower ground and basement levels.
- 2) The construction of an effective watertight and ground gas barrier for the basement. This was independently verified to be in accordance with the proposed design measures.
- 3) The remaining works to be conducted (landscaping works) will require importation of material which will be sourced from reputable topsoil manufacturers and suppliers.
- 4) Future site users will, in effect, be free from any exposure or contact with any historic contaminative material from the site.

The receptors identified within the subject area will not be at risk from the site conditions at the site. Long term human exposure to the underlying soils will not exist. The table below summarises the impact of the remediation activities on the relevant pollutant linkages for the subject area.



Table 4 Relevant Contaminant Linkages

Potential Source	Receptor	Pathway	Potential Effect	Risk Classification	Remediation Works / Mitigation Measures	Risk Classification After Mitigation Measures
101 Camley Street Made Ground at the site. • Presence of a fuel tank (diesel) • Presence of asbestos containing materials • Presence of PAHs, (principally benzo(a)pyrene) • Potentially reduced concentrations of oxygen levels recorded during the monitoring visits.	Construction workers and Maintenance workers	Direct dermal contact, Ingestion, Inhalation	Toxic, carcinogenic, hazardous to human health	Low – Moderate	1. Appropriate Health and Safety Measures	Low
	Future users - Residential users Commercial users	Inhalation	Toxic, carcinogenic, Asphyxiation	Low – Moderate	1. Removal of Made Ground Soils 2. Gas protection measures	Low
	Building Materials and Services	Contaminant accumulation, Contamination migration	Degradation of building materials and permeation of pipes	Low - Moderate	1. Removal of Made Ground Soils 2. Installation of barrier pipes	Low / Negligible
	Controlled Waters	Leaching; Migration	Controlled water Pollution	Low	1. Removal of Made Ground Soils	Low / Negligible
	Environmental Receptors	Leaching; Migration	Environmental degradation / pollution	Low		Low / Negligible



4.4 Conclusions

From the evidence of the site works conducted, the records of the soils and contaminated soil disposed of off-site, it is viewed that the remediation works relating to 101 Camley Street 1 has been satisfactorily undertaken, by the removal of deleterious materials during the excavation works and by the installation of protection barriers incorporated within the construction activities. The associated risks posed by any contamination areas within this portion of the site have therefore been effectively mitigated and no significant risks to the site and off site receptors remain.



APPENDICES


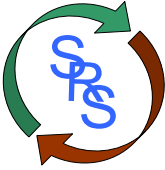


APPENDIX 1 FIGURES

Figure 1 Site Location Plan

Figure 2 Site Development Plan and Extent of the Current Subject Area

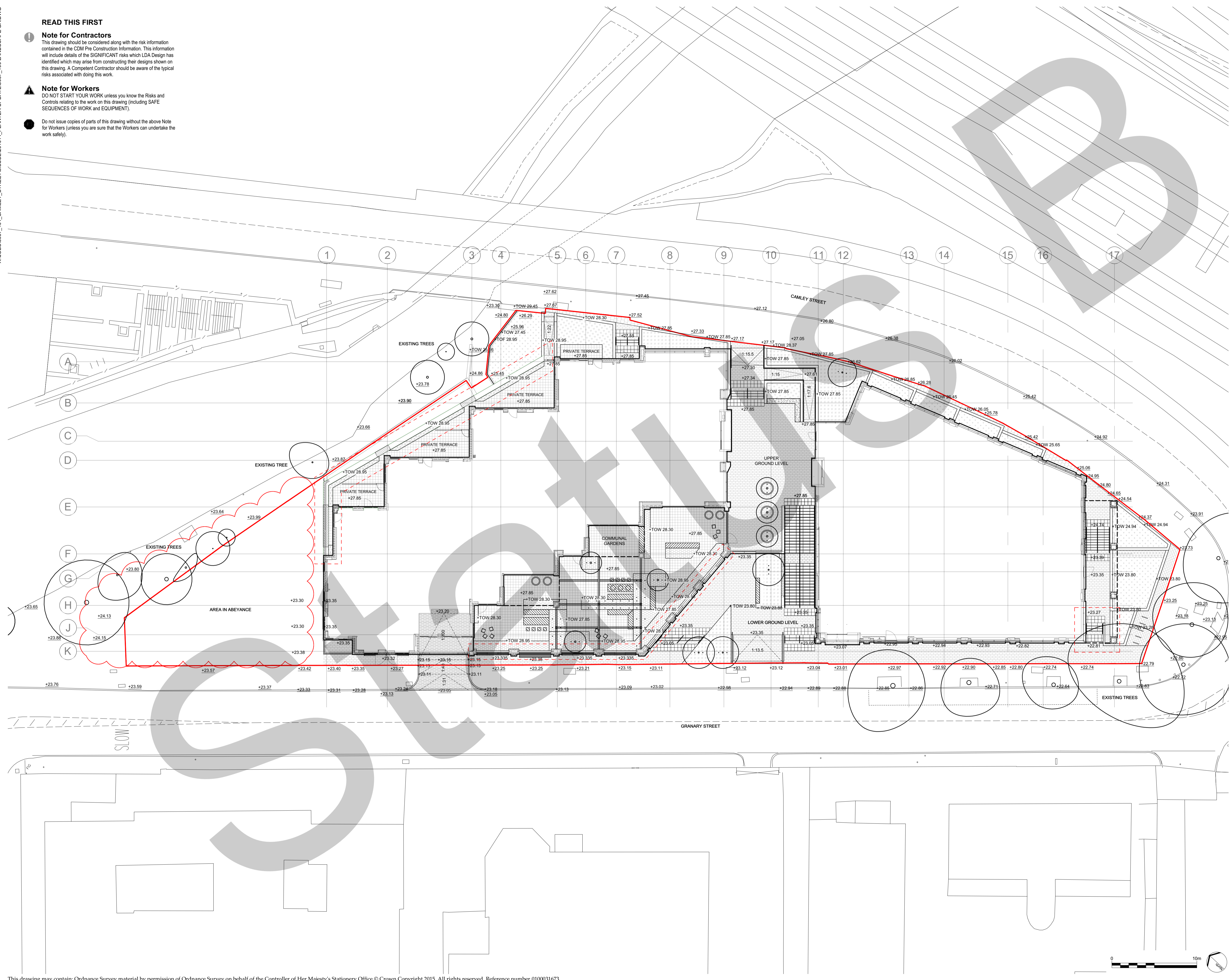


Legend:  - Site Location	Title: Site Location Plan	Project No.: SRS/20/1455	 <p> Site Remedial Services Ltd. Unit 13 River Road Business Park 33 River Road, Barking Essex IG11 0EA Tel: 020 8594 8134 Fax: 020 8594 8072 E-Mail: info@siteremedial.co.uk </p>
		Figure No.: Figure 1	
	Project: 101 CAMLEY STREET	Scale: N.T.S.	
		Revision: -	
	Client: ADMORE GROUP	Drawn By: MM-T	
		Checked: JW	
	Date: DECEMBER 2020		

READ THIS FIRST

- Note for Contractors**
This drawing should be considered along with the risk information contained in the CDM Pre Construction Information. This information will include details of the SIGNIFICANT risks which LDA Design has identified which may arise from constructing their designs shown on this drawing. A Competent Contractor should be aware of the typical risks associated with doing this work.
- Note for Workers**
DO NOT START YOUR WORK unless you know the Risks and Controls relating to the work on this drawing (including SAFE SEQUENCES OF WORK and EQUIPMENT).
Do not issue copies of parts of this drawing without the above Note for Workers (unless you are sure that the Workers can undertake the work safely).

- LEGEND**
- This drawing is to be read in conjunction with all other drawings and specifications.
 - Do not scale off this drawing. Written dimensions to be taken only.
 - Any discrepancies found between this drawing and other drawings and specifications in the construction documents must be referred to the Landscape Architect prior to work commencing.
 - This drawing must not be copied in whole or in part without written consent of LDA Design.
 - These drawings are for finishes only. All foundation, fixing, paving depths and drainage details to be provided by others.
 - All dimensions in mm unless otherwise stated.
 - Where dimension sizes of units are given they state length x width x depth.
- NOTES:**
- REFER TO GENERAL ARRANGEMENT LAYOUT AND REFERENCE PLANS DWG 5657_100 - 104
 - REFER TO HARDWORKS LAYOUT AND REFERENCE PLAN DWG 5657_200
 - REFER TO FURNITURE LAYOUT AND REFERENCE PLAN DWG 5657_300
 - REFER TO SOFTWORKS LAYOUT AND REFERENCE PLAN DWG 5657_400
 - REFER TO LIGHTING LAYOUT AND REFERENCE PLAN DWG 5657_500
- TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECT'S EXTERNAL WORKS SPECIFICATION.
- TO BE READ IN CONJUNCTION WITH ARCHITECT'S GA DRAWINGS 0010 SERIES



- SITE BOUNDARY
- GRANITE PAVING TO UPPER AND LOWER GROUND LEVELS
- GRANITE TEXTURED PAVING
- GRANITE TERRAZZO PAVING SLABS
- CONCRETE FLAG PAVING (TO MATCH EXISTING)
- SMOOTH ASPHALT SURFACING
- CORDUROY TACTILE PAVING TO TOP AND BOTTOM OF STEPS
- STEP UNITS
- CYCLE STAND
- GRANITE BENCH WITH RECESSED LIGHTING
- TIMBER BENCH
- GIANT FLOWERPOT PLANTER
- FLOWERPOT PLANTER
- PLANTING MIX - UPPER AND LOWER GROUND LEVELS
- PLANTING MIX - COMMUNAL GARDENS
- PLANTING MIX - WOODLAND BORDER
- CLIPPED HEDGE
- PROPOSED SPECIMEN TREE PLANTING
- EXISTING LEVELS
- PROPOSED LEVELS

REV.	DESCRIPTION	APP. DATE
O	North block terrace planter coordinated with colonnade	AW 16/10/20
	Communal gardens planter coordinated with colonnade	
	Steps and paving raised	
N	Grassery St levels adjusted within red line only	AW 08/09/20
M	Update to planter and paving material around column	AW 17/01/19
L	Update to steps and ground levels around column	AW 13/01/20
K	Coordination with building entrance	
	Coordination with slab penetrations	AW 30/09/19
	Change to terrace paving and handrails spec	
	Bench to building entrance	
J	Coordination with architecture	AW 10/06/19
I	Planter extended to bottom of steps	AW 22/03/19
	Private terrace, external steps and planter wall layout coordinated with architecture	
H	Construction issue, coordination with architecture	AW 21/01/19
G	Canal bridge removed	AW 17/01/19
F	Update to Camley St Entrance	AW 10/08/17
E	Update to southern raised planter layout	AW 03/08/17
D	Update Communal Gardens and Southern Steps	AW 27/07/17
C	Update Communal Gardens	AW 21/07/17
B	Update Communal Gardens	AW 27/05/17
A	Update to Marketing Suite	AW 16/05/17

LDA DESIGN

PROJECT TITLE
101 Camley Street

DRAWING TITLE
Stage 5: Construction
Landscape General Arrangement

ISSUED BY: Exeter T: 01392 260 430
 DATE: Jan 2019 DRAWN: AW
 SCALE: 1:200 CHECKED: RAs
 STATUS: Construction APPROVED: RAs

DWG. NO 5657_100

No dimensions are to be scaled from this drawing. All dimensions are to be checked on site. Area measurements for indicative purposes only.

© LDA Design Consulting Ltd. Quality Assured to BS EN ISO 9001:2008
Sources: Ordnance Survey



APPENDIX 2 DETAILS OF THE FUEL TANK

Site Remedial Services Ltd



101 CAMLEY STREET	ABOVE GROUND FUEL TANK	SRS/20/1455
	FUEL TANK	Page Number 1 of 3



Photo 1 - Photo taken: 19 August 2016



101 CAMLEY STREET	ABOVE GROUND FUEL TANK	SRS/20/1455
	CONCRETE PLINTH WITHOUT TANK	Page Number 2 of 3



Photo 2 - Photo taken 23 November 2016

Site Remedial Services Ltd



101 CAMLEY STREET	ABOVE GROUND FUEL TANK	SRS/20/1455
	CONCRETE PLINTH WITHOUT TANK	Page Number 3 of 3



Photo 3 - Phot taken: 23 January 2017



APPENDIX 3 DEVELOPMENT DETAILS

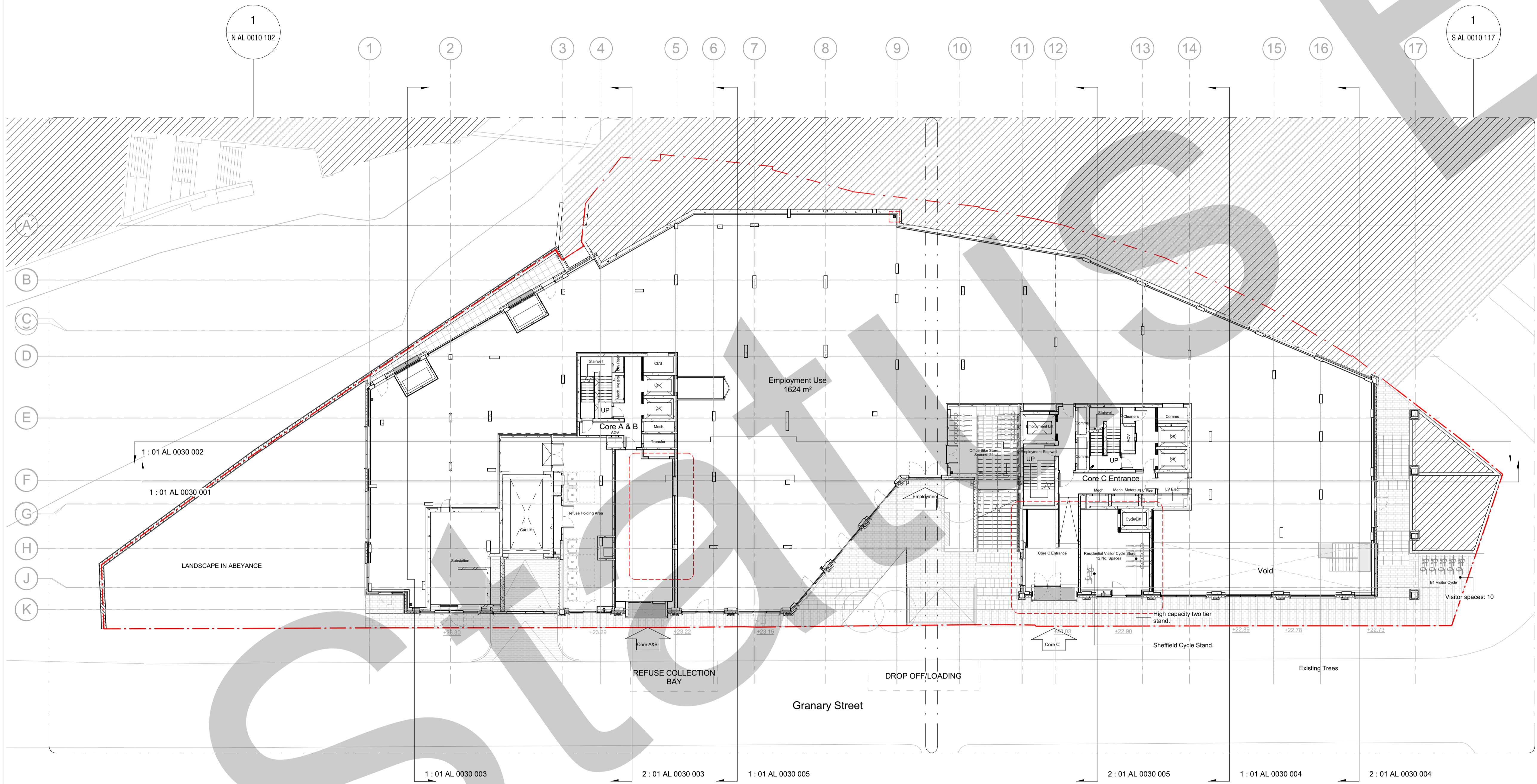
All dimensions are in mm unless otherwise stated
All dimensions to be verified on site before proceeding with the work
Any discrepancies to be notified in writing to Architect immediately
All boundaries indicative only and to be confirmed by others



NOTE
Contractor drawings and samples to be submitted for approval prior to fabrication.
All dimensions are in millimeters unless otherwise noted.
All dimensions are to be checked on site and any discrepancies reported to the Architect.
SSL – Structural Slab Level
SFL – Screed Floor Level – Top of the Screed
FFL – Finish Floor Level (including finish eg: carpet or tiles)

This drawing must be read in conjunction with all relevant Specifications and Consultant Drawings. Specific drawing information can be found under the following drawing series:

0000	Site	3200	Internal Openings
0010	GA Plans & Reference Plans	3400	Metal Works
0020	GA Elevations	3500	Suspended Ceilings
0030	GA Sections	3600	Balconies
0040	3D Views	4300	Floors
0400	Fire Strategy	5000	Mainly Ducted
1000	Substructure	6600	Mainly Electrical
2000	Structure Coordination	7300	Kitchen
2100	External Walls	7400	Bathrooms
2200	Internal Walls	7500	Cleaning and Maintenance
2400	Stairs and Ramps	7600	Storage and Cupboards
2500	Concrete Finishes	7700	Entrances and Lobbies
2700	Roof	SCH31	Residential Interior Finishes
3000	Curtain Walling	SCH34	Communal Interior Finishes
3100	External Openings		



REV	DATE	NOTES	INT
20	31.10.19	Site Instruction 60 - N Block entrance lobby updated / S Block entrance lobby & cycle store updated. Employment lift wall nib updated.	JG
19	02.10.19	LG Commercial entrance & external stair updated as per Site Instruction 051. LG Commercial frontage added as per Site Instruction 056. Employment area terrace elevation updated as per Site Instruction 006 & terrace finish updated as per Site Instruction 052.	JG
18	02.09.19	Issued as per Ardmore request. Number of cycle spaces as per revision clouds.	DH
17	24.07.19	As per site instruction 29. Internal partitions added. Wall type changed. Internal partition omitted. Door added. Changes as per revision clouds.	BR
16	15.05.19	RWP's and external lighting fixed to facade shown indicatively, please refer to relevant packages and consultant drawings. Updates as per revision clouds. Door to core stairs has changed position as requested by ACL. Ramp to refuse store added.	GFV
15	21.11.18	Door openings updated to suit latest Planning changes. Area revised in order to incorporate new wall build-up.	JG
14	16.02.18	General updates as per revision clouds.	GF
13	13.10.17	Stage 04 Main Building Submission	GF
12	20.09.17	Entrances updated. Subject to Client sign off	GF
11	11.08.17	Substation and canal side wall updated as per Client's instructions and Final Stage 04 layouts following client's instructions at DTM 22	GF
10	30.06.17	Changes from Stage 03 substructure to Stage 04 Substructure highlighted.	GF
09	09.06.17	Grid amended and minor amendments to envelope	DMV
08	17.05.17	Stage 03 Main Building Pack	GF
07	17.03.17	General update for the substructure package	GF
06	03.03.17	Stage 03 First Issue	GF
05	27.01.17	Final Stage 02 Report to the Design Team. Core A&B Revised	TW
04	23.01.17	Final Stage 02 Report to the Design Team	TW
03	17.01.17	Updates issued for coordination purpose prior to Stage 02 report.	TW
02	02.12.16	First Issue of AL Sheets After Planning Submission on 30th November	TW
01	18.10.16	First Issue of current 121 unit scheme.	TW
-	14.10.16	First Issue to Design Team	TW

STAGE 05 - CONSTRUCTION

HUTCHINSON & PARTNERS

3.14 The Record Hall, 16-16A Baldwin's Garden, London, EC1N 7RJ
1.020 3176 8192 e.info@hutchinsonandpartners.com w.www.hutchinsonandpartners.com

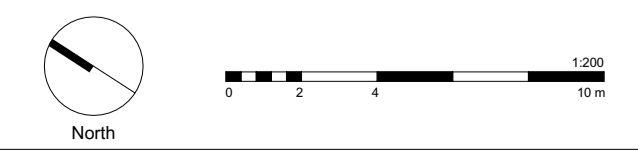
JOB TITLE
Stanley Sidings, 101 Camley Street, Camden

DRAWING TITLE / LOCATION
Proposed GA Level LG (Lower Ground)

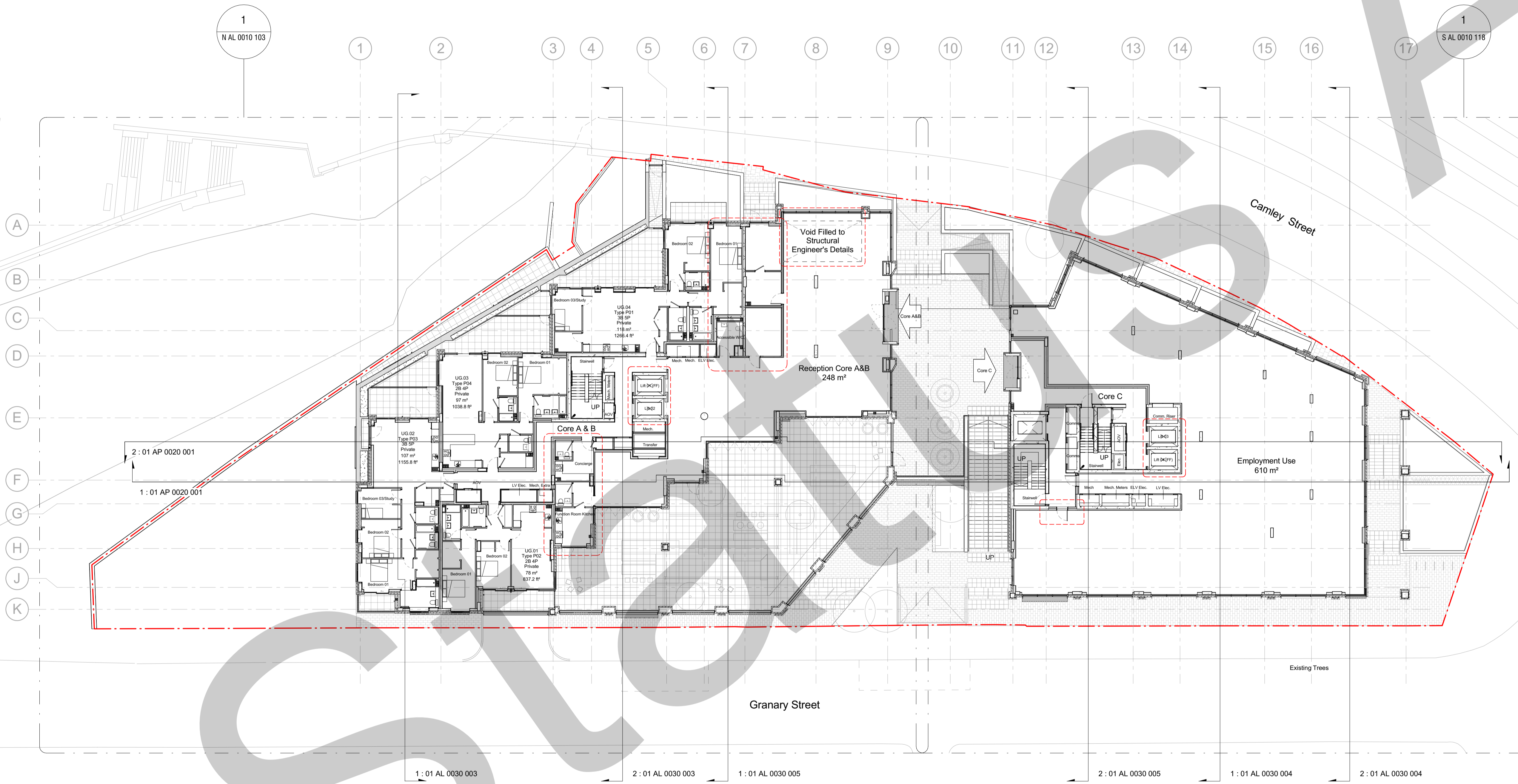
DRAWN BY DH	CHECKED DMV	SCALE 1:200 @ A1 / 1:400 @ A3	STATUS STAGE 05
PROJECT 16022	DRAWING NO. 01 AL 0010 003	REVISION 20	

CLIENT
Ardmore

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All dimensions are in mm unless otherwise stated
 All dimensions to be verified on site before proceeding with the work
 Any discrepancies to be notified in writing to architect immediately
 All boundaries indicative only and to be confirmed by others



- NOTE**
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 FFL – Finish Floor Level (including finish eg: carpet or tiles)
- This drawing must be read in conjunction with all relevant Specifications and Consultant Drawings. Specific drawing information can be found under the following drawing series:
- | | |
|---------------------------------|-------------------------------------|
| 0000 Site | 3200 Internal Openings |
| 0010 GA Plans & Reference Plans | 3400 Metal Works |
| 0020 GA Elevations | 3500 Suspended Ceilings |
| 0030 GA Sections | 3600 Balconies |
| 0040 3D Views | 4300 Floors |
| 0400 Fire Strategy | 5000 Mainly Ducted |
| 1000 Substructure | 6000 Mainly Electrical |
| 2000 Structure Coordination | 7300 Kitchen |
| 2100 External Walls | 7400 Bathrooms |
| 2200 Internal Walls | 7500 Cleaning and Maintenance |
| 2400 Stairs and Ramps | 7600 Storage and Cupboards |
| 2500 Concrete Finishes | 7700 Entrances and Lobbies |
| 2700 Roof | SCH31 Residential Interior Finishes |
| 3000 Curtain Walling | SCH34 Communal Interior Finishes |
| 3100 External Openings | |

REV	DATE	NOTES	INT
22	18.11.19	Site Instruction 60 - Concierge & kitchen area updated / N Block entrance area updated / S Block core wall & door updated. Site Instruction 57&58 - Private unit internal partitions amended. Employment lift nibs updated. Lift numbers added.	DH
21	25.10.19	Private units changed as per Site Instruction 57 and 58. Upper ground lobbies in abeyance.	DH
20	02.10.19	LG Commercial entrance & external stair updated as per Site Instruction 051. Terraces finish updated as per Site Instruction 052.	JG
19	24.07.19	As per site instruction 29. Internal partitions added. Internal partitions omitted. Wall linings omitted. Door added. Wall types added. AOV change of use. Changes as per revision clouds.	BR
18	15.05.19	RWP's and external lighting fixed to facade shown indicatively, please refer to relevant packages and consultant drawings. Updates as per revision clouds. Door to core stairs has changed position as requested by ACL.	GFV
17	21.11.18	Employment area updated to suit new wall build-up. Residential area updated to suit window/door position. Timber removed from balcony cladding.	JG
16	27.07.18	External wall update to include Rockwool. Overall thickness increased by 30mm. AOV Shaft added to North Block.	GF
15	16.02.18	General updates as per revision clouds.	GF
14	13.10.17	Stage 04 Main Building Submission	GF
13	20.09.17	Entrances updated. Subject to Client sign off	GF
12	11.08.17	Concierge and CCTV camera updated following Clients instructions and Final Stage 04 layouts following client's instructions at DTM 22	GF
11	30.06.17	Changes from Stage 03 substructure to Stage 04 Substructure highlighted.	GF
10	09.06.17	Grid amended and minor amendments to envelope	DMV
09	17.05.17	Stage 03 Main Building Pack	GF
08	04.04.17	Bathroom PODs Included. Entrance in Core A Under Review.	TW
07	17.03.17	General update for the substructure package	GF
06	03.03.17	Stage 03 First Issue	GF
05	27.01.17	Final Stage 02 Report to the Design Team. Core A&B Revised	TW
04	23.01.17	Final Stage 02 Report to the Design Team	TW
03	17.01.17	Updates issued for coordination purpose prior to Stage 02 report.	TW
02	02.12.16	First issue of AL Sheets After Planning Submission on 30th November	TW
01	18.10.16	First issue of current 121 unit scheme.	TW
-	14.10.16	First issue to Design Team	TW

STAGE 05 - CONSTRUCTION

HUTCHINSON & PARTNERS

3 14 The Record Hall, 16-16A Baldwin's Garden, London, EC1N 7RJ
 1 020 3176 8192 e. info@hutchinsonandpartners.com w. www.hutchinsonandpartners.com

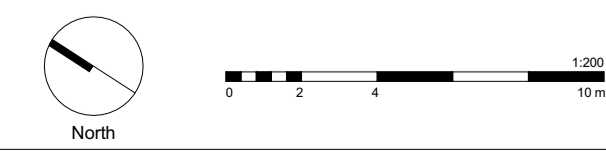
JOB TITLE
Stanley Sidings, 101 Camley Street, Camden

DRAWING TITLE / LOCATION
Proposed GA Level UG (Upper Ground)

DRAWN BY DH	CHECKED DMV	SCALE 1:200 @ A1 / 1:400 @ A3	STATUS STAGE 05
PROJECT 16022	DRAWING NO 01 AL 0010 004	REVISION 22	

CLIENT

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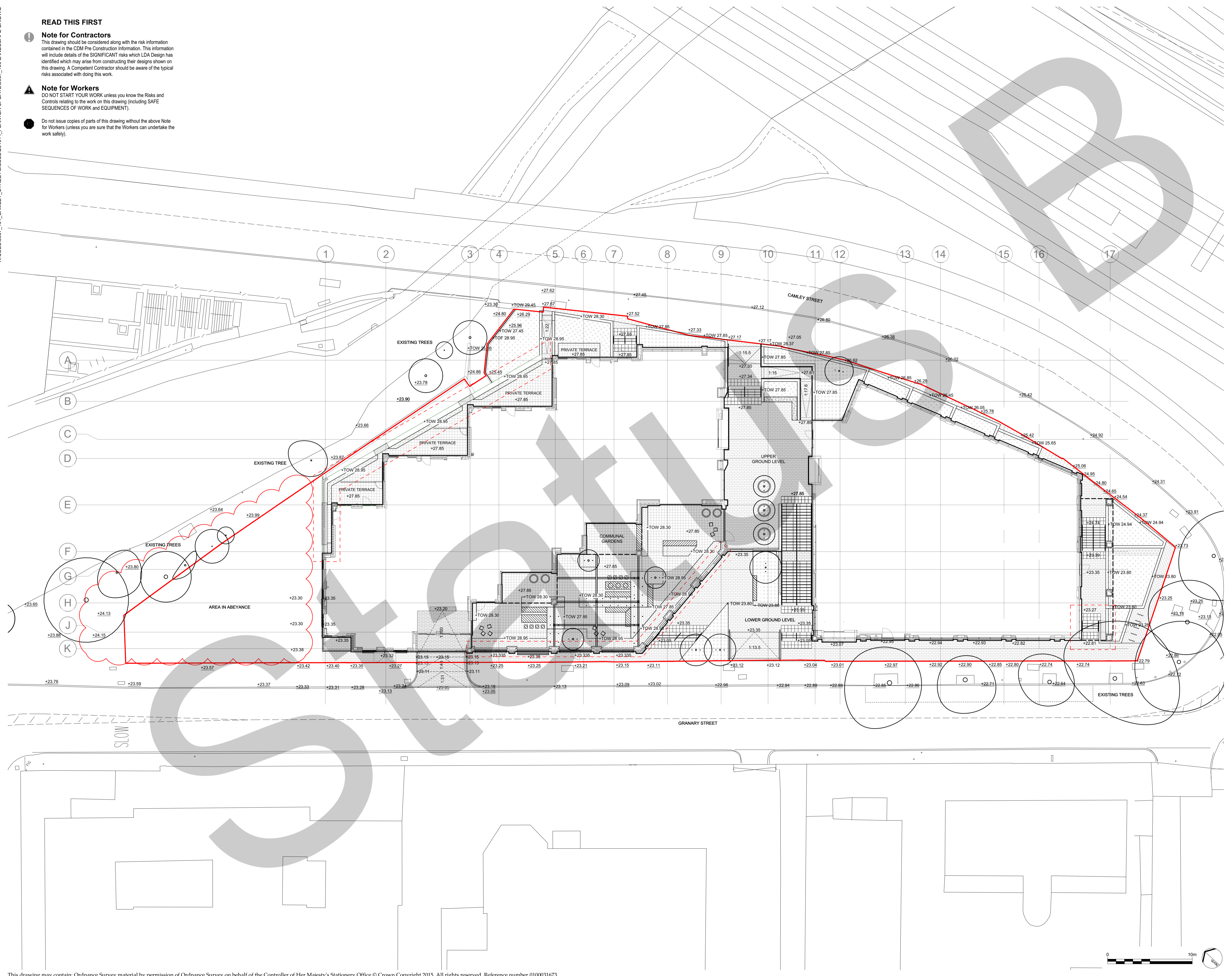
READ THIS FIRST

- Note for Contractors**
This drawing should be considered along with the risk information contained in the CDM Pre Construction Information. This information will include details of the SIGNIFICANT risks which LDA Design has identified which may arise from constructing their designs shown on this drawing. A Competent Contractor should be aware of the typical risks associated with doing this work.
- Note for Workers**
DO NOT START YOUR WORK unless you know the Risks and Controls relating to the work on this drawing (including SAFE SEQUENCES OF WORK and EQUIPMENT).
Do not issue copies of parts of this drawing without the above Note for Workers (unless you are sure that the Workers can undertake the work safely).

- LEGEND**
- This drawing is to be read in conjunction with all other drawings and specifications.
 - Do not scale off this drawing. Written dimensions to be taken only.
 - Any discrepancies found between this drawing and other drawings and specifications in the construction documents must be referred to the Landscape Architect prior to work commencing.
 - This drawing must not be copied in whole or in part without written consent of LDA design.
 - These drawings are for finishes only. All foundation, fixing, paving depths and drainage details to be provided by others.
 - All dimensions in mm unless otherwise stated.
 - Where dimension sizes of units are given they state length x width x depth.

- NOTES:**
- REFER TO GENERAL ARRANGEMENT LAYOUT AND REFERENCE PLANS DWG 5657_100 - 104
 - REFER TO HARDWORKS LAYOUT AND REFERENCE PLAN DWG 5657_200
 - REFER TO FURNITURE LAYOUT AND REFERENCE PLAN DWG 5657_300
 - REFER TO SOFTWORKS LAYOUT AND REFERENCE PLAN DWG 5657_400
 - REFER TO LIGHTING LAYOUT AND REFERENCE PLAN DWG 5657_500
 - TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECT'S EXTERNAL WORKS SPECIFICATION.
 - TO BE READ IN CONJUNCTION WITH ARCHITECT'S GA DRAWINGS 0010 SERIES

- SITE BOUNDARY
- GRANITE PAVING TO UPPER AND LOWER GROUND LEVELS
- GRANITE TEXTURED PAVING
- GRANITE TERRAZZO PAVING SLABS
- CONCRETE FLAG PAVING (TO MATCH EXISTING)
- SMOOTH ASPHALT SURFACING
- CORDUROY TACTILE PAVING TO TOP AND BOTTOM OF STEPS
- STEP UNITS
- CYCLE STAND
- GRANITE BENCH WITH RECESSED LIGHTING
- TIMBER BENCH
- GIANT FLOWERPOT PLANTER
- FLOWERPOT PLANTER
- PLANTING MIX - UPPER AND LOWER GROUND LEVELS
- PLANTING MIX - COMMUNAL GARDENS
- PLANTING MIX - WOODLAND BORDER
- CLIPPED HEDGE
- PROPOSED SPECIMEN TREE PLANTING
- EXISTING LEVELS
- PROPOSED LEVELS



O	North block terrace planter coordinated	AW	16/10/20
	Communal gardens planter coordinated with colonnade		
	Steps and paving raised		
N	Grassery St levels adjusted within red line only	AW	08/09/20
M	Update to planter and paving material around column	AW	17/01/19
L	Update to steps and ground levels around column	AW	13/01/20
K	Coordination with building entrance		
	Coordination with slab penetrations	AW	30/09/19
	Change to terrace paving and handrails spec		
	Bench to building entrance		
J	Coordination with architecture	AW	10/06/19
I	Planter extended to bottom of steps	AW	22/03/19
	Private terrace, external steps and planter wall		
	layout coordinated with architecture		
H	Construction issue, coordination with architecture	AW	21/01/19
G	Canal bridge removed	AW	17/01/19
F	Update to Camley St Entrance	AW	10/08/17
E	Update to southern raised planter layout	AW	03/08/17
D	Update Communal Gardens and Southern Steps	AW	27/07/17
C	Update Communal Gardens	AW	21/07/17
B	Update Communal Gardens	AW	27/05/17
A	Update to Marketing Suite	AW	16/05/17

LD A DESIGN

PROJECT TITLE
101 Camley Street

DRAWING TITLE
Stage 5: Construction
Landscape General Arrangement

ISSUED BY	Exeter	T: 01392 260 430	
DATE	Jan 2019	DRAWN	AW
SCALE/RAI	1:200	CHECKED	RA
STATUS	Construction	APPROVED	RA

DWG. NO 5657_100

No dimensions are to be scaled from this drawing. All dimensions are to be checked on site. Area measurements for indicative purposes only.

© LDA Design Consulting Ltd. Quality Assured to BS EN ISO 9001 : 2008
Sources: Ordnance Survey



APPENDIX 4 DETAILS OF REDUCED DIG FROM SITE

Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 1 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 2 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 3 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 4 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 5 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 6 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 7 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 8 of 10





101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 9 of 10



Site Remedial Services Ltd



101 CAMLEY STREET	EXCAVATION WORKS - PHOTOS	SRS/20/1455
	BULK DIG TO BASEMENT LEVEL AND CONCRETE POUR AT BASEMENT LEVEL	Page Number 10 of 10





APPENDIX 5 DETAILS OF WASTE DISPOSAL ACTIVITIES

For the sake of size of this report, a link to view or download the full waste carrier and disposal records such as waste transfer and consignment notes is provided below

<https://download.4projects.com?LinkID=7277f12c-9342-4a35-94df-381546773706>

Certificate of Registration under the Waste (England and Wales) Regulations 2011

Regulation authority

Name



Address

National Customer Service Centre
99 Parkway Avenue
Sheffield
S9 4WF

Telephone number

03708 506506

The Environment Agency certify that the following information is entered in the register which they maintain under regulation 28 of the Waste (England and Wales) Regulations 2011.

Carriers details

Name of registered carrier

GRS (ROADSTONE) LIMITED

Registered as

An upper tier waste carrier, broker and dealer

Registration number

CBDU85432

Address of place of business

G R S ROADSTONE LTD
GOLDSMITH WAY
NUNEATON
CV10 7RJ

Telephone number

02476 580866

Date of registration

18 March 2019

Expiry date of

registration (unless revoked)

2 April 2022

Making changes to your registration

Your registration will last 3 years and will need to be renewed after this period. If any of your details change, you must notify us within 28 days of the change.

You can do this by calling the Environment Agency.

Certificate of Registration under the Waste (England and Wales) Regulations 2011

Regulation authority

Name



Address

National Customer Service Centre
99 Parkway Avenue
Sheffield
S9 4WF

Telephone number

03708 506506

The Environment Agency certify that the following information is entered in the register which they maintain under regulation 28 of the Waste (England and Wales) Regulations 2011.

Carriers details

Name of registered carrier

Ground Construction Ltd.

Registered as

An upper tier waste carrier and dealer

Registration number

CBDU110619

Address of place of business

GROUND CONSTRUCTION LTD
LITTLE BURROW
WELWYN GARDEN CITY
AL7 4SP

Telephone number

02082387051

Date of registration

1 May 2019

Expiry date of

registration (unless revoked)

1 June 2022

Making changes to your registration

Your registration will last 3 years and will need to be renewed after this period. If any of your details change, you must notify us within 28 days of the change.



GCL-WASTE HAULAGE SPREADSHEET (2017-2018)

101 Camley Street - St Kings Cross, Camden, NW1 0NF

<u>Dates</u>	<u>Haulier</u>	<u>Landfill site/Transfer Facility</u>	<u>Permit Number</u>	<u>Inert Soil</u> Per Load	<u>Inert (Non Haz)</u> Per Load	<u>Concrete Away</u> Per Load
13/09/2017 - 12/10/2017	GRS	Veolia ES Cleanaway, Coldharbour Lane, Rainham, Essex, RM13 9DA	JP3039SU	264		
13/09/2017 - 19/02/2018	GCL GRS	East Tilbury Quarry, Princess Margaret Road, Essex, RM18 8PH	EPR/SP3439LE	4 512		
15/09/2017 - 08/02/2018	GCL	Camden Plant, Lower Hall Lane, Chingford, London, E4 8JG	WML80355			39
15/09/2017 - 13/10/17	GCL	Harper Lane Quarry, Harper Lane, Radlett, WD7 7HX	EPR/FB3139AU			20
13/10/2017 - 24/11/2017	GCL	Cheshunt Football Club, Theobalds Lane, Cheshunt, EN8 8RU	EPR/AB3908MQ/A001	24		
25/10/2017 - 16/11/2017	GRS Erith	RMS Silvertown, Bradfield Road, London, E16 2AX	EPR/KB3136AM			5 1
30/10/2017 - 20/12/2017	GRS	Veolia Pitsea, Pitsea Hall Lane, Basildon, Essex, SS16 4UH	BW2889IY	224		
29/11/2017 - 23/02/2018	GRS GCL	Frog Island, Ferry Lane South, Rainham, Essex, RM13 9JY	EPR/EB3004CE			23 2
30/01/2018 - 13/02/2018	GRS GCL	Bluelands Quarry, Stonehouse Lane, Purfleet, Essex, RM19 1TD	EPR/HP3193MW	530 20		
06/02/2018 - 06/02/2018	GCL	Brett's Hithermoor Quarry, Stanwell, Surrey, TW19 6AX	EPR/AB3006CE		4	
08/02/2018 - 08/02/2018	GCL	Cappagh Kingsmead Landfill, Stanwell Road, Horton, Slough, SL3 9PA	EPR/EB3505XP			
05/03/2018 - 25/06/2018	Erith	Land Logical, Stonepit 1, Cotton Lane, Dartford, DA9 9ED	EPR/BB3906MD	790		
07/03/2018 - 24/04/2018	Erith	Mardyke Farm, South Dagenham Road, South Hornchurch, Essex, RM13 7RS	EPR/QP3196NT			34
12/03/2018-12/03/2018	Erith	SRC Muckit Recycling, Barking Road, Barking, IG11 0DS	EPR/EB3403CY	6		
25/04/2018 - 23/05/2018	Erith	Washmills Recycling Centre, Watling Street, Dartford, Kent, DA2 8AH	EPR/DB3006CA			3
TOTALS:				2374 loads	4 loads	127 loads

Certificate of Registration under the Waste (England and Wales) Regulations 2011

Regulation authority

Name



Address

National Customer Service Centre
99 Parkway Avenue
Sheffield
S9 4WF

Telephone number

03708 506506

The Environment Agency certify that the following information is entered in the register which they maintain under regulation 28 of the Waste (England and Wales) Regulations 2011.

Carriers details

Name of registered carrier

ERITH HAULAGE CO LTD

Registered as

An upper tier waste carrier, broker and dealer

Registration number

CBDU90358

Address of place of business

ERITH
MANOR ROAD
ERITH
DA8 2AW

Telephone number

03709508800

Date of registration

11 March 2019

Expiry date of registration (unless revoked)

4 April 2022

Making changes to your registration

Your registration will last 3 years and will need to be renewed after this period. If any of your details change, you must notify us within 28 days of the change.

You can do this by calling the Environment Agency.



APPENDIX 6 GAS PROTECTION SYSTEM



Project: 101 Camley Street

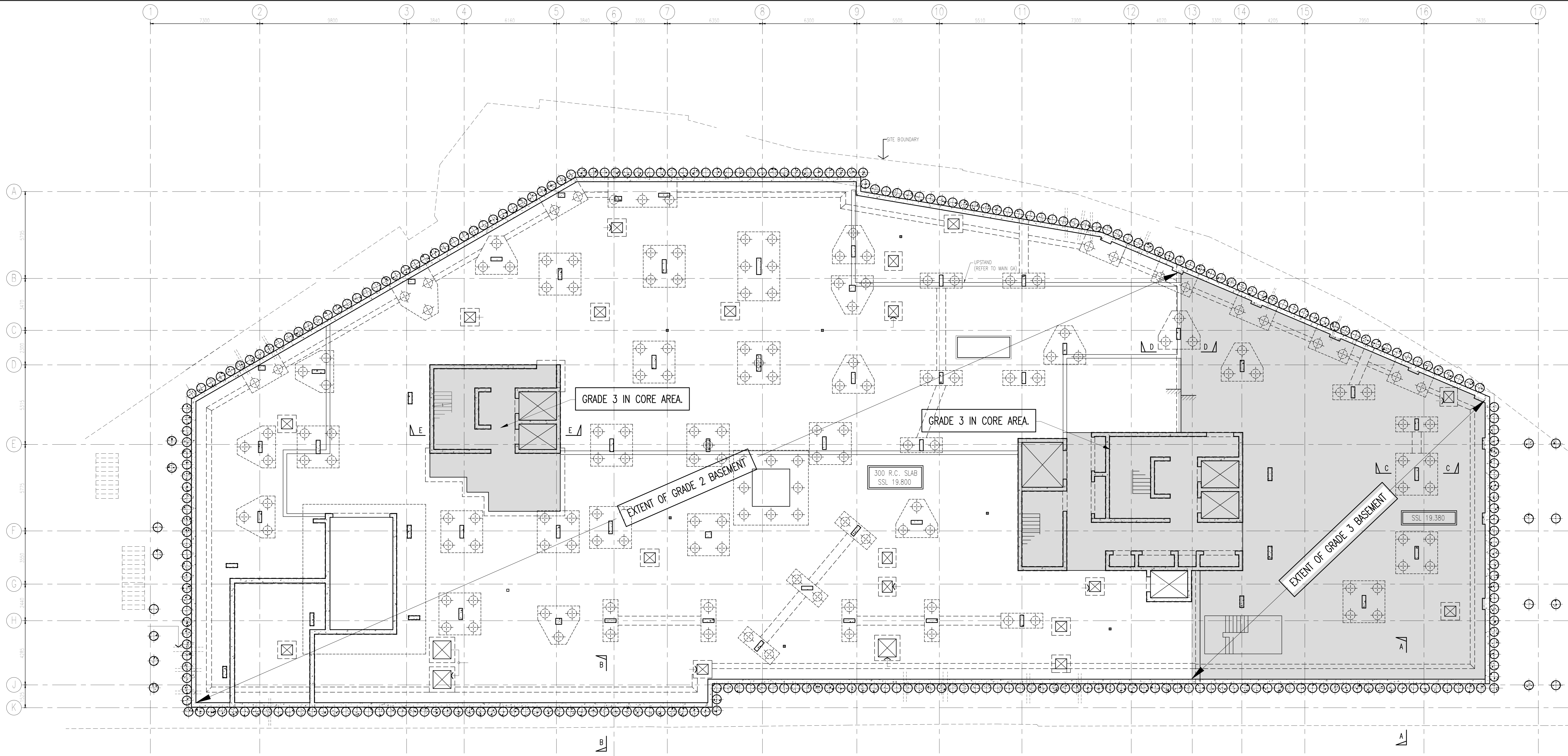
Document Type: Warranty & Guarantee

Document Name: Sika Warranties

Date of Issue: 19th August 2019

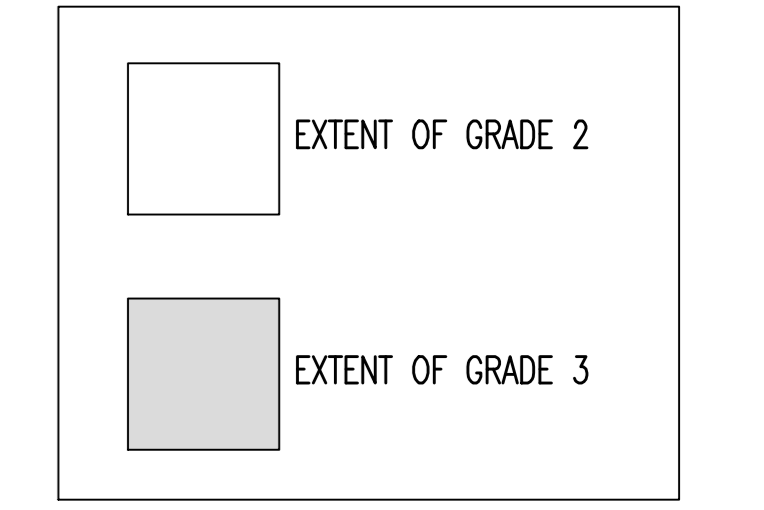
Revision Number: C01

Revision no.	Date	Description
C01	19/08/2019	Issued for Information



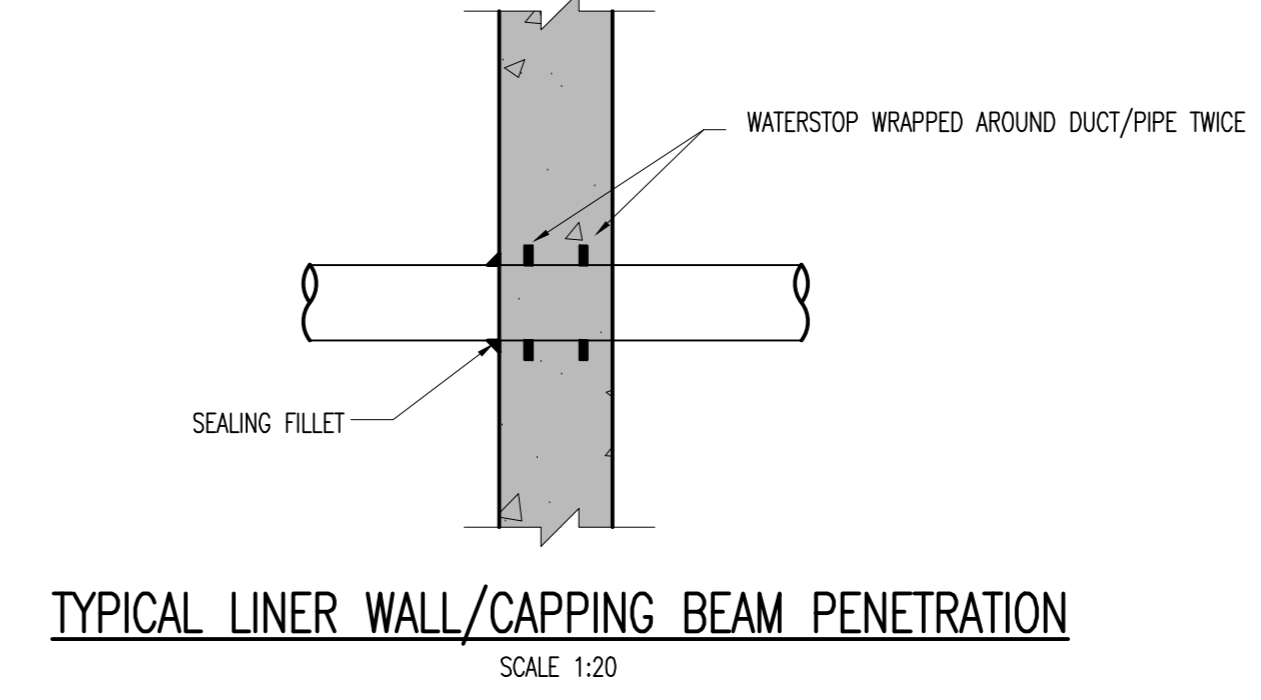
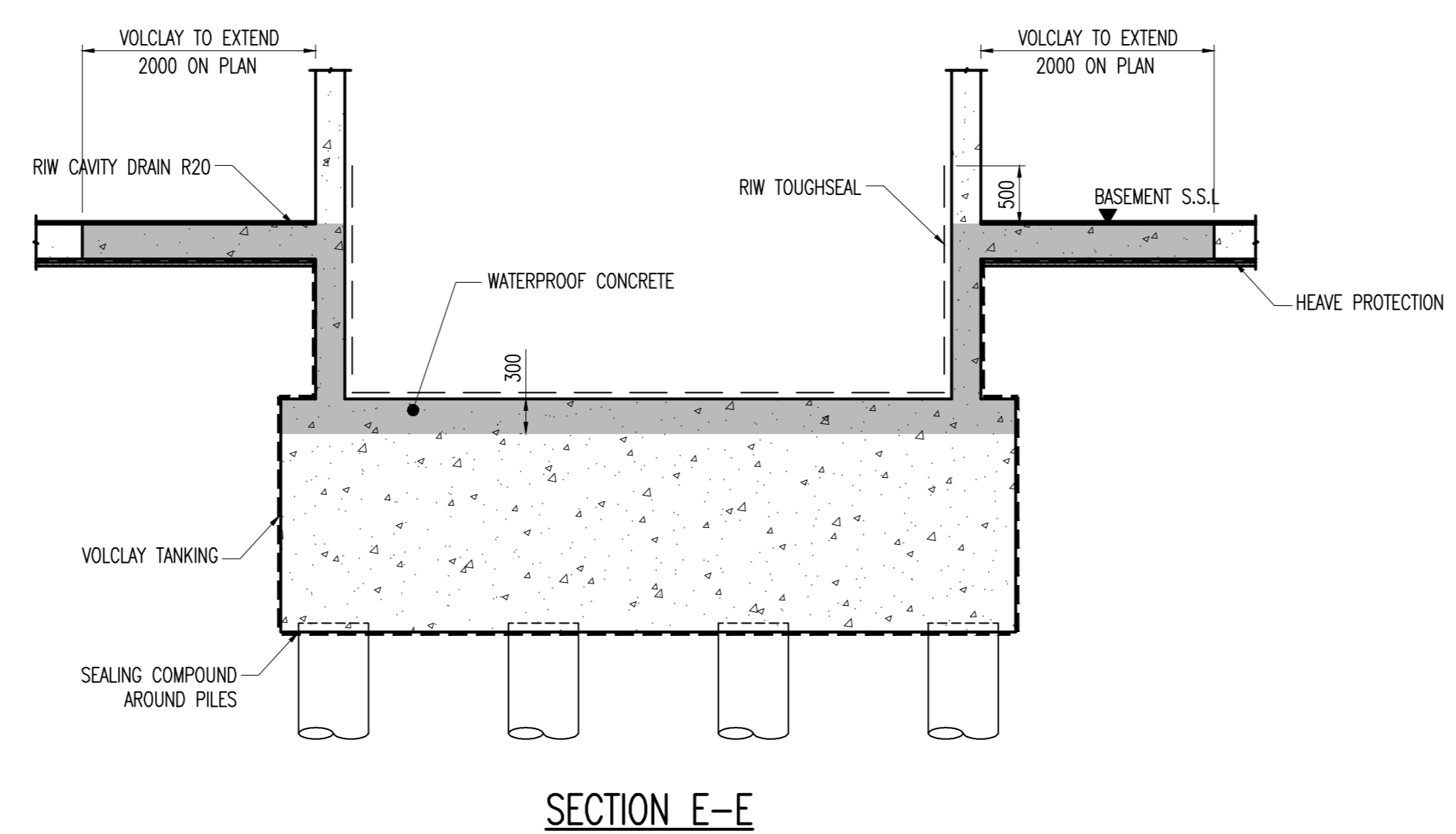
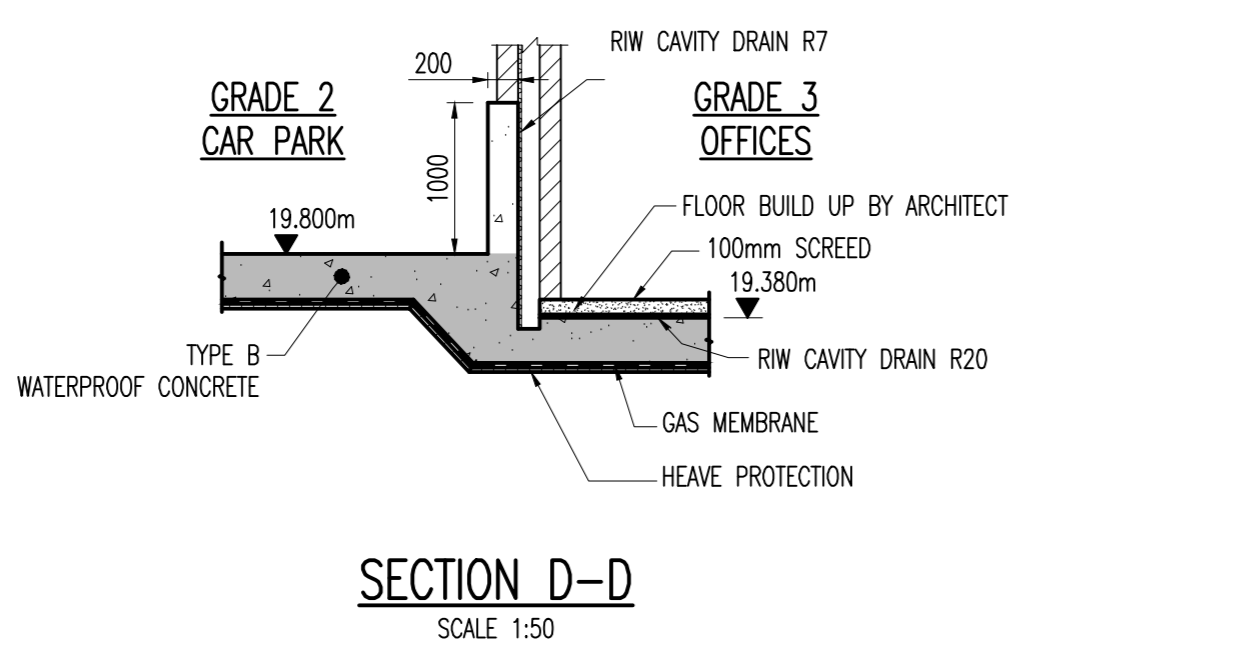
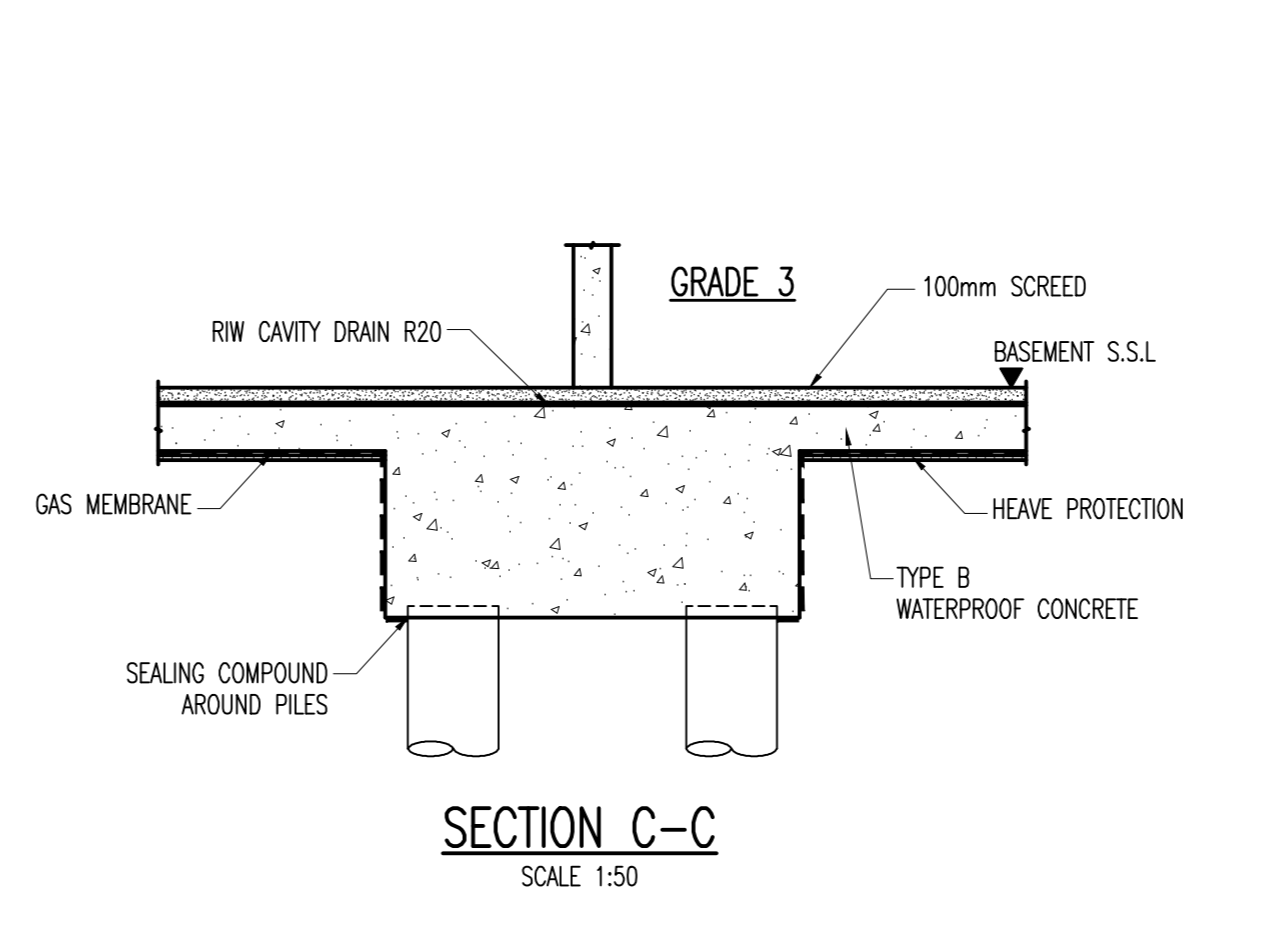
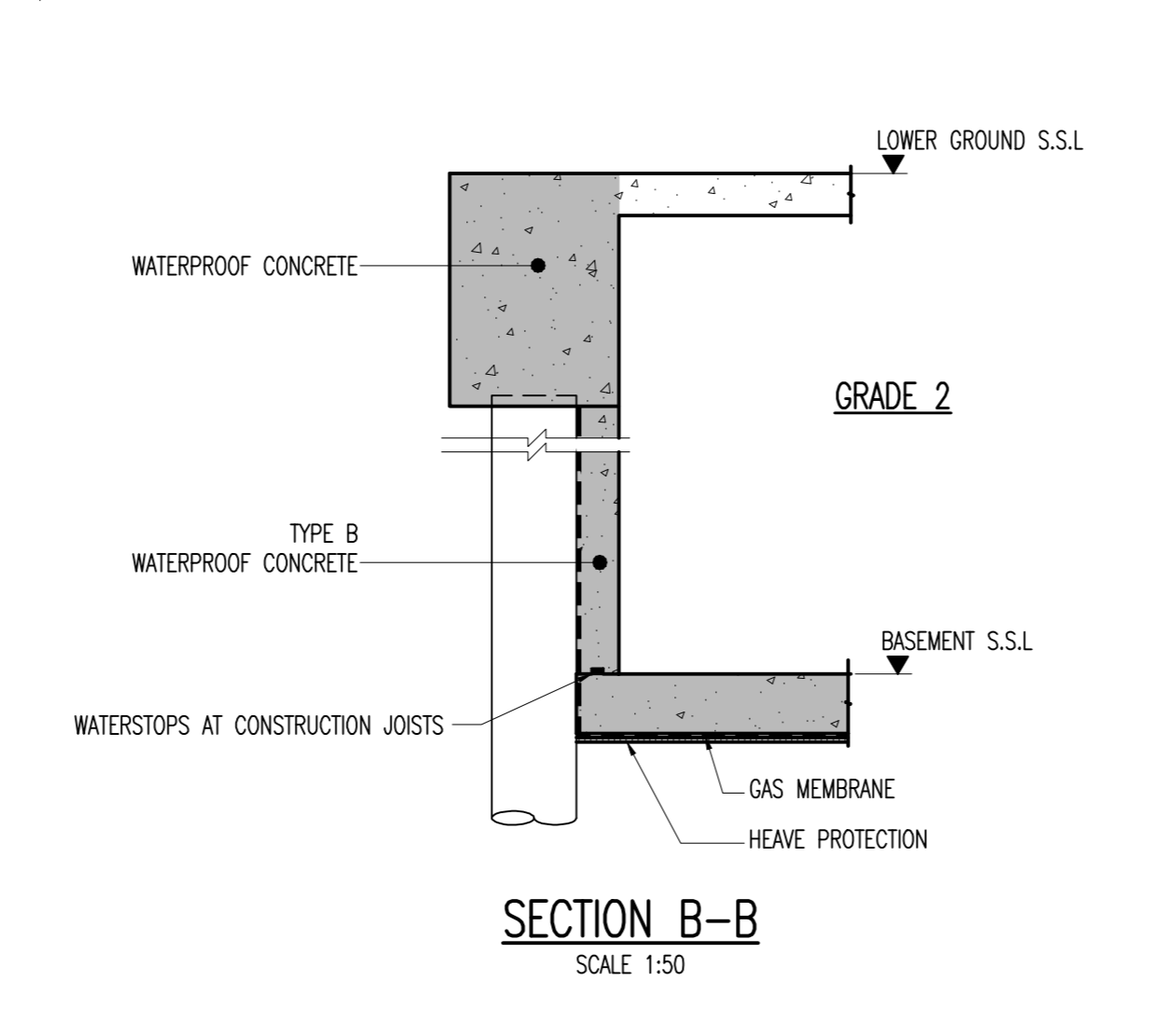
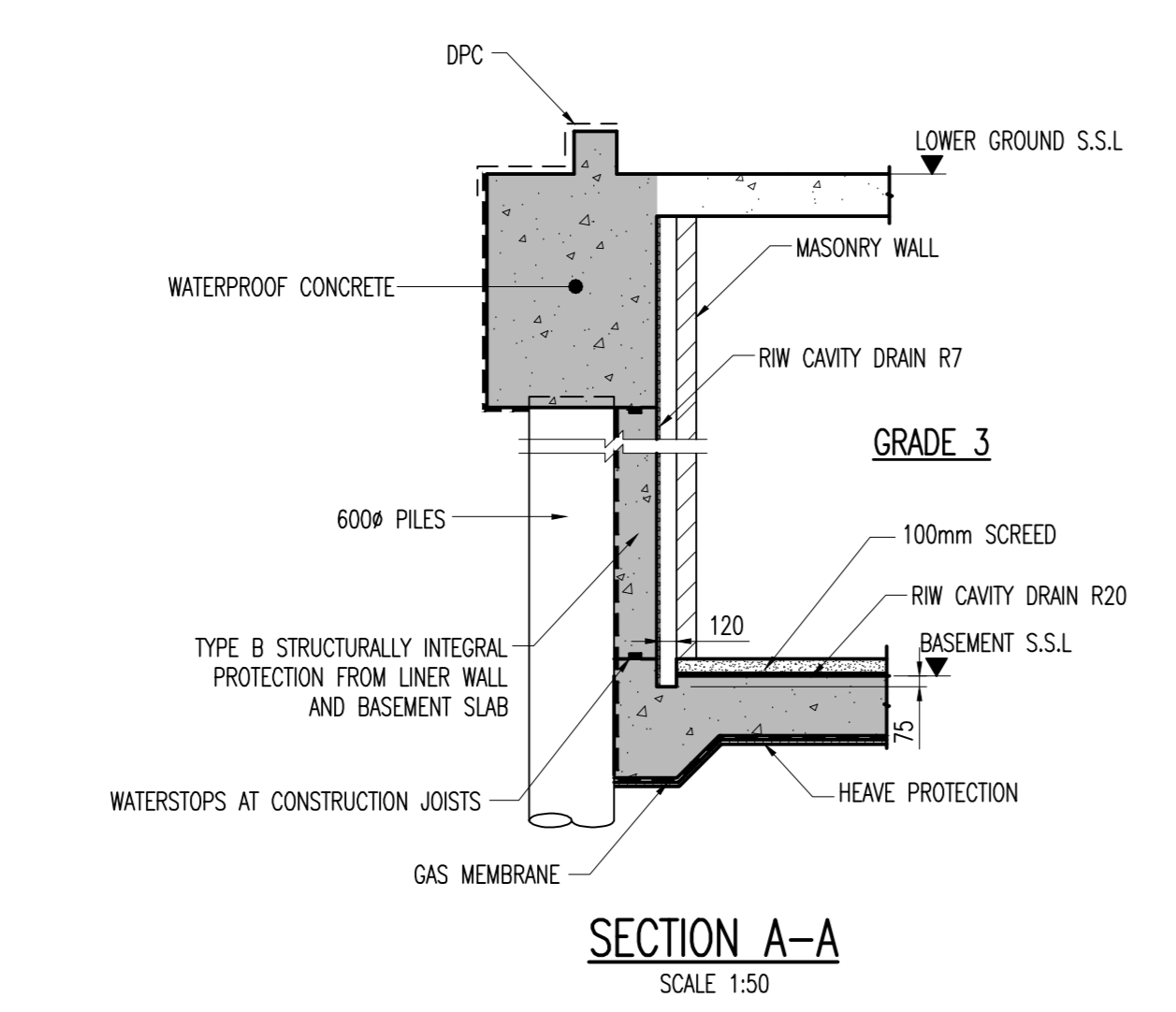
Notes
 1. ALL DIMENSIONS ARE IN MILLIMETRES AND LEVELS IN METRES.
 2. THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT ARCHITECT'S AND ENGINEER'S DRAWINGS AND SPECIFICATIONS.
 3. THIS DRAWING HAS BEEN PRODUCED ELECTRONICALLY AND MAY HAVE BEEN PHOTO REDUCED OR ENLARGED WHEN COPIED. HENCE, DO NOT RELY ON ANY SCALES QUOTED. WORK ONLY TO FIGURED DIMENSIONS (DO NOT SCALE). ALL DIMENSIONS TO BE CHECKED ON SITE. ANY ERRORS OR OMISSIONS TO BE REPORTED TO THE ENGINEER IMMEDIATELY.

C.D.M.
SIGNIFICANT RISKS AND HAZARDS:
KEY DESIGN DECISIONS TO REDUCE OR ELIMINATE HAZARDS:



	CRITERIA	PROTECTION
WATERPROOFING STRATEGY	GRADE 3 BASEMENT	TYPE C DRAINAGE SYSTEM + TYPE B STRUCTURALLY INTEGRAL PROTECTION
	GRADE 2 BASEMENT	TYPE B STRUCTURALLY INTEGRAL PROTECTION
GAS PROTECTION	CHARACTERISTIC SITUATION 2	GAS MEMBRANE

NOTE: DETAILS IN THIS DRAWING OUTLINE THE WATERPROOFING STRATEGY. FINALISED DETAILS ARE BY SPECIALIST CONTRACTOR.



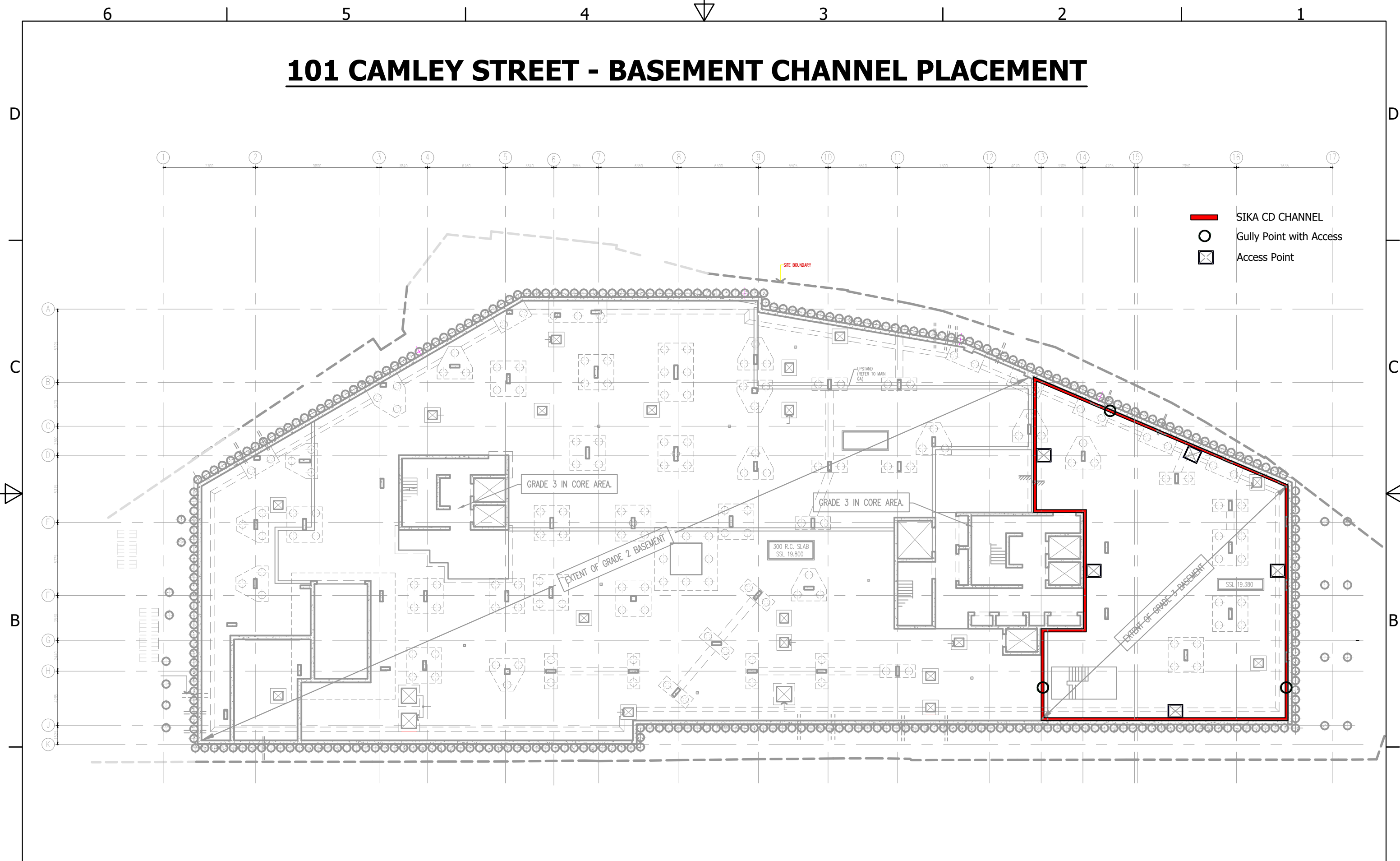
T1	07.07.17	TAC	STAGE 4 ISSUE
P2	30.03.17	AK	PRELIMINARY ISSUE
P1	22.12.16	TAC	FIRST ISSUE
Rev	Date	By	Details Of Revisions

Client
STANLEY SIDINGS LIMITED
 Project
101 CAMLEY STREET
 Title
BASEMENT WATERPROOFING STRATEGY



STAGE 4			
Drawn	TAC	AD Scale	1:100, 1:50
Date	DEC '16	Eng	MB
File No:		Chk:	Appr:
ACTUAL DIMENSIONS - 80mm			
Drawing No:	4491-621		Rev: T1

101 CAMLEY STREET - BASEMENT CHANNEL PLACEMENT



- SIKA CD CHANNEL
- Gully Point with Access
- ⊠ Access Point

<p>The information contained herein and any other advice are given in good faith based on Sika's current knowledge and experience of the products when properly stored, handled and applied under normal conditions in accordance with Sika's recommendations. The information only applies to the application(s) and product(s) expressly referred to herein and is based on laboratory tests which do not replace practical tests. In case of changes in the parameters of the application, such as changes in substrates etc., or in case of a different application, consult Sika's Technical Service prior to using Sika products. The information contained herein does not relieve the user of the products from testing them for the intended application and purpose. All orders are accepted subject to our current terms of sale and delivery. Users must always refer to the most recent issue of the local Product Data Sheet for the product concerned, copies of which will be supplied on request.</p>	<p>ALL DIMENSIONS ARE IN MM UNLESS STATED DO NOT SCALE FROM DRAWING</p>	<p>THIS DRAWING IS THE CONFIDENTIAL PROPERTY OF SIKA LIMITED AND MUST NOT BE REPRODUCED EITHER WHOLLY OR PARTLY. ALL RIGHTS IN RESPECT OF PATENTS, DESIGN AND COPYRIGHTS ARE RESERVED. SIKA LTD. WWW.SIKA.CO.UK</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: small;">Drawn by</td> <td style="font-size: small;">Checked by</td> <td style="font-size: small;">Approved by</td> <td style="font-size: small;">Date</td> </tr> <tr> <td style="text-align: center;"><i>A. O'Ferrall</i></td> <td style="text-align: center;"><i>D. Cliff</i></td> <td style="text-align: center;"><i>A. Burman</i></td> <td style="text-align: center;">27/02/18</td> </tr> <tr> <td colspan="2" style="font-size: small;">Description</td> <td colspan="2" style="text-align: center;">101 CAMLEY STREET- BASEMENT CHANNEL PLACEMENT</td> </tr> <tr> <td style="font-size: small;">Drawing No.</td> <td style="font-size: small;">Issue</td> <td colspan="2" style="font-size: small;">Sheet</td> </tr> <tr> <td style="text-align: center;">CAMLEY17</td> <td style="text-align: center;">E</td> <td colspan="2" style="text-align: center;">1 / 1</td> </tr> </table>	Drawn by	Checked by	Approved by	Date	<i>A. O'Ferrall</i>	<i>D. Cliff</i>	<i>A. Burman</i>	27/02/18	Description		101 CAMLEY STREET- BASEMENT CHANNEL PLACEMENT		Drawing No.	Issue	Sheet		CAMLEY17	E	1 / 1	
Drawn by	Checked by	Approved by	Date																					
<i>A. O'Ferrall</i>	<i>D. Cliff</i>	<i>A. Burman</i>	27/02/18																					
Description		101 CAMLEY STREET- BASEMENT CHANNEL PLACEMENT																						
Drawing No.	Issue	Sheet																						
CAMLEY17	E	1 / 1																						

SIKA STRUCTURAL WATERTIGHT GUARANTEE (15 Years)

Guarantee No:	31780	Sika Specification Reference:	DCI-2017-034
Start date:	21st May 2019	Guarantee period:	15 years from the Start date
The Works:	101 Camley Street, London NW1 0NF (BS8102:2009 Grade 2 System) Car Park - Unshaded Area Sika Detail CAMLEY07.D		
The Owner:	The Owner of the structure of which the Works form part		
Sika-Products:	Our below ground waterproofing products as specified and used by you in the Works		
Installing Contractor:	Ginn Construction Ltd		
Waterproofing Area:	Watertight Concrete 300m ³		

1. Contractual Background

- Sika Limited, Watchmead, Welwyn Garden City, Herts AL7 1BQ is the manufacturer and supplier of the Sika Structural Watertight Concrete System for production of impermeable structural concrete.
- This Guarantee is granted for the benefit of the Owner and may be transferred to subsequent Owners of the structure.
- Sika Watertight Concrete System can comprise of: Sika Watertight Concrete Powder, or WT200P, or Sika-T+ (in conjunction with Sika high range water reducing admixtures). Each of which when used is added to the concrete mix.

2. Design

We confirm that Sika Watertight Concrete will perform in structural concrete for Type B construction as described in BS 8102:2009, the structural concrete element is to be designed in accordance with the flexural and thermal crack limitations of 0.3 mm as stated in BS EN 1992 Eurocode 2, or the limitations of 0.2 mm as stated in BS 8007 when carried out in accordance with the BBA Certificate (Certificate no 08/4566) and the current technical data sheets.

3. Sika Limited agree to the remedies herein set out if there is visible water permeation through the Sika-Products during the period of fifteen (15) years from the date of effective completion of the installation of the Sika-Products, save as expressly excluded and in any event subject strictly to the conditions as laid out herein.

4. Exclusions

This guarantee excludes the penetration of water...

- through cracks caused by design failure or overloading of the structure; or
- through expansion joints; or
- at any point where the designed thickness of the concrete has been reduced; or
- through honeycombing and/or voids made as a result of poor compaction of the Sika Structural Watertight Concrete System concrete or leaking formwork; or
- through concrete that has been disturbed or ramped with; or
- through concrete that does not conform to current British Standards; or
- through cracks in podium or suspended slabs.

This guarantee excludes liability for damage to, or failure of the Sika Structural Watertight Concrete System waterproofing caused by:

- Incorrect application; or
- poor workmanship including but not limited to the failure of the Contractor to ensure that the total cementitious content in the Sika Structural Watertight Concrete System concrete is no less than 350kgs per cubic metre; or
- fire, explosion, vibration, structural movement outside the design requirements of BS EN 1992 Eurocode 2; or
- lightning, thunderbolt, earthquake, riot, civil commotion, strikes or labour disturbances.

This Guarantee excludes any damage arising by reason of the failure of any Contractor engaged with the Works or their suppliers, to comply with the main specifications tendered on, and the detailed specifications, recommended joint and projection details, terms and conditions as set out by Sika Limited for the use of the Sika Structural Watertight Concrete System.

Nothing in this guarantee shall have effect to exclude or limit any liability the exclusion or limitation of which is forbidden by law.

Save as expressly stated herein, Sika shall not be liable in connection with the Sika-Products for the Building, for any loss of income, loss of actual or anticipated profits, loss of business, loss of contracts, loss of goodwill or reputation, loss of business, loss of anticipated savings or indirect or consequential loss or damage of any kind, in each case howsoever arising, whether such loss or damage was foreseeable or in the contemplation of the parties and whether arising in or caused by breach of contract, tort (including negligence), breach of statutory duty or otherwise.

5. **Conditions**
- Sika Limited shall be notified in writing of any non-performance of the Sika Structural Watertight Concrete System and the area of non-performance within 14 days after such non-performance shall have come to the knowledge of the Client or his representative having supervision of the Sika Structural Watertight Concrete System concrete works.
 - This Guarantee is conditional on the Sika Structural Watertight Concrete System having been properly maintained in accordance with Sika's recommendations with the required services of a Sika trained or authorised applicator.
6. **Remedies**
- Sika Limited's liability for any non-performance of the Sika Structural Watertight Concrete System when the Sika Structural Watertight Concrete System works conform to paragraph 2.1, shall not in any event exceed (the sale value of the Sika Structural Watertight Concrete System products supplied by Sika Limited, used in constructing the particular structure and paid for by its direct customer), and is strictly limited only to the direct cost of repairs to or rectification of the Sika Structural Watertight Concrete System concrete structure through which visible water is permeating.
 - Remedial work, if necessary, will be carried out by and at the expense of Sika Limited, in a manner as may be directed by this Company or our nominee as soon as practicable after advice of any non-performance of the Sika Structural Watertight Concrete System has been received. The performance of such repairs will be considered by the Company to be included under this Guarantee.
7. This Guarantee may be assigned. Each assignment becomes effective on the date of notice being given to Sika, stating name and address of the assignee.
8. This Guarantee is governed by English law and the parties submit to the exclusive jurisdiction of the English courts to resolve any disputes arising out of or in connection with this Guarantee.
9. The parties to this Guarantee do not intend that any term of this Guarantee may be relied upon or shall be enforceable by virtue of the Contracts (Rights of Third Parties) Act 1999 or otherwise by any person who is not a party to this Guarantee or expressly stated to enjoy the benefit of it.

Date: 14th August 2019

Signed for
Sika Limited



Steve Annfield
Product Manager - Waterproofing
Concrete and Waterproofing

Date: 14th August 2019



Lee Sleight
Target Market Manager
Concrete and Waterproofing

SIKA DUAL SYSTEM GUARANTEE FOR WATERTIGHT STRUCTURAL CONCRETE AND SIKAPROOF (20 Years)

Guarantee No:	31783	Sika Specification Reference:	DCL-2017-034
Start date:	21st May 2019	Guarantee period:	20 years from the Start date
The Works:	101 Camley Street, London W11 0NF (BS8102:2009 Grade 3 System) Plant Area - Shaded Area Sika Detail CAMLEY07.D		
The Owner:	The Owner of the structure of which the Works form part		
Sika-Products:	Our below ground waterproofing products as specified and used by you in the Works		
Installing Contractor:	Ground Constructive Ltd		
Waterproofing Area:	Watertight Concrete 600m ³ , SikaProof 525m ²		

1. Contractual Background

- Sika Limited, Waltham, Welwyn Garden City, Herts AL7 1BQ is the manufacturer and supplier of the Dual System for production of watertight structural concrete used in conjunction with a SikaProof fully bonded membrane.
- This Guarantee is granted for the benefit of Owner and may be transferred to subsequent Owners of the structure.
- Sika Watertight Concrete System can comprise of: Sika Watertight Concrete Powder, or WT200P, or Sika-1+ (in conjunction with Sika high range water reducing admixtures). Each of which when used is added to the concrete mix.

2. Design

This guarantee will only apply if:

- the Sika Structural Watertight Concrete element is used in structural concrete for Type B construction as described in BS 8102:2009, the structural concrete element is to be designed in accordance with the flexural and thermal crack limitations of 0.3mm as stated in BS EN 1992 Eurocode 2, or the limitations of 0.2 mm as stated in BS 8007, when carried out in accordance with the BBA Certificate (Certificate no 08/4606) and the current technical data sheets; and
- the SikaProof membrane is installed and detailed correctly in accordance with the Standard Details and Application Guide issued by Sika Limited and any specific project advice given by Sika Technical personnel and in accordance with the BBA Certificate (Certificate 13/5075).
- the SikaProof® membrane is installed by a contractor approved by Sika Limited, having received the appropriate training.

3.

- Sika Limited agree to the remedies herein set out if there is visible water permeation through the Dual System in which the Sika Structural Watertight Concrete is properly compacted during the period of twenty (20) years from the date of effective completion of the Dual System concrete structure, save as expressly excluded and in any event subject strictly to the conditions as laid out herein.
- Sika Limited agree to the remedies herein set out if there is permeation of Carbon Dioxide or Methane in such quantities as causes levels of the gas inside the structure to exceed the specified design levels through the system in which SikaProof membranes A-08 or A-17 are installed as part of a designed gas protection system meeting the requirements of BS4485:2015, installed to reasonable levels of workmanship, in line with current good practices with integrity testing and independent validation, during the period of twenty (20) years from the date of effective completion of the system concrete structure, save as expressly excluded and in any event subject strictly to the conditions as laid out herein.

4. Exclusions

This guarantee excludes the penetration of water or gas:

- through cracks caused by design failure or overloading of the structure; or
- through expansion joints; or
- at any point where the designed thickness of the concrete has been reduced; or
- through honeycombing and/or voids made as a result of poor compaction of the Sika Structural Watertight Concrete element in the Dual System concrete or leaking formwork; or
- through concrete that has been disturbed or tampered with; or
- through concrete that does not conform to current British Standards; or
- through cracks in podium or suspended slabs; or
- through the internal annulus of service ducts that penetrate the concrete construction and have not been provided with an internal gas tight seal.

This Guarantee excludes liability for damage to, or failure of the Sika waterproofing system caused by:-

- incorrect application; or
- poor workmanship including but not limited to the failure of the Contractor to ensure that the total cementitious content in the Sika Structural Watertight Concrete System concrete is no less than 350kgs per cubic metre; or
- Fire, explosion, vibration, structural movement outside the design requirements of BS EN 1992 Eurocode 2; or
- lightning, thunderbolt, earthquake, riot, civil commotion, strikes or labour disturbances; or
- failure of other gas protection measures designed as part of the gas protection system; or
- failure to correctly assess the site characteristic situation in accordance with BS8495: 2015.

This Guarantee excludes any damage arising by reason of the failure of any Contractor engaged with the Works or their suppliers, to comply with the main specifications tendered or, and the detailed specifications, recommended joint and projection details, terms and conditions as set out by Sika Limited for the use of the Sika Structural Watertight Concrete System.

Nothing in this guarantee shall have effect to exclude or limit any liability the exclusion or limitation of which is forbidden by law.

Save as expressly stated herein, Sika shall not be liable in connection with the Sika-Products for the Building, for any loss of income, loss of actual or anticipated profits, loss of business, loss of contracts, loss of goodwill or reputation, loss of business, loss of anticipated savings or indirect or consequential loss or damage of any kind, in each case howsoever arising, whether such loss or damage was foreseeable or in the contemplation of the parties and whether arising in or caused by breach of contract, tort (including negligence), breach of statutory duty or otherwise.

5. Conditions

- Sika Limited shall be notified in writing of any non-performance of the Dual System and the area of non-performance within 14 days after such non-performance shall have come to the knowledge of the Client or its representative having supervision of the Dual System concrete works.

6. Remedies

- Sika Limited's liability for any non-performance of the Dual System under this guarantee shall not in any event exceed the sale value of the Dual System products supplied by Sika Limited, used in constructing the particular structure and paid for by its direct customer, and is strictly limited only to the direct cost of repairs to, or rectification of the Dual System concrete structure through which visible water is permeating
- Remedial work, if necessary, will be carried out by and at the expense of Sika Limited, in a manner as may be directed by Sika or our nominee as soon as practicable after advice of any non-performance of the Dual System has been received. The performance of such repairs will be considered by Sika to be included under this Guarantee.

7. This Guarantee may be assigned. Each assignment becomes effective on the date of notice being given to Sika, stating name and address of the assignee.
8. This Guarantee is governed by English law and the parties submit to the exclusive jurisdiction of the English courts to resolve any disputes arising out of or in connection with this Guarantee.
9. The parties to this Guarantee do not intend that any term of this Guarantee may be relied upon or shall be enforceable by virtue of the Contracts (Rights of Third Parties) Act 1999 or otherwise by any person who is not a party to this Guarantee or expressly stated to enjoy the benefit of it.

Date: 14th August 2019

Signed for
Sika Limited



Steve Armfield
Product Manager - Waterproofing
Concrete and Waterproofing

Date: 14th August 2019



Lee Slight
Target Market Manager
Concrete and Waterproofing

SIKA TRIPLE SYSTEM GUARANTEE FOR WATERTIGHT STRUCTURAL CONCRETE, SIKAPROOF AND CAVITY DRAINAGE (25 Years)

Guarantee No:	31782	Sika Specification Reference:	DCI-2017-034
Start date:	21st May 2019	Guarantee period:	25 years from the Start date
The Works:	101 Camley Street, London NW1 0NF (BS8102:2009 Grade 3 System) - Habitable Areas - Area bounded by red line Sika Detail CAMLEY17.E		
The Owner:	The Owner of the structure of which the Works form part		
Sika-Products:	Our below ground waterproofing products as specified and used by you in the Works		
Installing Contractor:	Ground Construction Ltd		
Waterproofing Area:	Watertight Concrete Powder 300m ³ , SikaProof 175m ² , Cavity Drain 250m ²		

1. Contractual Background

- Sika Limited, Watnhead, Welwyn Garden City, Herts AL7 1BQ is the manufacturer and supplier of the Triple System for production of watertight structural concrete used in conjunction with a SikaProof fully bonded membrane and Sika Cavity Drainage
- This Guarantee is granted for the benefit of Owner and may be transferred to subsequent Owners of the structure.
- Sika Watertight Concrete System can comprise of: Sika Watertight Concrete Powder, or WT200P, or Sika-1* (in conjunction with Sika high range water reducing admixtures). Each of which when used as added to the concrete mix.

2. Design

This guarantee will only apply if:

- the Sika Structural Watertight Concrete element is used in structural concrete for Type B construction as described in BS 8102:2009, the structural concrete element is to be designed in accordance with the flexural and thermal crack limitations of 0.3mm as stated in BS EN 1992 Eurocode 2, or the limitations of 0.2 mm as stated in BS 8007, when carried out in accordance with the BBA Certificate (Certificate no 08/4606) and the current technical data sheets; and
- the SikaProof membrane is installed and detailed correctly in accordance with the Standard Details and Application Guide issued by Sika Limited and any specific project advice given by Sika Technical personnel and in accordance with the BBA Certificate (Certificate 13/5075).
- the SikaProof™ membrane is installed by a contractor approved by Sika Limited, having received the appropriate training.
- the Sika Cavity Drain system is installed and detailed correctly in accordance with the Standard Details and Application Guide issued by Sika Limited and any specific project advice given by Sika Technical personnel and in accordance with the BBA Certificate (Certificate no 05/4260).

3. Guarantees

- Sika Limited agree to the remedies herein set out if there is visible water permeation through the Triple System (in which the Sika Structural Watertight Concrete is properly compacted during the period of twenty five (25) years from the date of effective completion of the Triple System concrete structure, save as expressly excluded and in any event subject strictly to the conditions as laid out herein.
- Sika Limited agree to the remedies herein set out if there is permeation of Carbon Dioxide or Methane in such quantities as causes levels of the gas inside the structure to exceed the specified design levels through the system in which SikaProof membranes A-08 or A-12 are installed as part of a designed gas protection system meeting the requirements of BS8485:2015, installed to reasonable levels of workmanship, in line with current good practices with integrity testing and independent validation, during the period of twenty-five (25) years from the date of effective completion of the system concrete structure, save as expressly excluded and in any event subject strictly to the conditions as laid out herein.

4. Exclusions

This guarantee excludes the penetration of water or gas,

- through cracks caused by design failure or overloading of the structure; or
- through expansion joints; or
- at any point where the designed thickness of the concrete has been reduced; or
- through honeycombing and/or voids made as a result of poor compaction of the Sika Structural Watertight Concrete element in the Triple System concrete or leaking formwork; or
- through concrete that has been disturbed or tampered with; or
- through concrete that does not conform to current British Standards; or

- through cracks in podium or suspended slabs; or
- through the internal annulus of service ducts that penetrate the concrete construction and have not been provided with an internal gas tight seal; or
- defective design or maintenance of the water management system; or
- all mechanical and electrical equipment associated with the Sika Cavity Drainage System; or
- failure of other gas protection measures designed as part of the gas protection system; or
- failure to correctly assess the site characteristic situation in accordance with BS 8485:2015.

This guarantee excludes liability for damage to, or failure of the Sika waterproofing system caused by:-

- incorrect application or installation; or
- poor workmanship including but not limited to the failure of the Contractor to ensure that the total cementitious content in the Sika Structural Watertight Concrete System concrete is no less than 350kgs per cubic metre; or
- fire, explosion, vibration, structural movement outside the design requirements of BS EN 1992 Eurocode 2; or
- lightning, thunderbolt, earthquake, hog, civil commotion, strikes or labour disturbances; or
- failure of other gas protection measures designed as part of the gas protection system; or
- failure to correctly assess the site characteristic situation in accordance with BS8485: 2015.

This Guarantee excludes any damage arising by reason of the failure of any Contractor engaged with the Works or their suppliers, to comply with the main specifications tendered on, and the detailed specifications, recommended joint and projection details, terms and conditions as set out by Sika Limited for the use of the Sika Structural Watertight Concrete System.

Nothing in this guarantee shall have effect to exclude or limit any liability the exclusion or limitation of which is forbidden by law

Save as expressly stated herein, Sika shall not be liable in connection with the Sika-Products for the Building, for any loss of income, loss of actual or anticipated profits, loss of business, loss of contracts, loss of goodwill or reputation, loss of business, loss of anticipated savings or indirect or consequential loss or damage of any kind, in each case howsoever arising, whether such loss or damage was foreseeable or in the contemplation of the parties and whether arising in or caused by breach of contract, tort (including negligence), breach of statutory duty or otherwise.

5. Conditions

- Sika Limited shall be notified in writing of any non-performance of the Triple System and the area of non-performance within 14 days after such non-performance shall have come to the knowledge of the Client or his representative having supervision of the Triple System concrete works.

6. Remedies

- Sika Limited's liability for any non-performance of the Triple System under this guarantee shall be determined as provided in Condition 6.2 and shall not in any event exceed the sale value of the Triple System products supplied by Sika Limited, used in constructing the particular structure and paid for by its direct customer, and is strictly limited only to the direct cost of repairs to, or rectification of the Triple System concrete structure through which visible water is permeating.
- The maximum amount payable under this guarantee shall be reduced as follows:
 - From the date of effective completion until the 20th anniversary thereof, no reduction.
 - Upon the day following the 20th anniversary of effective completion and upon each subsequent anniversary thereof up to and including the commencement of the final year of this guarantee a reduction of 10%, so that in the final year of this guarantee the maximum amount payable shall be 50% of the maximum amount initially payable.
- Remedial work, if necessary, will be carried out by and at the expense of Sika Limited, in a manner as may be directed by Sika or our Nominee as soon as practicable after advice of any non-performance of the Triple System has been received. The performance of such repairs will be considered by Sika to be included under this Guarantee.

7. This Guarantee may be assigned. Each assignment becomes effective on the date of notice being given to Sika, stating name and address of the assignee.

8. This Guarantee is governed by English law and the parties submit to the exclusive jurisdiction of the English courts to resolve any disputes arising out of or in connection with this Guarantee.

9. The parties to this Guarantee do not intend that any term of this Guarantee may be relied upon or shall be enforceable by virtue of the Contracts (Rights of Third Parties) Act 1999 or otherwise by any person who is not a party to this Guarantee or expressly stated to enjoy the benefit of it.

Date: 14th August 2019

Signed for
Sika Limited



Steve Armfield
Product Manager - Waterproofing
Concrete and Waterproofing

Date: 14th August 2019



Lee Sleight
Target Market Manager
Concrete and Waterproofing



GEOSHIELD LTD

TANKING, GAS AND HYDROCARBON BARRIER SYSTEMS

QUALITY ASSURANCE PROGRAMS AND INSPECTION SERVICES

Date: 18 July 2018

**GROUND CONSTRUCTION
LIMITED**

**101 Camley Street
London
N1C 4PF**

The documentation in this handover package shows that the installation of the Gas Membrane and ancillaries was installed to specification. Verified in accordance with BS8485 2015 and CIRIA 735.

All areas were verified and remediation issues corrected.

**Paul Colbeck
GeoShield Project Manager**





GEOSHIELD Verification Plan



PROJECT REFERENCE:

GEO10012400/GCL/C Camley

PROJECT:

101 Camley Street

PROJECT ADDRESS:

101 Camley Street

London

N1C 4PF

SPECIFICATION:

Gas membrane to specification BS8485 2015

Installed to CIRIA 735

Sikaproof A-08 Membrane

Sikaproof Tape - 150A

Sikadur 32

Sikadur Combiflex Adhesive

Sikalastic 841ST

Verification Plan will not be legally valid until payment is made.



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SPECIFICATION cont:

Cordeck Protection Board

DRAWINGS ISSUED

Foundation General Arrangement-4491/097

Basement General Arrangement - 4491/098

Lower Ground General Arrangement-4491/099

Basement Waterproofing Strategy - 4491-621

SIKA Detail - Section through Capping Beam 01 - CAMLEY01 - Issue B

SIKA Detail - Section through Capping Beam 02 - CAMLEY02 - Issue B

SIKA Detail - Section through Pile Cap - Issue B

SIKA Detail - Grade 2 to Grade 3 Transition - CAMLEY04 - Issue B

SIKA Detail - North Core - CAMLEY05 - Issue A

SIKA Detail - Typical Liner Wall Capping Beam Penetration - CAMLEY06 - Issue B

SIKA Detail - Basement Waterproofing Location - CAMLEY07 - Issue B

SIKA Detail - South Core - CAMLEY08 - Issue A

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GEOSHIELD Verification Plan



SURVEYOR:

Michael Dodd

VERIFICATION COMPANY:

GEOSHIELD LIMITED

Suite 46, 4100 Park Approach

Thorpe Park

West Yorkshire

LS15 8GB

CONTACT NUMBER:

07502 343063

EMAIL ADDRESS:

Michael.dodd@geoshield.co.uk

ORDER NUMBER:

Awaiting information

PER VISIT: YES:

NO:

PROJECT: YES:



NO:

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GEOSHIELD Verification Plan



SPECIFICATION

Construction

Product Data Sheet
Edition: 18/09/2015
Identification no.: 02 07 04 10 300 0100001
SikaProof® A-05-08/-12

CE

SikaProof® A-05-08/-12

Fully bonded FPO sheet membrane waterproofing system for basement and other below ground structures

Product Description	SikaProof® A-05-08/-12 is a fully and permanently bonded, self-adhesive, compatible sheet membrane waterproofing system for reinforced concrete of the main structure. It consists of an embossed polyolefin (FPO) membrane laminated with a sutured grid and a non-woven fleece. SikaProof® A-05-08/-12 is cold-applied and pre-applied, as it is installed without heat or open flames, and before the steel reinforcement is fixed and the concrete is poured.
Uses	Damp-proofing, concrete protection, waterproofing and gas resistant membrane for basements and other below ground concrete structures against ground water ingress: <ul style="list-style-type: none"> ■ Below ground reinforced concrete slabs ■ Below ground reinforced concrete walls with both single and double-faced formwork ■ Extensions and reconstruction works ■ For prefabricated constructions
Characteristics / Advantages	<ul style="list-style-type: none"> ■ Can be used as a gas resistant membrane when used as part of a gas protection system according to EN14188-2:2007 ■ Cold-applied (no pre-heating or open flames) and pre-applied, before the reinforcement is fixed and the concrete is poured ■ Fully and permanently bonded to the reinforced concrete of the main structure ■ No lateral water underflow or migration between the concrete structure and the membrane system ■ High watertightness tested according various standards ■ Easy to install with fully adhered joints (no welding required) ■ Temporary weathering and UV resistant ■ Resistant to ageing ■ High flexibility and crack-bridging ability ■ Resistant to aggressive mediums in natural ground water and soil ■ Can be combined with other approved Sika waterproofing systems including: <ul style="list-style-type: none"> ■ Sikaflex® WT membranes, FPO-based sheet waterproofing membranes ■ Sikaflex® Carbiflex SG system, FPO-based joint sealing system

SikaProof® A-05-08/-12

1/17

Sikaproof A-08 Membrane

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ciria

SPECIFICATION

Construction

Product Data Sheet
Edition 11/2016
Identification no.
S3 07 04 21 002 0 00017
SikaProof® Tape-150 A

SikaProof® Tape-150 A

Fully bonded self-adhesive tape for internal jointing of the SikaProof® A waterproofing system

Product Description SikaProof® Tape-150 A is a self-adhesive tape, based on a Polyacrylate-adhesive on a yellow carrier film coated with the SikaProof® A fully bonded sealant and fleece system.

Uses SikaProof® Tape-150 A is used for sealing horizontal overlap joints, connections and details within the SikaProof® A membrane system (internal / fence side) in combination with the SikaProof® ExTape-150.

Characteristics / Advantages

- High adhesion and sealing ability
- Fully bonded ability of SikaProof® A system
- Easy and fast to install

Product Data

Form

Appearance / Colors Top layer with white fleece and sealant (SikaProof® fully bond system) coated on a yellow carrier film. Bottom layer with Polyacrylate-adhesive cover with a white release film.

Packaging Roll of 150 mm width and 25 m length, 2 rolls packed in one cardboard box

Storage

Storage Conditions / Shelf Life 18 months shelf life from date of production if stored properly in undamaged, unopened, original sealed packaging. Dry storage at temperatures from +5°C up to +30°C. Protect from direct sunlight, rain, snow, ice, humidity, etc. Store in a horizontal position. Do not stack pallets of the rolls on top of each other, or under pallets of any other materials during transport or storage.

Thickness 1.75 mm

System Information

System Structure: SikaProof® Tape-150 A is a system component for internal jointing of the SikaProof® A membrane system, for further more detailed information please refer to the current Method Statement.

Application Information

Ambient Temperature +5°C to 25°C

Substrate Temperature Minimum +5°C, if below appropriate measures must be taken

Substrate Moisture Content: Dry or slightly damp, respect the dew point



SikaProof® Tape-150 A 1/1

Sikaproof Tape - 150A

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SPECIFICATION

Construction

Product Data Sheet
 Edition 10/12/2014
 Identification no:
 1002040001000129
 Sikadur®-32 Normal

Sikadur®-32 Normal

2-part structural epoxy bonding agent

Product Description	Sikadur®-32 Normal is a moisture-tolerant, structural, two part bonding agent, based on a combination of epoxy resins and special fillers, designed for use at temperatures between +10°C and +50°C.
Uses	As a structural bonding agent and adhesive for: <ul style="list-style-type: none"> ■ Concrete elements (including bonding fresh to hardened concrete) ■ Hard natural stone ■ Ceramics, fibre-cement ■ Mortar, Bricks, Masonry ■ Steel, Iron, Aluminium ■ Wood ■ Polyester / Fibreglass and Epoxy resin materials ■ Glass
Characteristics / Advantages	Sikadur®-32 Normal has the following advantages: <ul style="list-style-type: none"> ■ Easy to mix and apply ■ Suitable for dry and damp concrete surfaces ■ Very good adhesion to most construction materials ■ High Bond Strength ■ Hardens without shrinkage ■ Different coloured components (for mixing control) ■ No primer needed ■ High initial and ultimate mechanical strength ■ Impervious to liquids and water vapour ■ Good chemical resistance

1

Sikadur®-32 Normal 19

Sikadur 32

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SPECIFICATION

Construction	<p>Product Data Sheet Version 2015-02-12 Identification no.: 02 87 03 02 003 8 000002 Sikadur®-Combiflex® CF Adhesive Type N and Type R</p>
	<p>Sikadur®-Combiflex® CF Adhesive Type N and Type R 2-part epoxy adhesive Part of the Sikadur®-Combiflex® System</p>
	<p>Product Description</p> <p>Sikadur®-Combiflex® CF Adhesive Type N and Type R are thixotropic two part adhesives based on epoxy resins and fillers.</p> <p>The Sikadur®-Combiflex® CF Adhesive Type N and Type R are part of the Sikadur®-Combiflex® System and used to glue the Sikadur®-Combiflex® Tape or the Sikadur®-Hyplast Strip to different substrates.</p> <p>Type N (or Normal Potlife) is used for temperatures between +10°C to +35°C. Type R (or Rapid Potlife) is used for temperatures between +5°C to +15°C. An adhesive for the Sikadur®-Combiflex® System.</p>
	<p>Uses, Characteristics / Advantages</p> <ul style="list-style-type: none"> ■ Easy to mix and apply ■ Excellent adhesion to many materials ■ Strong and nonshrinkable film ■ Performs well within a wide temperature range ■ Completely weather and water resistant ■ Rust resistant ■ Good resistance to many chemicals ■ Available with normal or rapid hardening grade adhesive ■ No primer needed ■ High mechanical resistance ■ Good abrasion resistance
	<p>Tests</p> <p>Approval / Standards: Testing according to EN 1504-4.</p>



1 Sikadur®-Combiflex® CF Adhesive Type N and Type R 15

Sikadur Combiflex Adhesive

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SPECIFICATION

Construction

Product Data Sheet
Edition 09/01/2016
Identification no:
02 08 07 01 001 2 0014
Sikalastic®-841 ST

Sikalastic®-841 ST

Liquid applied pure polyurea membrane

Product Description Sikalastic®-841 ST is a two part, elastic, 100% solids, very fast curing pure polyurea liquid applied membrane with very good chemical resistance. Sikalastic®-841 ST shall not be used in closed structures containing biogenic sulphur acid. Sikalastic®-841 ST can only be spray applied with special two part hot spray equipment.

Uses ■ For waterproofing applications and anticorrosion applications on concrete and many other substrates.

Typical uses

- Protective coatings
- Tank coatings/linings
- Bridge Deck waterproofing
- Roof coatings
- Walkways and balconies
- Flooring and Car parking decks
- Industrial and manufacturing facilities
- Landscaps and water containment
- Power plants
- Sewage and Waste Water Treatment plants
- Truck bed lining

Characteristics / Advantages ■ Very fast reactivity and curing time
■ Almost immediate return-to-service time
■ Applicable in temperatures from -15°C to 25°C
■ Performs in constant dry temperatures from -30°C to 100°C
■ 100% solids with zero VOC
■ Excellent crack-bridging properties
■ Good chemical resistance
■ Low yellowing
■ Good abrasion resistance

Product Data

Form

Appearance / Colors ISO - Part A: clear liquid
Resin - Part B: amber or grey liquid
Grey - HAJ, 7008 or six pigmented (yellowish)

Packaging Part A (net): 212,0 kg drum
Part B (net): 191,0 kg drum



Sikalastic 841ST

Verification Plan will not be legally valid until payment is made.

BGA

GEOSHIELD Verification Plan

ciria

SPECIFICATION

Temporary Protection

Data Sheet

Correx Data Sheet



Correx is the original twin wall fluted polypropylene protection board and has become the industry standard for most temporary protection applications. Following its launch in 1974, it can be used both internally and externally for a wide range of applications within the construction industry including protection of floors, walls, doors, windows and ceilings and as a formwork material for concrete construction.

Key Features

- Lightweight, strong, safe, durable and handling
- Non-toxic and chemically resistant
- Unaffected by water
- Safe to cut and install
- Impact resistant and durable
- Electrically non-conductive
- Non-retained within sustainable construction
- DPM 150k (Thinking inside the box protection)

Product Range

Correx comes in a variety of options:

Standard – Used in general protection applications. Standard board sizes are 2440mm x 1220mm. Available colours are indicated in the Correx Specification Table.

Flame Retardant – All flame retardant grades have full LPCB accreditation (further details are available from the Correx sales team). Standard board sizes are 2440mm x 1220mm.

Anti Static – A high performance anti-static board for use in particularly sensitive locations such as Nuclear Power Stations. Standard sheet sizes are 2440mm x 1220mm. Surface resistivity is 10¹⁰ Ω/sq.

Door Size – Correx can be ordered in standard door size panels (2000mm x 2000mm) or in a wider grade (1800mm x 2000mm) to suit internal partition doors.

For further information on the full range of Temporary Protection, please contact the Cordek technical team on 01853 719500, technical@cordek.com or visit our website at www.cordek.com.



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Cordek Protection Board

Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



Foundation General Arrangement-4491/097

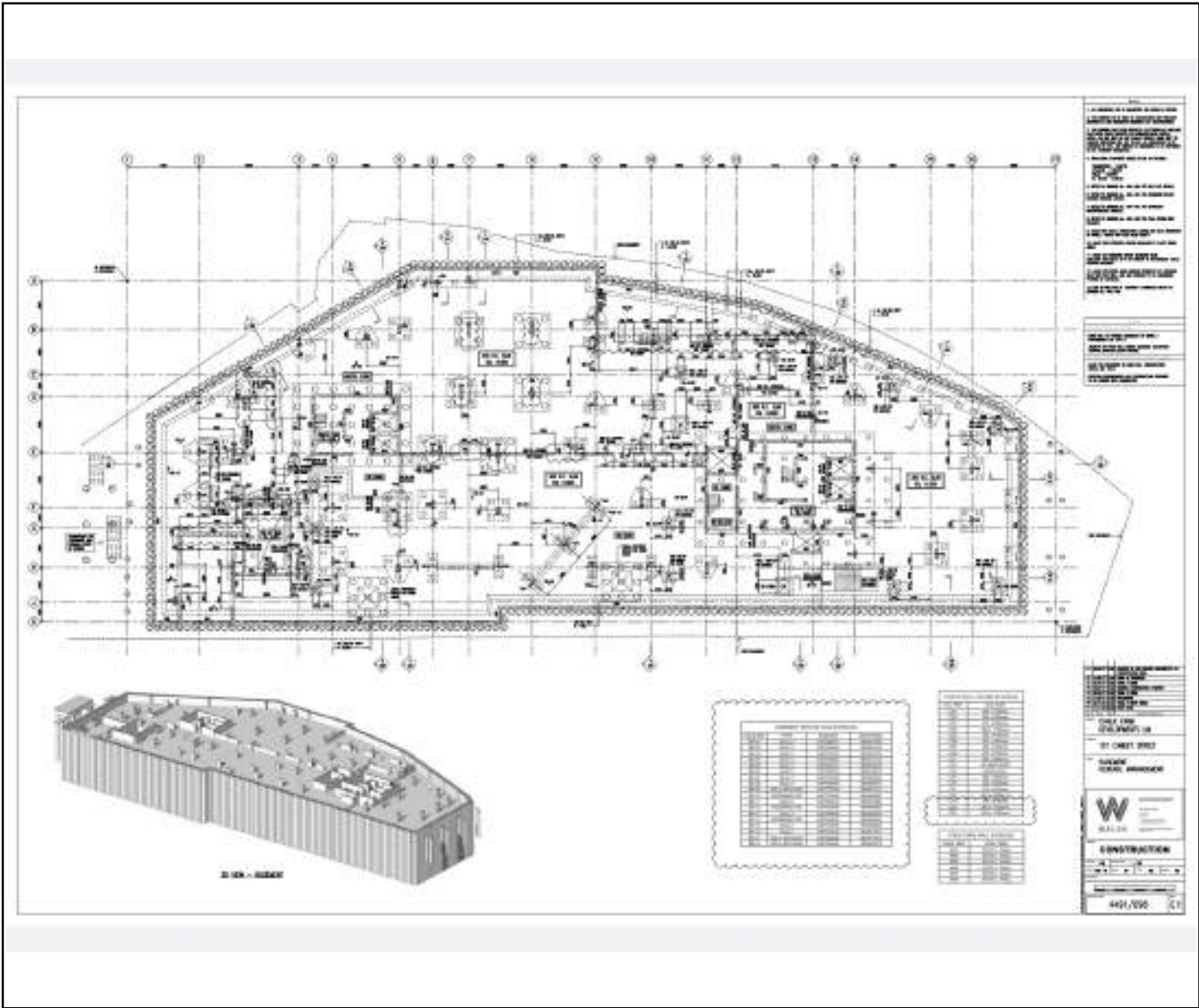
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



Basement General Arrangement - 4491/098

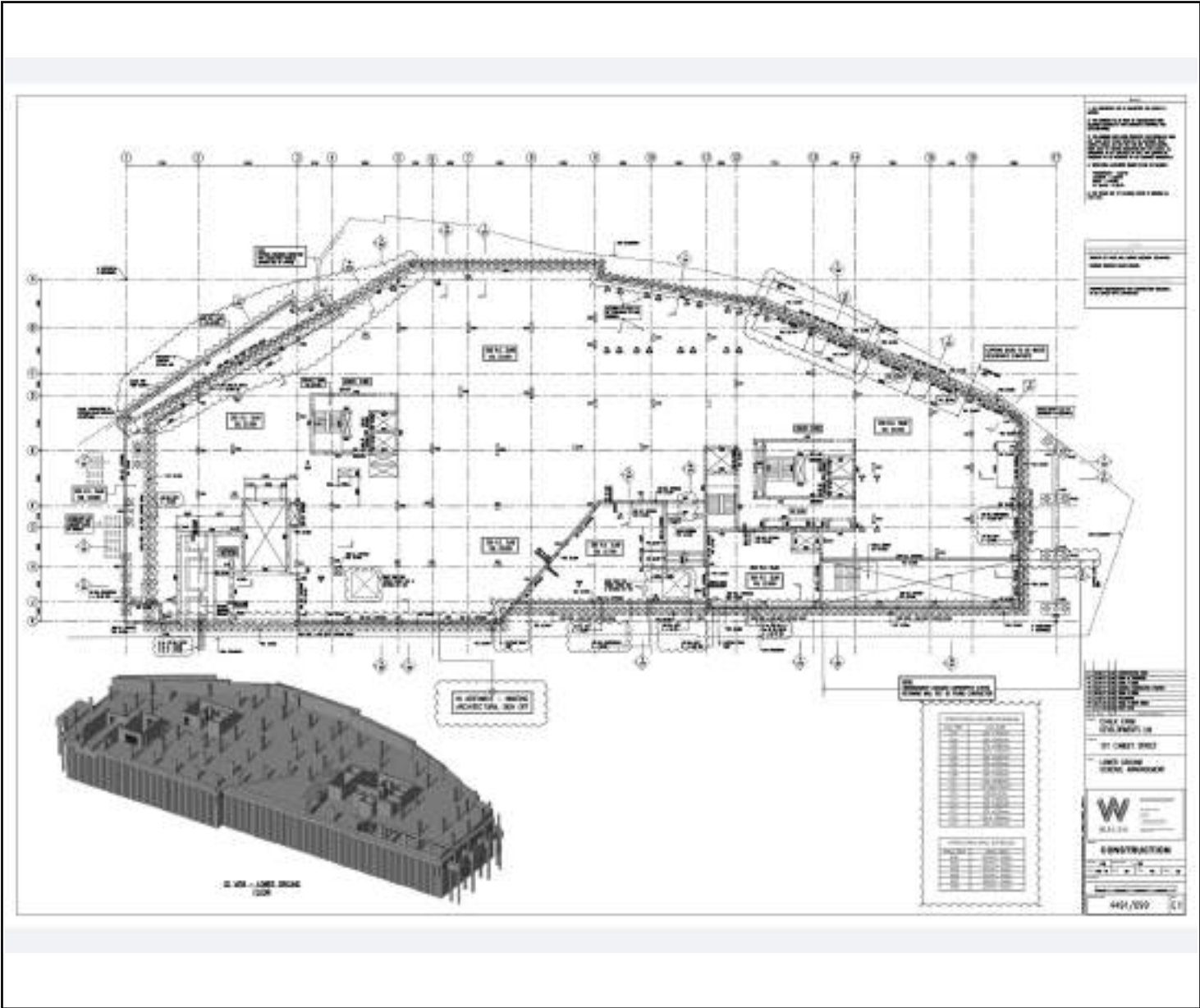
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



Lower Ground General Arrangement-4491/099

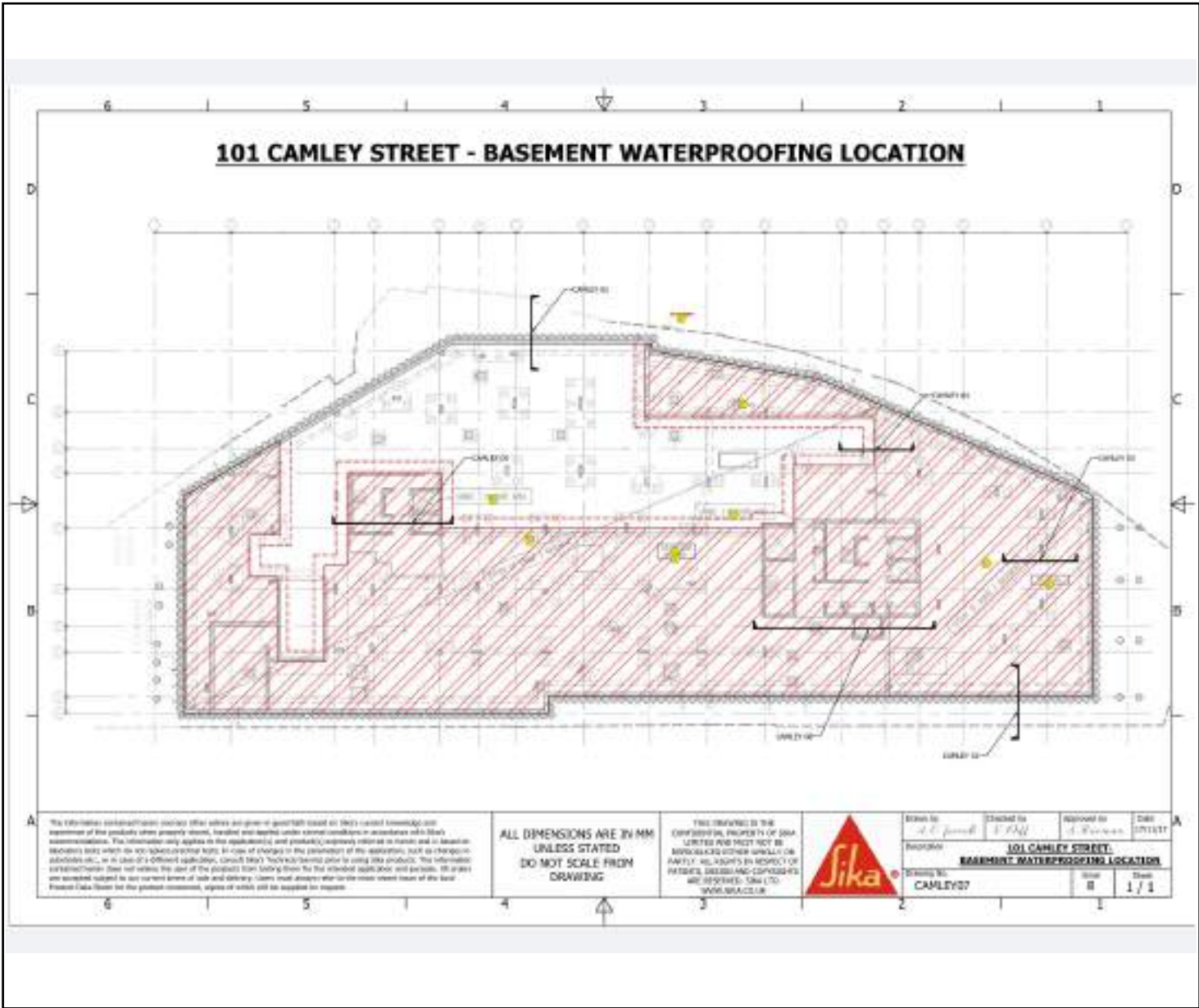
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



Basement Waterproofing Strategy - 4491-621

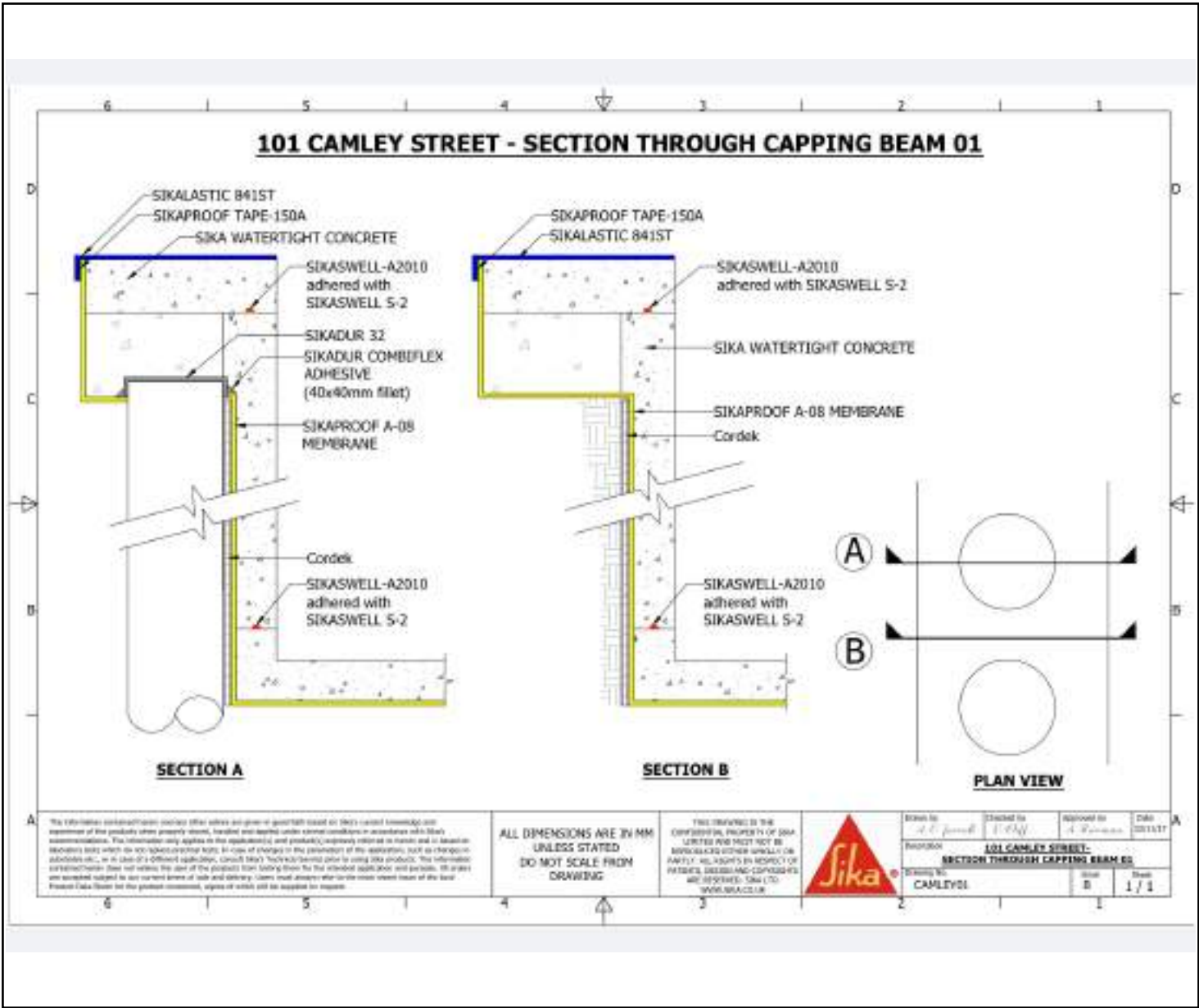
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



SIKA Detail - Section through Capping Beam 01 - CAMLEY01 - Issue B

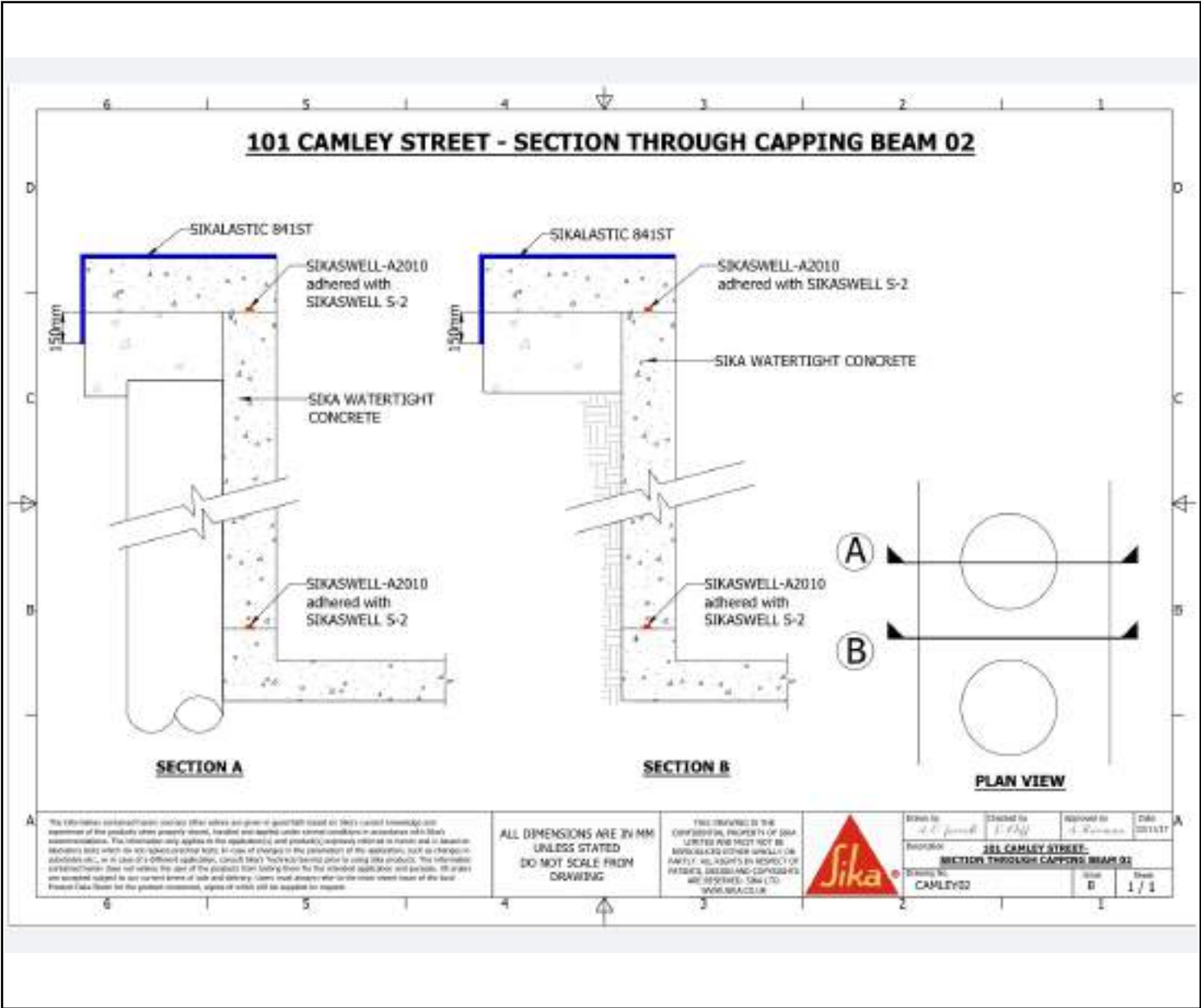
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



SIKA Detail - Section through Capping Beam 02 - CAMLEY02 - Issue B

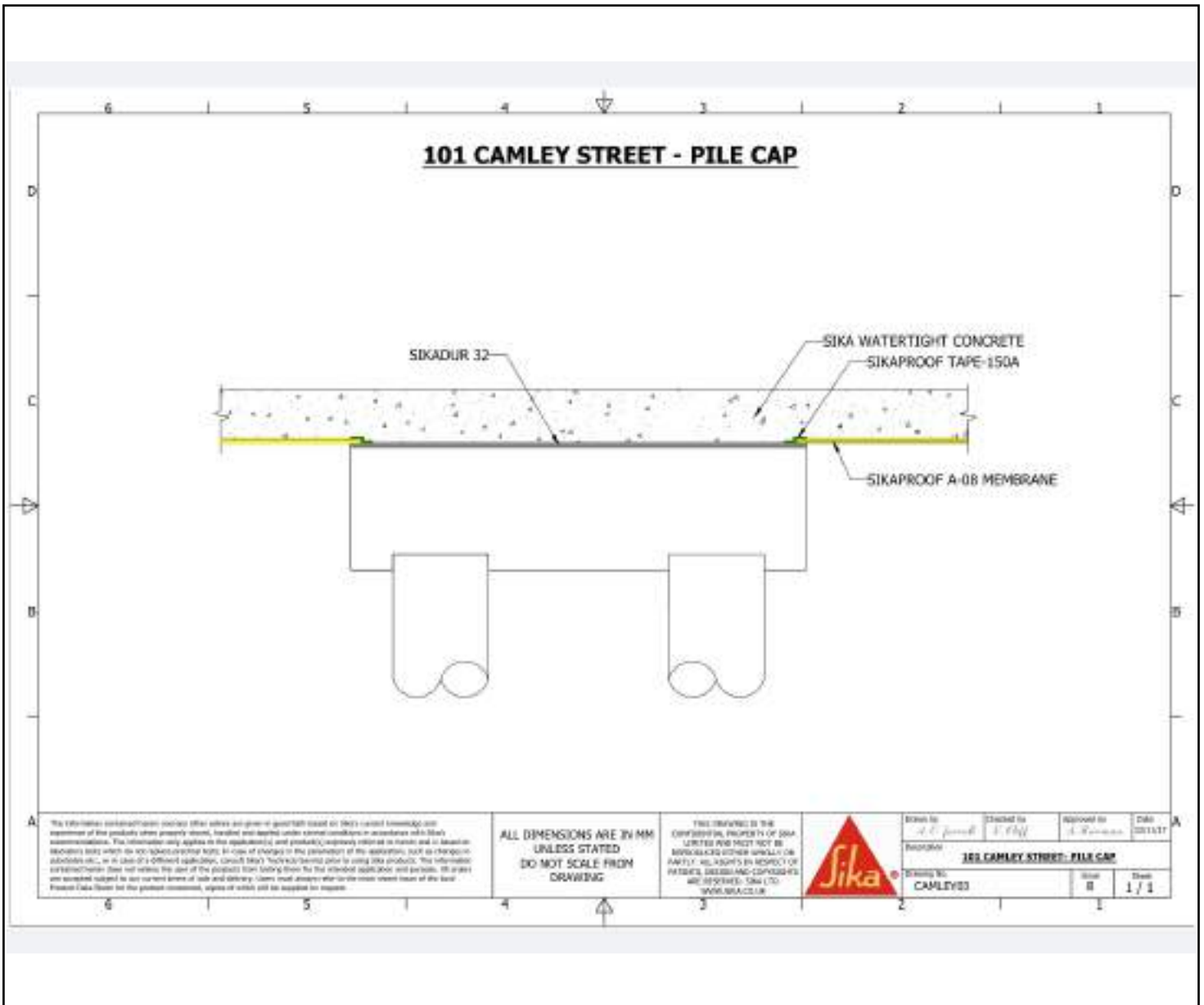
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



SIKA Detail - Section through Pile Cap - Issue B

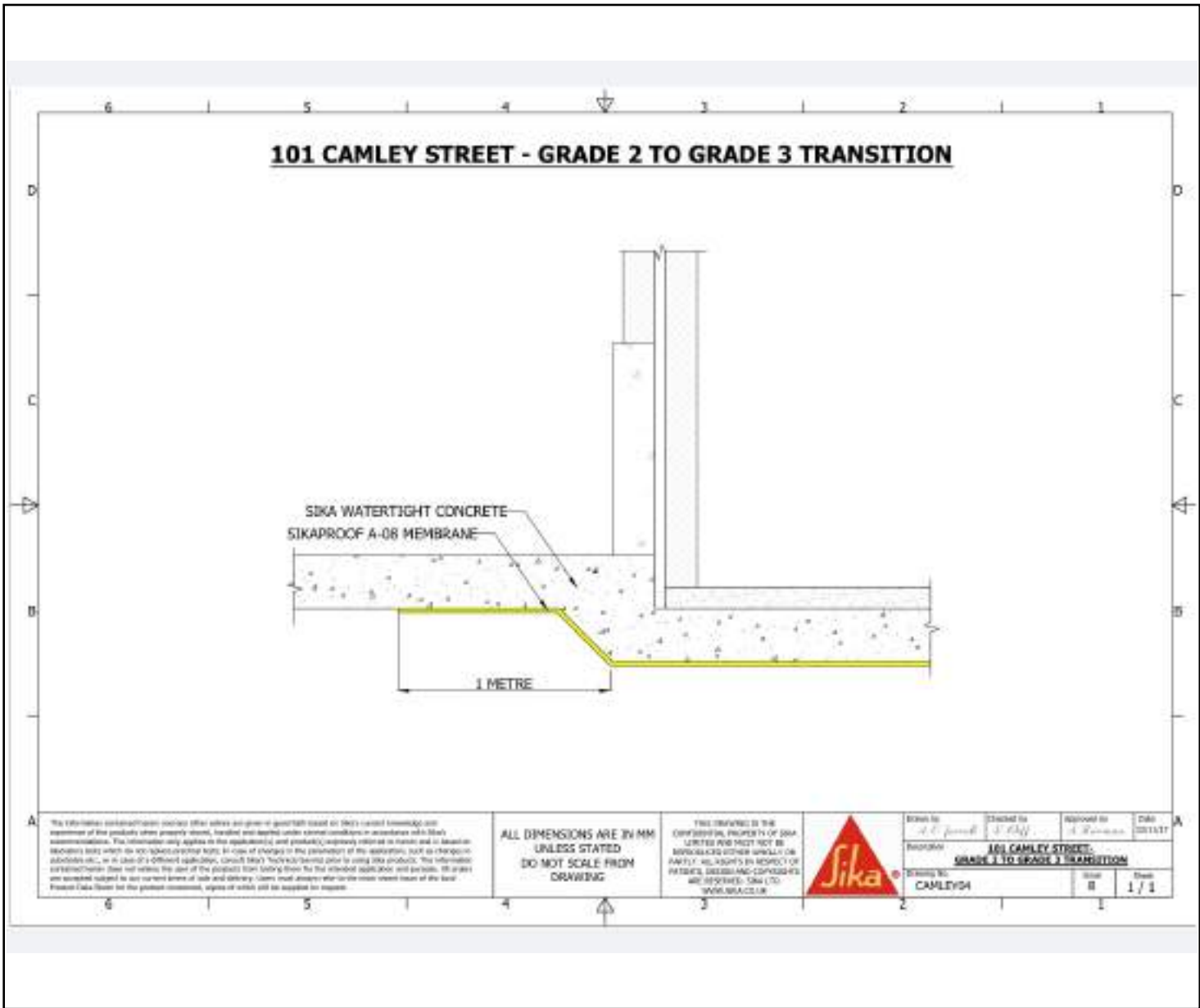
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



SIKA Detail - Grade 2 to Grade 3 Transition - CAMLEY04 - Issue B

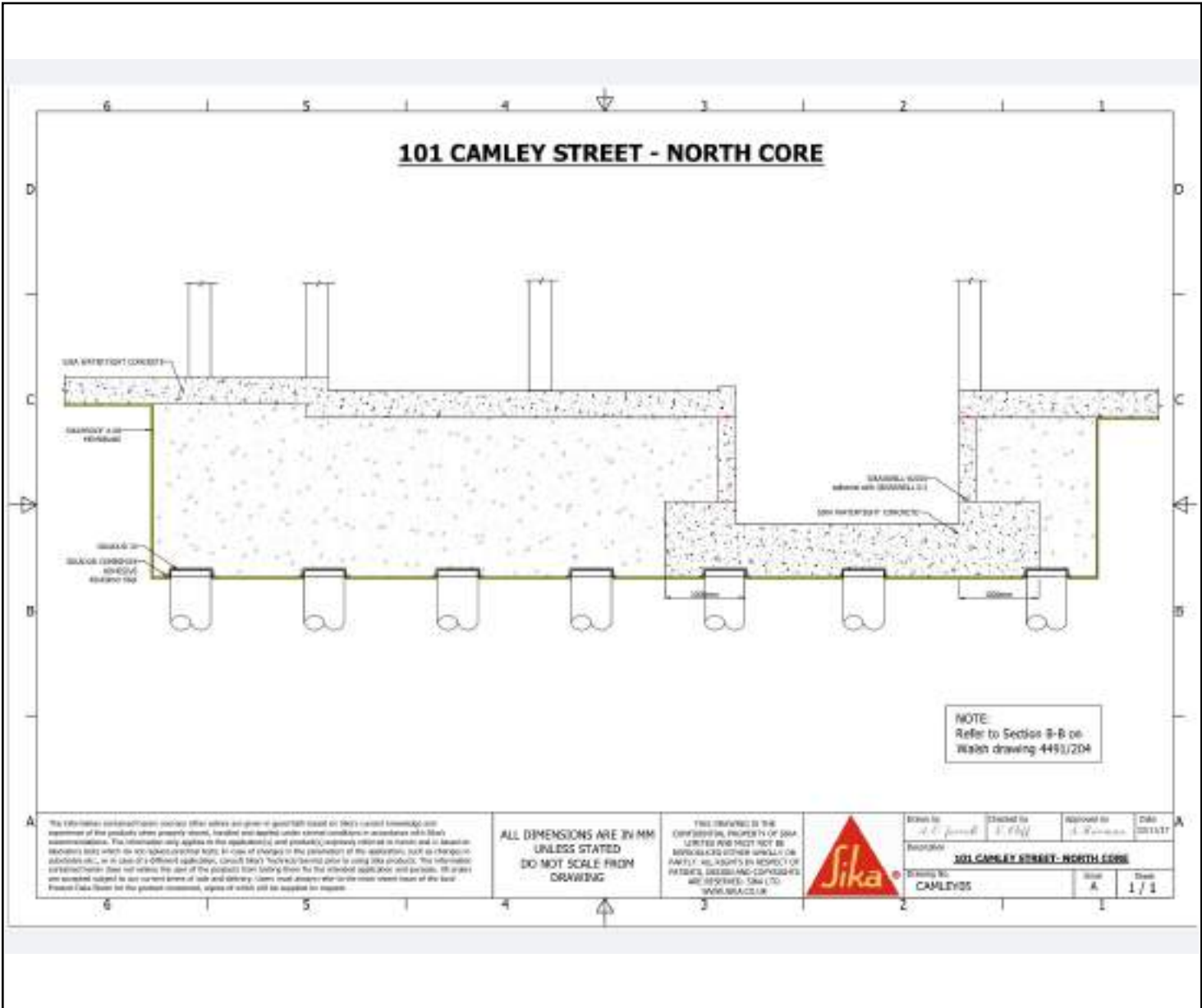
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



SIKA Detail - North Core - CAMLEY05 - Issue A

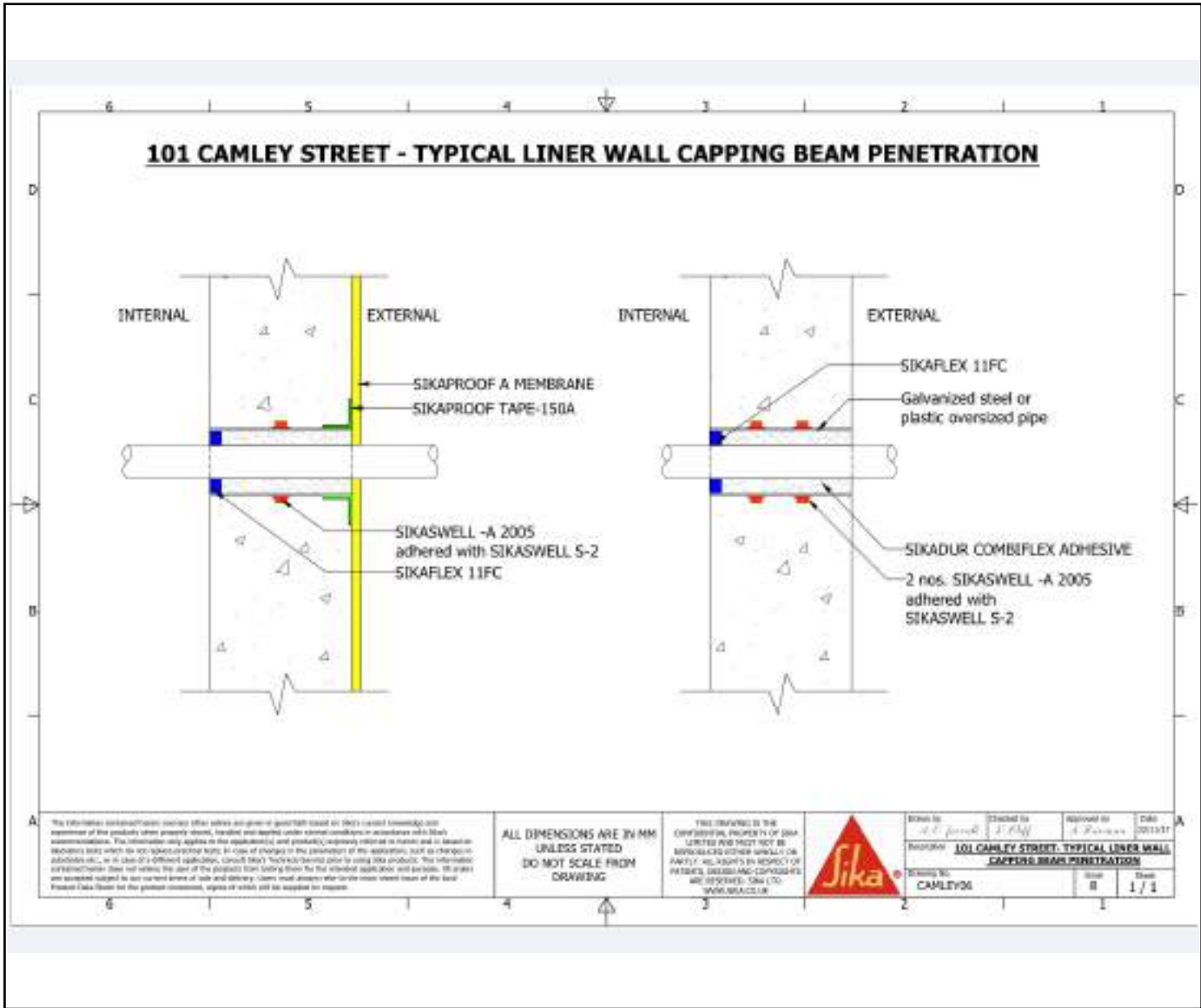
Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



DETAILS



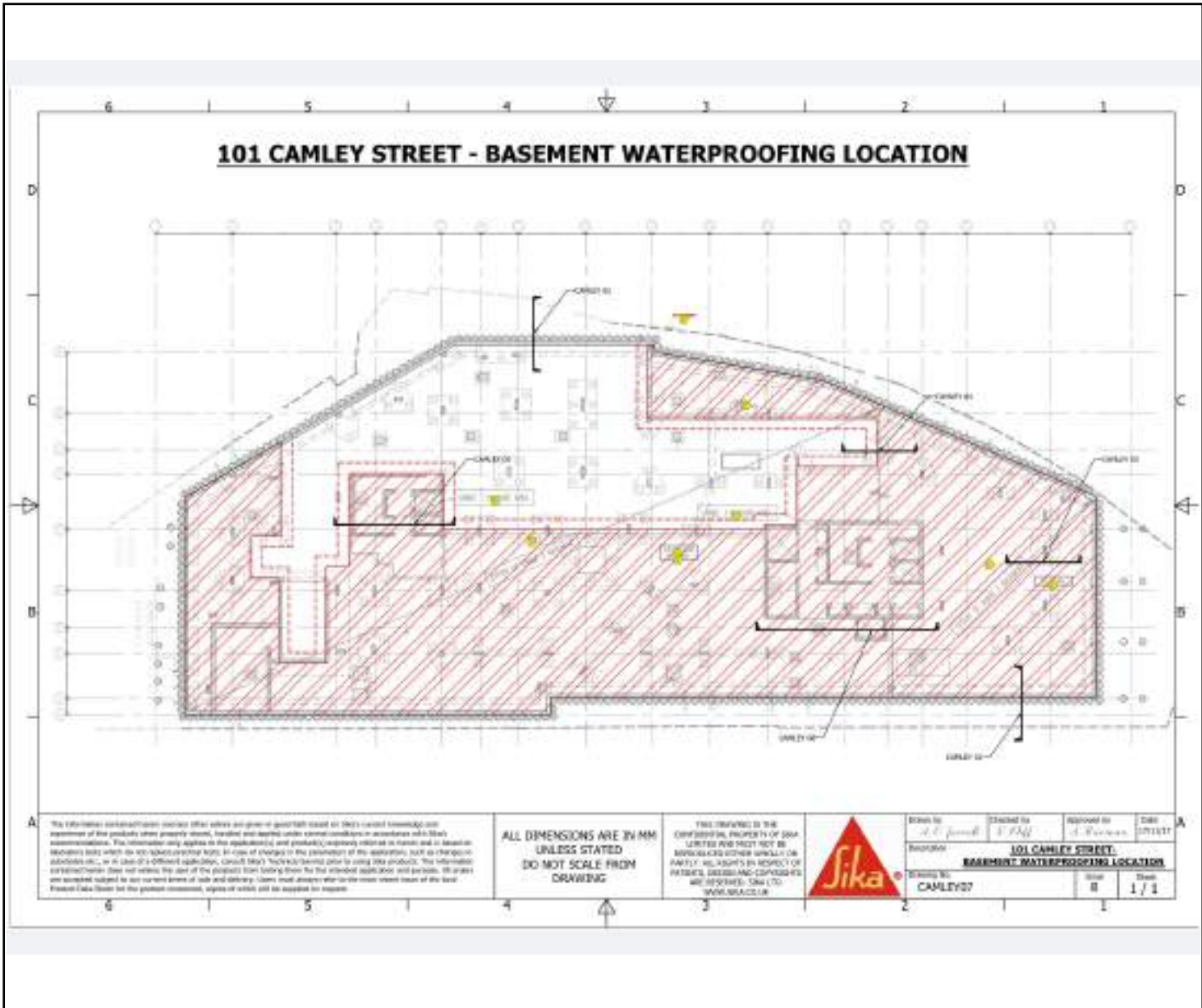
SIKA Detail - Typical Liner Wall Capping Beam Penetration - CAMLEY06 - Issue B

Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan

DETAILS



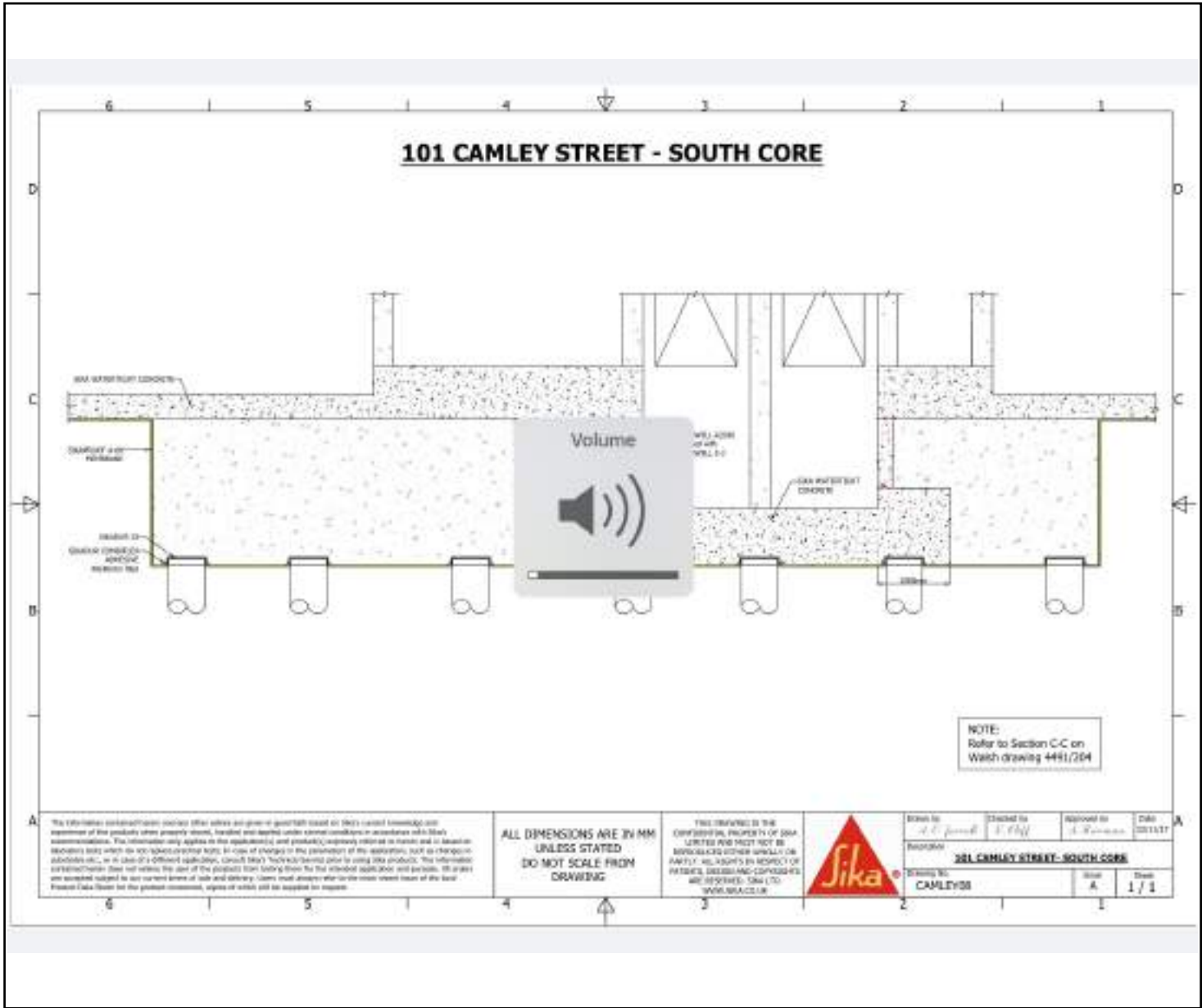
SIKA Detail - Basement Waterproofing Location - CAMLEY07 - Issue B

Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan

DETAILS



SIKA Detail - South Core - CAMLEY08 - Issue A

Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



CLIENT DETAILS

CLIENT CONTACT: Pat Dervan

CONTACTS ROLE: Project Director

MOBILE PHONE: 07931 673087

EMAIL ADDRESS: Patdervan@groundconstruction.com

CLIENT CONTACT: Ragu Rangunath

CONTACTS ROLE: Senior Engineer

MOBILE PHONE:

EMAIL ADDRESS ragu@groundconstruction.com

NOTES:



GEOSHIELD Verification Plan



APPLICATION TEAM LEADERS

APPLICATOR NAME: Robert Gniecki

COMPANY: Ground Construction Limited

APPLICATOR TEL: 07572 556202

APPLICATOR EMAIL: Ragu@groundconstruction.com

APPLICATOR NAME: Tomasz Skubis

COMPANY: Ground Construction Limited

APPLICATOR TEL: 07837 365154

APPLICATOR EMAIL: Ragu@groundconstruction.com

NOTES: Antony Munnely - is the Foreman managing the aforementioned installers

NOTES:

NOTES:

NOTES:



GEOSHIELD Verification Plan



HEALTH AND SAFETY GeoShield

INDUCTION GeoShield INDUCTION Installer

INDUCTION TIME: 10-00am

CSCS CARD GeoShield CSCS CARD Installer

CSCS CARD NUMBER GeoShield 65997

METHOD STATEMENT GeoShield: METHOD STATEMENT Installer:

RISK ASSESSMENT GeoShield: RISK ASSESSMENT Installer:

COSHH GeoShield: COSHH Installer:

SITE SPECIFIC HAZARDS: Slips, Trips and Falls

Overhead Crane

Plant & Machinery

Movement of various materials

Excavations



GEOSHIELD Verification Plan



NOTIFICATION:

24 HOURS:	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>
48 HOURS:	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>

REASON FOR VISIT:

Substrate:	<input checked="" type="checkbox"/>	Reinforcement:	<input checked="" type="checkbox"/>
Venting:	<input type="checkbox"/>	Cavity:	<input type="checkbox"/>
Membrane:	<input checked="" type="checkbox"/>	Pipe penetrations:	<input checked="" type="checkbox"/>
Insulation:	<input type="checkbox"/>	Column Detailing:	<input type="checkbox"/>
Protection fleece/board	<input checked="" type="checkbox"/>	Column Detailing:	<input type="checkbox"/>
Other:	<input type="checkbox"/>	Other:	<input checked="" type="checkbox"/>

TRAINING LEVEL:

SPECIALIST CONTRACTOR:	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>
NVQ LEVEL 2:	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>
COMPETENT APPLICATOR:	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>
TOOLBOX BY GEOSHIELD:	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>

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GEOSHIELD Verification Plan



GAS REGIME:

CS1/Green

CS2/Amber

CS3/Amber 2

CS3/ or above/Red

VOC's

Radon

**HAS A REMEDIATION STRATEGY
BEING ISSUED PRIOR TO
PRE-VERIFICATION PLAN**

Yes



No



Full Radon



Building Type:

B

POINTS REQUIRED UNDER BS8485 2015

3.5

POINTS GAINED FROM BS8485 2015

Score for Structural Barrier:

1.0

Grade 2 basement:

2.0

Grade 3 basement:

Score for Venting:

Car park:

Score for Membrane:

2.0

POINTS ACHIEVED UNDER BS8485 2015

5.0



GEOSHIELD Verification Plan



TESTING:

VISUAL: YES NO

NON-DESTRUCTIVE SMOKE TEST: YES NO

NON-DESTRUCTIVE COMPRESSED AIR LANCE: YES NO

DESTRUCTIVE JOINT TESTING: YES NO

NON-DESTRUCTIVE TRACER GAS: YES NO

DIELECTRIC POROSITY TEST: YES NO

PUMP TEST FOR "Twinny" WELD YES NO

CIRIA 735 inspection Checklist YES NO

NOTES:

NOTES:

NOTES:

Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



VERIFICATION REPORT

These items will be included in the report

- NUMBER 1 GAS MEMBRANE SPECIFICATION
- NUMBER 2 ELEMENTS OF THE GAS MEMBRANE
- NUMBER 3 DATE, TIME and WEATHER CONDITIONS
- NUMBER 4 PLANS and DETAILS ISSUED
- NUMBER 5 INSTALLATION PHOTO's RELATING TO GRID LINES
- NUMBER 6 REPORTING DEFECTS AND LOGGING IN REMEDIATION LOG
- NUMBER 7 AREAS OF LIMITATION (areas unable to inspect)
- NUMBER 8 LOGGING AND REPORTING RESULTS OF TESTING

VERIFICATION REPORT ISSUE

HARD COPY: YES NO

EMAIL: YES NO

DROP BOX LINK: YES NO

FLASH DRIVE: YES NO

Verification Plan will not be legally valid until payment is made.



GEOSHIELD Verification Plan



VERIFICATION PLAN SUMMARY

This was the first meeting on site meeting both Pat Dervan and Ragu Rangunath.

Discussed how GeoShield Ltd carry out their Independent Verification process and

and mutually agreed visit program. GCL will supply GeoShield Ltd with an

appropriate site forecast so that Verification Visits can be arranged at a suitable

time which ideally should be at the beginning of a typical working day. This will

allow for any remediations to be rectified where possible. GCL are using a range

of SIKA products and a 'Toolbox Talk' was carried out by them today to the

proposed Installation Team.

GEOSHIELD SIGNITURE:



DATE: 27th November 2017



APPENDIX 7 SERVICE PLAN

Mark - Site Remedial

From: DEVELOPER.SERVICES@THAMESWATER.CO.U
<DEVELOPER.SERVICES@THAMESWATER.CO.UK>
Sent: 01 February 2021 18:00
To: Clara Mazza
Subject: RE: RE: RE: 80487430 / DS6026561 NW1 OPS 101 CAMLEY STREET

Dear Clara,

Please take this email as confirmation that the Water Regulations Inspection carried out at the above development on 1st February 2019 was as follows:-

- 1) 1 x90mm unmetered Barrier Pipe combined fire and domestic supply - passed inspection
- 2) 1x32mm metered Barrier pipe supply for a commercial Unit - passed inspection

Kindest regards

Fiona

Clean Design Team

Thames Water

0800 009 3921

Original Text

From: Clara Mazza <CMazza@ardmoregroup.co.uk>
To: 'DEVELOPER.SERVICES@THAMESWATER.CO. <DEVELOPER.SERVICES@THAMESWATER.CO.UK>
CC: Andrew Fitzpatrick <AFitzpatrick@ardmoregroup.co.uk>
Sent: 26.01.21 12:52:44
Subject: RE: RE: 80487430 / DS6026561 NW1 OPS 101 CAMLEY STREET

Dear DS,

Would you please provide response to the query below?

Thank you in advance for the response.

Best Regards,

Clara Mazza
Design Manager

T: 0208 344 0300 EXT: 44227 M: 07769 361 529



Head Office | 6 Wharf Studios | 28 Wharf Road | London | N1 7GR
www.ardmoregroup.co.uk

101 Camley Street | London | NW1 0NF

From: Andrew Fitzpatrick <AFitzpatrick@ardmoregroup.co.uk>
Sent: 20 January 2021 16:17
To: 'DEVELOPER.SERVICES@THAMESWATER.CO.U' <DEVELOPER.SERVICES@THAMESWATER.CO.UK>
Cc: Clara Mazza <CMazza@ardmoregroup.co.uk>
Subject: RE: RE: 80487430 / DS6026561 NW1 OPS 101 CAMLEY STREET

Hi DS

The local planers have asked for proof that we have had approval from yourselves for the pipe installed here in the ground for the main water from the street into the building.

We need a statement from yourselves on an email where Thames Water approves the blue barrier pipe that we have used here.

Regards

Andy

From: Andrew Fitzpatrick
Sent: 22 February 2019 11:03
To: DEVELOPER.SERVICES@THAMESWATER.CO.U <DEVELOPER.SERVICES@THAMESWATER.CO.UK>
Subject: RE: RE: 80487430 / DS6026561 NW1 OPS 101 CAMLEY STREET

Please find attached certificates as requested in your email below.

From: DEVELOPER.SERVICES@THAMESWATER.CO.U <DEVELOPER.SERVICES@THAMESWATER.CO.UK>
Sent: 20 February 2019 09:56
To: Andrew Fitzpatrick <AFitzpatrick@ardmoregroup.co.uk>
Subject: RE: RE: 80487430 / DS6026561 NW1 OPS 101 CAMLEY STREET

Hi Andrew,

Thanks for your email,

After looking through the attachments it appears this information isn't quite sufficient.

On the lab results, we will need to see the UKAS logo printed on the sheet, which is standard for all UKAS accredited paperwork, We are happy with the method statement but the chlorination company should provide you with a chlorination certificate which we would also need to see.

Please could you forward this on to us ASAP? If easier, please call 0800 009 3921 and ask for Planning as soon as you have sent us an email and we can try and look into it sooner than the standard 5 day turn around as we know you are keen to get things progressing.

Kind regards,

Developer services

0800 009 3921

From: Andrew Fitzpatrick <AFitzpatrick@ardmoregroup.co.uk>
To: DEVELOPER.SERVICES@THAMESWATER.CO.U <DEVELOPER.SERVICES@THAMESWATER.CO.UK>
CC:
Sent: 18.02.19 16:51:39
Subject: RE: 80487430 / DS6026561 NW1 OPS 101 CAMLEY STREET

Dear Sir/Madam

I have attached the certificate (plus info) for the chlorination of the 90mm (internal dia.) / 120mm (external dia.) pipe here at 101 camley st.

Please can you confirm back to me that we can now progress with organising a site visit meeting to discuss the excavation of the path and road for the connection of water into the street main water pipe.

Regards

Andrew Fitzpatrick

Senior M&E Manager

T: 0208 344 0300 EXT: 44224 M: 07768 554 544



Head Office | 6 Wharf Studios | 28 Wharf Road | London | N1 7GR
www.ardmoregroup.co.uk

101 Camley Street | London | NW1 0NF

From: DEVELOPER.SERVICES@THAMESWATER.CO.U <DEVELOPER.SERVICES@THAMESWATER.CO.UK>
Sent: 04 February 2019 12:24
To: Andrew Fitzpatrick <AFitzpatrick@ardmoregroup.co.uk>
Subject: 80487430 / DS6026561 NW1 OPS 101 CAMLEY STREET

Hi Andy,

We have noticed that you recently passed your water regulations inspection. This email is just to let you know that we are waiting on chlorination for the 90mm supply before we can assign these works over to our delivery team for connection. I have included a list below of our chlorination requirements

Please forward the following:

- A disinfection certificate in accordance with BS6700/BS8558
- A method statement of the disinfection process carried out showing
 - 1) Name of contractor
 - 2) Date of disinfection
 - 3) Diameter and length of pipe disinfected
 - 4) Source water used
 - 5) Swabbing and flushing performed prior to disinfection
 - 6) Disinfection chemical used (Must be a Hypochlorite Solution)
 - 7) Chlorine level of source water
 - 8) Chlorine level after dosing
 - 9) Contact time
 - 10) Chlorine level after contact
 - 11) Chlorine level after flushing

- The sample results from a UKAS accredited laboratory showing
 - 1) Total coliforms per 100ml
 - 2) E.coli per 100ml
 - 3) Turbidity*
 - 4) 37°C colony counts per 1ml
 - 5) 22°C colony counts per 1ml
 - 6) Total Chlorine*

* Please note we also accept these results from onsite testing,

Please forward this information at your earliest convenience.

Kind regards,

Developer Services

0800 009 3921

Visit us online www.thameswater.co.uk , follow us on twitter www.twitter.com/thameswater or find us on www.facebook.com/thameswater. We're happy to help you 24/7.

Thames Water Limited (company number 2366623) and Thames Water Utilities Limited (company number 2366661)

General Notes

This drawing to be read in conjunction with all standard details and specifications. All dimensions to be verified on site. All works to comply with current building regulations.

NOTES

- FOR UTILITY SERVICES CONTACT DETAILS, PLEASE REFER TO CUDD BENTLEY UTILITY TRACKER.
- ALL SERVICES LOCATIONS ARE APPROXIMATE ONLY - CARE TO BE TAKEN WHEN EXCAVATING. TRIAL HOLES TO BE HAND DUG FIRST.
- THIS IS A CONSTRUCTION ISSUE TECHNICAL DESIGN DRAWING ONLY.

Rev	Description	Author	Check	Date
C01	ISSUED FOR CONSTRUCTION	CAD	LSH	25-03-20
		Engineer	GK	25-03-20
		Checked	GK	25-03-20
T07	INCOMING LEVEL & PAIRS OF TELECOMS DUCT ENTRIES REDUCED TO OVERCOME CONSTRUCTION GROUND LEVEL ISSUES.	CAD	CS	08-06-18
		Engineer	GK	08-06-18
		Checked	GK	08-06-18
T06	FIRE HYDRANT ADDED FOLLOWING REMOVAL OF EXISTING SITE FIRE MAIN.	CAD	LSH	31-01-18
		Engineer	PH	31-01-18
		Checked	PH	31-01-18
T05	FIRE MAIN DETAILS AT SOUTH END OF SITE MODIFIED FOLLOWING SITE VISIT ON 10-10-2017	CAD	CW	11-03-17
		Engineer	PH	11-03-17
		Checked	PH	11-03-17
T04	GAS SUPPLY TO COMMERCIAL OMITTED. UPDATED TO SUIT STRUCTURAL ENGINEERS COMMENTS	Engineer	PAD	13-09-17
		Checked	PAD	13-09-17
T03	ISSUED FOR STAGE 4. UPDATED TO SUIT DESIGN TEAM COMMENTS	CAD	CW	29-06-17
		Engineer	PAD	29-06-17
		Checked	GK	08-06-17
T02	GENERALLY UPDATED & ISSUED FOR STAGE 4	CAD	PH	08-06-17
		Engineer	GK	08-06-17
		Checked	GK	08-06-17
T01	ISSUED FOR SUBSTRUCTURE TENDER	CAD	LSH	22-03-17
		Engineer	RG	22-03-17
		Checked	RG	22-03-17
PO1	ISSUED FOR STAGE 3. SURFACE WATER DRAIN FROM LANDLORD AREA (L3) OMITTED.	CAD	CS	08-05-17
		Engineer	RG	08-05-17
		Checked	RG	08-05-17

CONSTRUCTION



www.cuddbentley.co.uk
 Cudd Bentley Consulting Ltd.
 Aahurst Manor, Church Lane, Ascot, Berkshire, SL5 7DD
 (t) 01344 628821 (f) 01344 623448 (e) info@cuddbentley.co.uk
 Cudd Bentley Consulting Ltd.
 Suite 1, Shelly Crescent Centre, 20 Fernhouse Way, Southill, B90 4EH
 (t) 0121 7114343 (f) 0121 7113535 (e) info@cuddbentley.co.uk
 Cudd Bentley Consulting Ltd.
 12 Devonshire Street, London, W1G 7AB
 (t) 0203 393 6448 (e) info@cuddbentley.co.uk

Client: **ARDMORE**

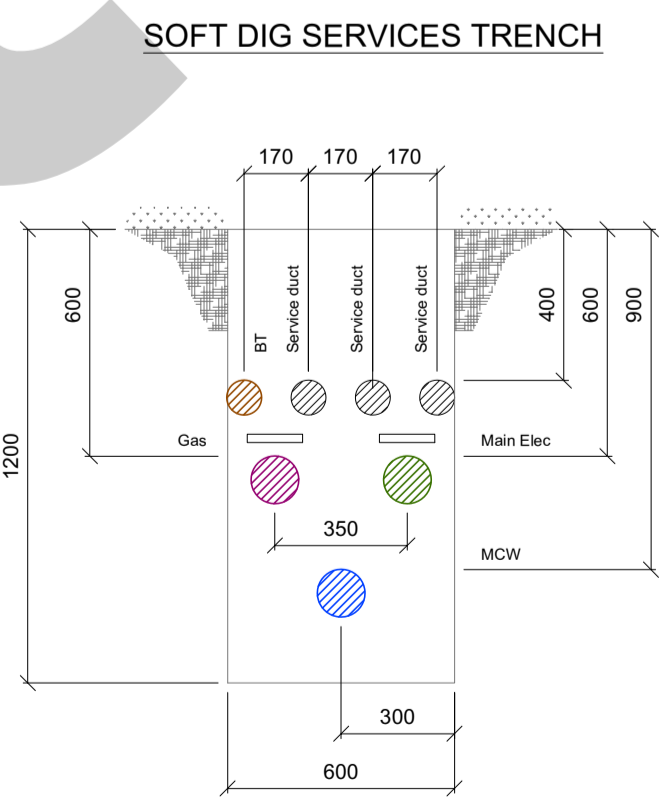
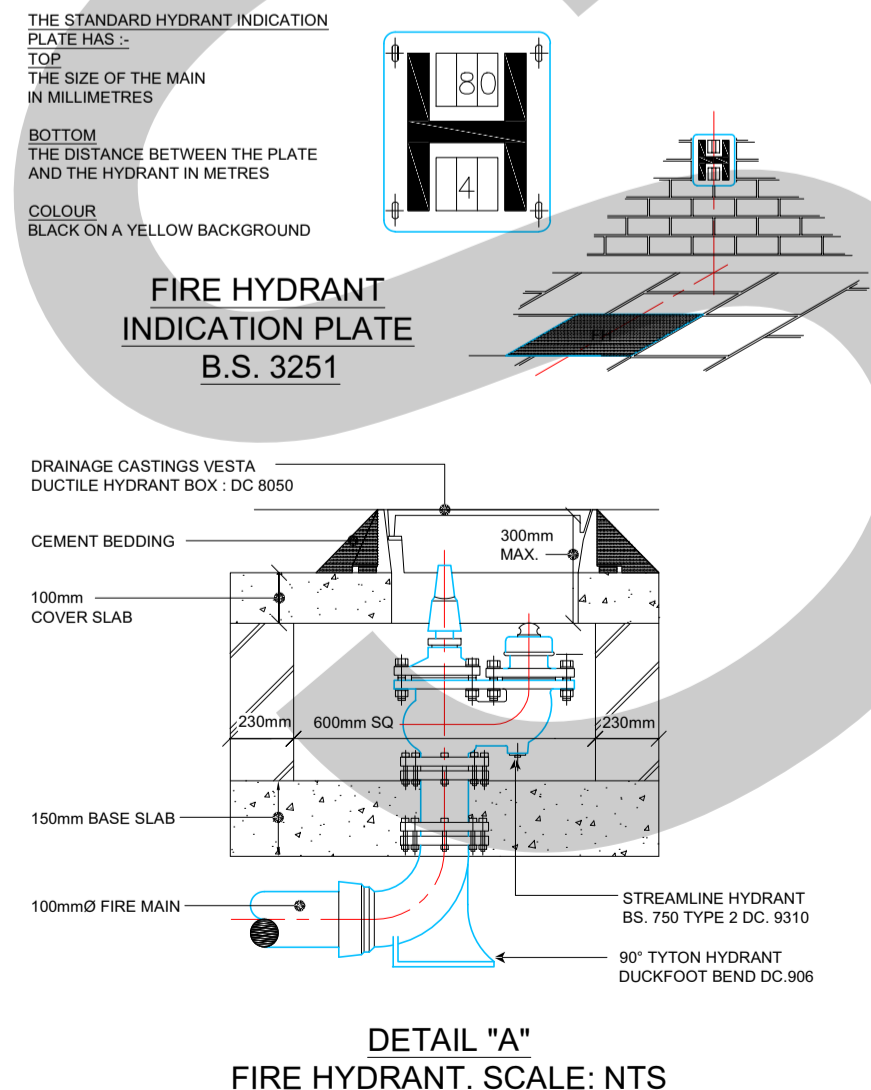
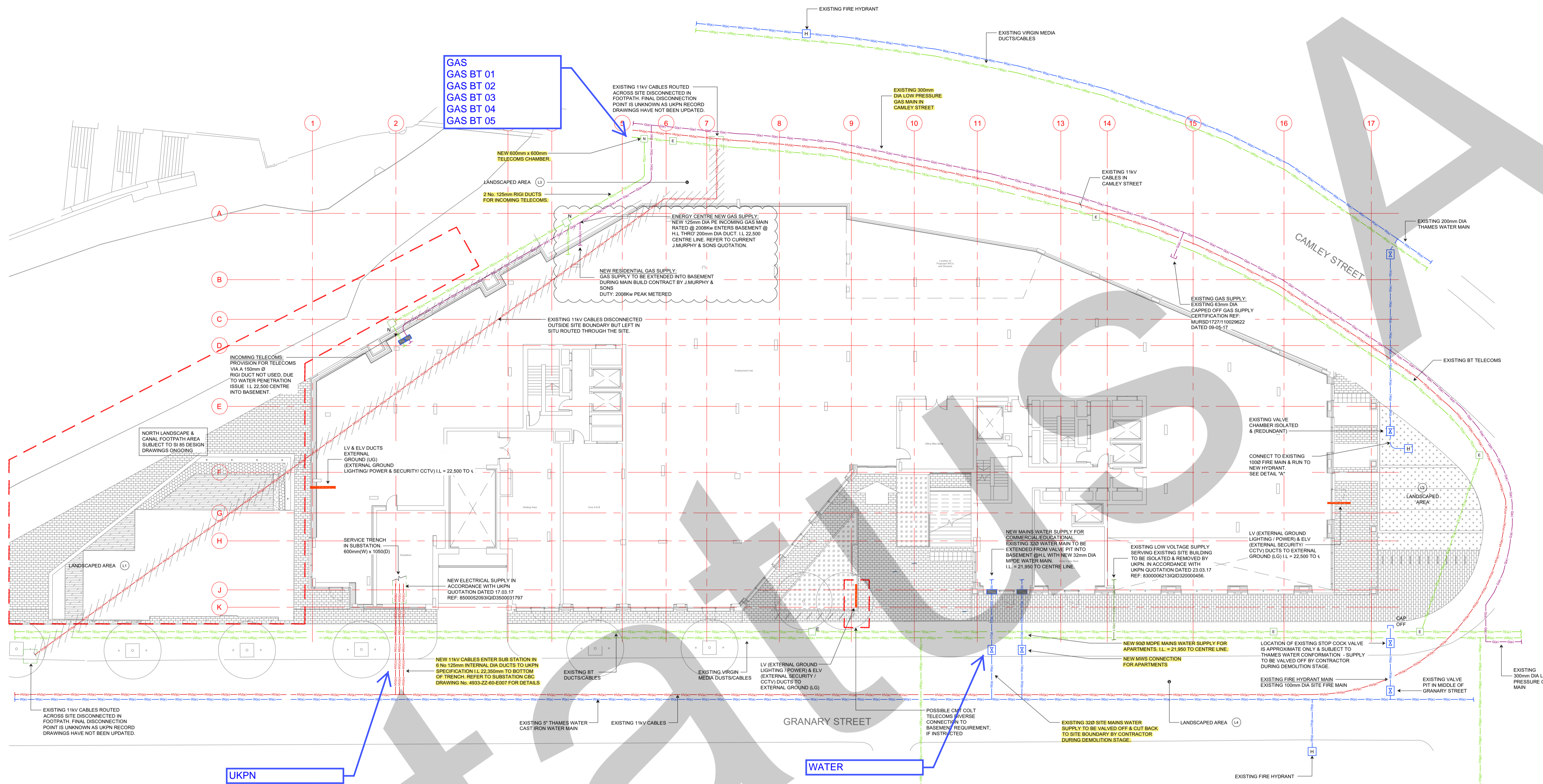
Project/Site Location: **101 CAMLEY STREET CAMDEN**

Drawing Title: **SITE PLAN EXTERNAL SERVICES**

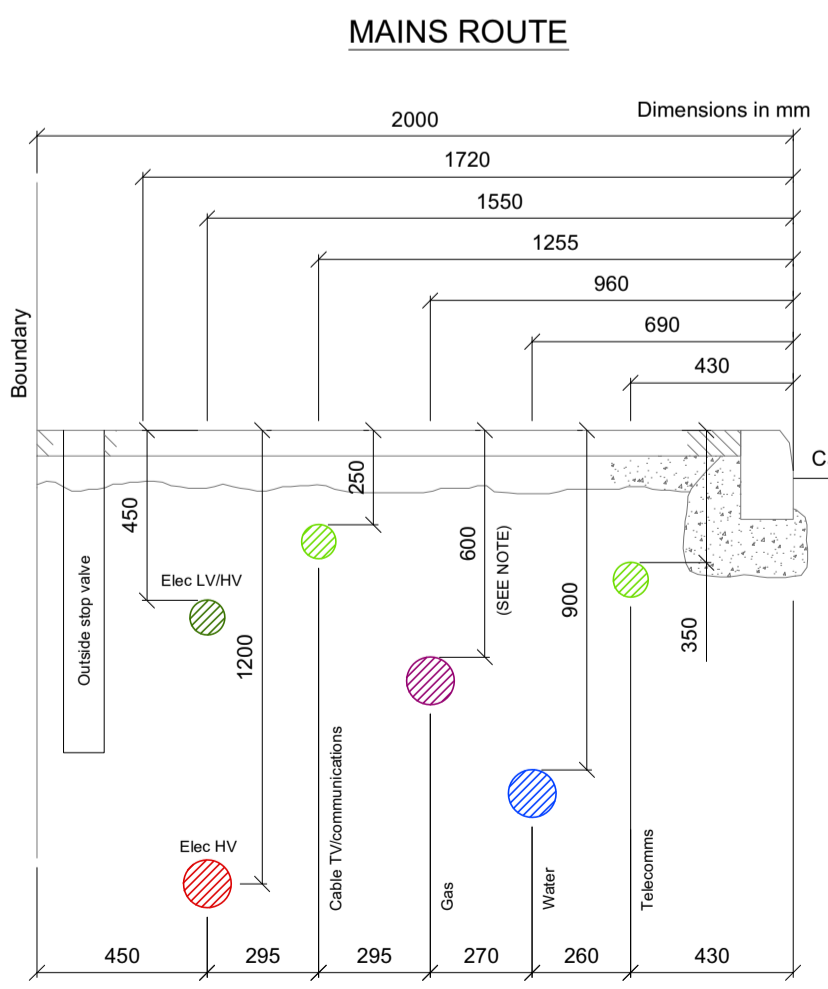
Scale: 1:200@a1	CAD: LSH	Engineer: CM	Approved: PD	Date: Feb'17
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CAD Reference: T:\4833\Outgoing\to be uploaded\electrical\4933-LG-96-Z01-C01.dwg

Drawing No: 4933-LG-96-Z001	Revision: C01
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PREFERRED LAYOUT FOR MAINS IN A 2m WIDE FOOTWAY

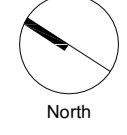


LEGEND

- LV SERVICE ROUTE
- LV SERVICE ROUTE - EXISTING
- LV SERVICE ROUTE - PROPOSED
- 11kV SERVICE ROUTE
- 33kV SERVICE ROUTE
- HV SERVICE ROUTE
- HV SERVICE ROUTE - EXISTING
- HV SERVICE ROUTE - PROPOSED
- SEWAGE - FOUL
- SEWAGE - MAINS
- SEWAGE - SURFACE
- BT SERVICE ROUTE
- WATER MAIN - GENERAL
- WATER MAIN - EXISTING
- WATER MAIN - PROPOSED
- GAS MAIN - GENERAL
- GAS MAIN - EXISTING
- GAS MAIN - PROPOSED
- GAS MAIN - LOW PRESSURE
- GAS MAIN - MEDIUM PRESSURE
- GAS MAIN - HIGH PRESSURE
- TELECOMS - EXISTING
- TELECOMS - NEW
- VIRGIN MEDIA - EXISTING

NOTES

- THE LAYOUT OF MAINS IS GENERALLY IN ACCORDANCE WITH THE 'REPORT OF JOINT COMMITTEE ON LOCATION OF UNDERGROUND SERVICES' PUBLISHED BY THE INSTITUTION OF CIVIL ENGINEERS.
- THE DIMENSIONS SHOWN REPRESENT THE PREFERRED ARRANGEMENT IN STRAIGHT ROUTES ON RESIDENTIAL ESTATES. VARIATIONS MAY BE NECESSARY AT CURVES & CHANGES OF GRADIENT.
- THE SPACE ALLOCATED IS CONSIDERED TO BE THE ABSOLUTE MINIMUM AND IN CERTAIN CIRCUMSTANCES E.G. WHERE BOTH H.V AND L.V CABLES ARE LAID - THE L.V CABLE WILL BE LAID IN THE ALTERNATIVE POSITION & ADDITIONAL WIDTH MAY BE REQUIRED.
- WHERE SERVICES ARE TO BE CONNECTED TO GAS MAINS A MINIMUM DISTANCE OF 2.0m IS REQUIRED BETWEEN THE BUILDING LINE & THE CENTRE LINE OF THE MAIN.
- REVISED IN LINE WITH IGE/TD/3. DEPTH OF COVER OF GAS MAINS IN FOOTWAY - 600mm DEPTH OF COVER OF GAS MAINS IN ROADWAY - 750mm
- MINIMUM DISTANCE OF ANY SERVICE TO ANY SURFACE/FOUL WATER STRUCTURE IS 300mm





101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	POTABLE WATER	Page Number 1 of 8





101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	UKNP	Page Number 2 of 8



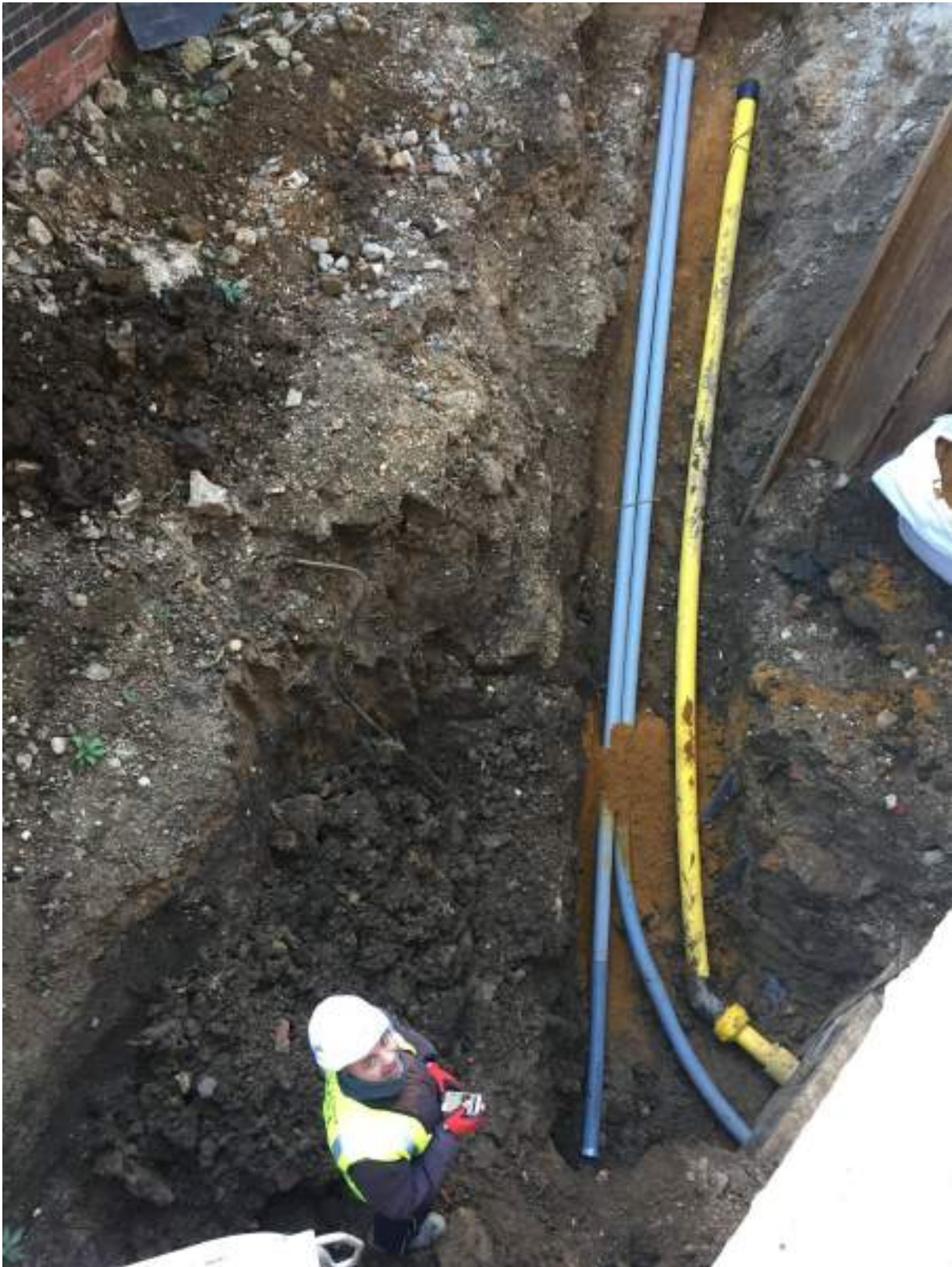


101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	GAS	Page Number 3 of 8





101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	GAS BT 01	Page Number 4 of 8





101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	GAS BT 02	Page Number 5 of 8





101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	GAS BT 03	Page Number 6 of 8





101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	GAS BT 04	Page Number 7 of 8





101 CAMLEY STREET	UNDERGROUND SERVICES INSTALLATION - PHOTOS	SRS/20/1455
	GAS BT 05	Page Number 8 of 8



METHOD STATEMENT

Date of Issue: 12th February 2019 - Version

PROJECT REFERENCE / CLIENT:

T Trivett & Sons Ltd

101 Camley Road
Kings Cross
London
NW1 0PS

Job No: 14300054 / 14395

PRE INSTALLATION OF MAINS PIPE WORK DISINFECTION CHLORINATION – BS 8558

SCOPE OF WORK:

TO CHLORINATE 1 X 10m, 90MM BLUE BARRIER PIPE PRIOR TO INSTALLATION

1) Originator

Paul Bird, Aqua2Pure Water Hygiene Ltd

2) Identification of Individuals (Key Personnel)

Name	Position / Company	Contact Number(s)
Paul Bird	Director Aqua2Pure	07808 773003
Paul Trivett	Trivett Plumbing	077748 59860

--	--	--

3) Training Requirements (where competency is a requirement)

e.g. Site Safety Induction, Crane, Fork Lift, Testing, Commissioning

City & Guilds - Legionella
Chartered Institute of Environmental Health – COSHH
Construction Scheme Certification Card
Member of the Water Management Society

4) Details of Access Equipment

E.g. Safe Access/Egress Routes, Maintenance Safe and Emergency Routes

None Required

5) Equipment Required to Carry out Work

e.g. Size, Weight, Power Rating, Necessary Certification

1 x Hand pressure pump to inject chlorine solution 3kg, no power, hand held device.
Various fittings
Barriers and Hazard ID Tape

6) Locations and Means of Fixing the Stability of any Lifting Equipment

N/A

7) Material Storage, Transportation, Handling and Security Details

None required

8) Hazard Identification and Risk Control (Supplementary to Risk Assessments)

Process	Hazard Identification	Risk Control Measures
Arrival to site and Positioning Vehicle	Other traffic Pedestrians (Children / Disabled / Elderly)	Park in manner to minimise risk of traffic accidents Use barriers and / or warning signs if necessary - or Position 'banksman' (person to warn of danger).
Site Emergency Procedures	Unawareness of procedures & provisions on site	Check / Sign in with Site Office / Representative Familiarise with Emergency & First Aid Procedures.
Lone Working	Different Manual Handling Hazards may apply Emergency & First Aid assistance maybe inaccessible	Do Not undertake Manual Handling which requires multiple person lift. Maintain contact with the site representative. Seek assistance where required.
Off-load materials and equipment	Traffic & Pedestrians (Children / Disabled / Elderly) Lifting / pulling / pushing / bending injuries	Use barriers / warning signs and / or a 'banksman' Use correct manual handling techniques.
Site set-up	Intrusion by occupiers / visitors, cables, property damage, Storage of materials and equipment	Barriers if necessary, trail hoses / cables away from walking areas. Store equipment/materials safely to avoid tripping. Protect area from dust / damage
Moving materials & equipment	Lifting / pulling / pushing / bending injuries	Use correct Manual Handling Techniques & PPE Trained person to use any lifting equipment
Use of substances	Splashes on skin / in eyes Intruding occupiers / visitors accessing substances	Wear overalls, gloves & goggles (as necessary). Secure substances to prevent access by others
Use of hand and power tools	Cuts, abrasions, bruises and loose dust / particles Electric shock / Noise / Vibration	Wear overalls, gloves & goggles (as necessary). Use Battery tools where possible. 230→110 volt connections to main via RCD & 'PAT' safety tested. Protect area from dust. Noise/Vibration assessed.
Electrical Works	Electrocution / Electrical Burns	Ensure supply is isolated by Competent Personnel only Use warning signs and/or spotter
Hot Works	Burns or Ignition hazard from Plumbing Works, etc	Follow Hot Works Policy / check with site office / representative
Use of Ladders, Steps, Bandstands, Trestles & Scaffolding	Positioning / Erecting Intrusion by occupiers / visitors Over-reaching / falls / falling objects	Barrier / cordon off area as necessary <u>Select Correct & Safe Height Access Equipment</u> Position / move equipment to prevent over-reaching Ladders / Step Ladders for brief access tasks only Trained & Competent personnel only to work at height
Slips/Trips	Slippery Floor or trailing cables/pipes in work area	Clean / Clear work area of cables, spilt fluids, etc. Materials / Tools to be stored away from walkways
Exposed Edges	Falls from nearby building edges, pits, holes, etc	Edge protection to be provided as necessary before work begins
Completion and Clearing Site	Intrusion by occupiers / visitors / pedestrians Traffic / Lifting, pulling, pushing, bending injuries	Use 'banksman' or temporarily install additional barriers / Use correct manual handling techniques

9) Detailed Work Process Specific Sequence

Including Co-operation between trades, limitations for part completion of works, Temporary Supports or Supplies

Contact the Facility Manager for working practice de-briefing
Cordon off work area with Barriers/Hazard ID Tape
Swab the pipework prior to disinfection (where practicable)
Thoroughly flush pipework (Thames temporary supply Chlorine level @0.3mg/l) prior to disinfection (1 x 10m by 90mm diameter)
Connect hand pump to pipework
Prepare **sodium hypochlorite** solution (to 50ppm)
Hand pump the solution into pipe opening (venting at the other end)
Test concentration source level (to 50ppm)
Allow **one hour contact time** for solution
Drain pipework and thoroughly flush with water
Source Of Water: temporary feed mains cleaned area
Test water after flushing (Final Free Chlorination 0.3mg/l free chlorine level)
Conduct an onsite test for **appearance, odour** and **taste**
Sample Results: to include:

- E-coli
- Total Coliforms
- Turbidity
- Plate Counts at 22°C and 37°C

Remove barriers
Clear area of any debris
Remove all tools, equipment and debris to vehicle
Notify Facility Manager of completion and issue **Certificate of Chlorination**

- Stating date disinfection and that it was carried out to BS: 8558

10) Details of Personal Protective Equipment and other Measures including:

e.g. Barriers, Signs, Local Exhaust Ventilation, Rescue Equipment, Fire Extinguishers, Gas Detection

Goggles, gloves, steel toe cap boots, high vis jacket and hard hat.

11) Environmental Limitations

e.g. Wind Speed, Rain, Temperature

All works are indoors

12) Details of Measures to Protect Third Parties (who may be affected)

Barrier put in place (taped off area)

13) The means by which any variation to the Method Statement will be authorised

Only by Paul Bird.

End



APPENDIX 8 CORRESPONDENCE RECEIVED FROM CLIENT



Ref: GCL -Ardmore-Ref 390-MM-01

27th Nov 2020

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Ardmore Group
Head Office
6 Wharf Studios
28 Wharf Road,
London N1 7GR

FAO: Clara Mazza (Design Manager- Ardmore)

Dear Sirs,

Re: Development at 101 Camley Street, Kings Cross, Camden, London, NW1 0NF- Site observations during excavation activities

Further to the above referenced site, we confirm that during the excavation and groundworks phase of construction that no areas of contamination were encountered and as such no additional precautions or measures had to be adopted for the works.

The works included the ground preparation and ground excavation following pilling for the construction of the RC basement box. All waste material removed from the site was classed as non-hazardous and a conclusive summary of the materials volumes and disposal details provided within the GCL waste haulage spread sheet attached.

We trust that the above now fully closes out the residual matters.

Yours faithfully,

Arris Ibrahim

Arris Ibrahim
Technical Manager
For and behalf of G C L

Registered in England No. 3460896 Registered Office: Printing House, 66 Lower Road, Harrow HA2 0DH
GCL is a trading name for Ground Construction Limited





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Site Remedial Services LTD
Unit 13
River Road Business Park
33 River Road
Barking
Essex
IG11 0EA

Re: Development at 101 Camley Street, Kings Cross, Camden, London, NW1 0NF

Dear Sirs,

Measures implemented during construction phase of the project:

1. Welfare facilities comply with Schedule 2 of the CDM Regulations. Regular toolbox talks carried out to remind operatives to maintain a high standard of hygiene.
2. As a minimum, all operatives are wearing mandatory PPE consisting of hard hat, hi-vis vest, gloves and steel capped boots. Other PPE is worn as required by risk assessment, e.g. cut 5 for those using sharp tools or constant labouring, lightweight gloves for managers, waterproof gloves.
3. Ardmore will take measures to ensure that any liquid of a potentially hazardous nature on site is controlled in accordance with COSHH Regulation and is properly bunded to avoid contaminants from reaching watercourses or groundwater.
4. Designated access routes are agreed with local authority to ensure that all construction traffic only uses suitable roads. At the start of the project, a high- pressure jet wash was established at the site entrance and the gate man was carefully washing all vehicles exiting the site.
5. All controlled waste generated on site is stored, transported and disposed of in accordance with Ardmore waste management procedures. This ensures that the requirements of section 34 of the Environmental Protection Act 1990 are met.

Your faithfully,

Ioan Barbu
H&S Manager
Ardmore Construction LTD

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