

27 Great James Street, London WC1N 3ES

Design and Access Statement

Householder – Listed Building Consent – In a Conservation Area

Householder – Refurbishment of Front Basement Lightwell

Proposal:

Refurbishment of wall surface treatments of Front Basement Lightwell in the Property. Removal of current cement render. Making good of underlying brickwork, including repointing. If necessary, tying front basement lightwell wall to vaults with stainless steel helical reinforcements. The refurbished brick walls will then be treated with either a breathable masonry paint or a lime render which should inhibit failure of the render to adhere to the walls and allow moisture in the walls of the well to evaporate. If treated with a lime render, the walls will be painted with a breathable masonry paint once the render has hardened sufficiently.

1. Features on existing site

The Property is a terraced house built c1720. Listed as Grade II*. It comprises four storeys and a basement. There is a front basement lightwell, enclosed by cast iron railings and with a metal staircase giving access to the front well from the street. See photo below of view from above lightwell.



There are two windows looking into the front lightwell from the basement of the Property. There is a door to the front basement room of the Property from the lightwell.

There are two vaults extending under the pavement and the road from the front basement lightwell. One of the vaults is accessible from the front basement lightwell through a door. The other vault has been closed off due to the staircase preventing access to it.

The Property is located in a terrace of almost identical houses. Almost all of these houses have the basement front lightwell rendered in one material or another.

The front basement lightwell is currently rendered with a cement render. The cement render has failed in a number of places and has separated from the front lightwell wall as can be seen in the photo below.



2. Access issues

This refurbishment proposal does not raise any access issues. The basement front lightwell is accessible from the street by a metal staircase (seen in photo above) and also through a door from the front basement room of the Property. These access methods will not change as a result of the proposed refurbishment.

3. Layout of proposed development

The proposed refurbishment of the wall surfaces of the basement front lightwell of the Property does not involve any new development.

4. Scale/Appearance of the proposed development

The proposed refurbishment of the wall surfaces of the basement front lightwell of the Property does not involve any change to the scale or appearance of the Property.

5. Landscaping of the proposed development

N/A

6. Details of how Heritage Assets have been addressed

The Property is situated in the Bloomsbury Conservation Area. Its character is predominantly residential with some commercial office space. The area comprises mainly Georgian and Victorian terraced houses laid out in traditional streets and squares. Many of the properties in the area have a front lightwell similar to that existing in the Property. In many properties in the area, the surfaces of the walls in the lightwells have been rendered with one material or another. The refurbishment of the lightwell in the Property will not change the character of this heritage asset.