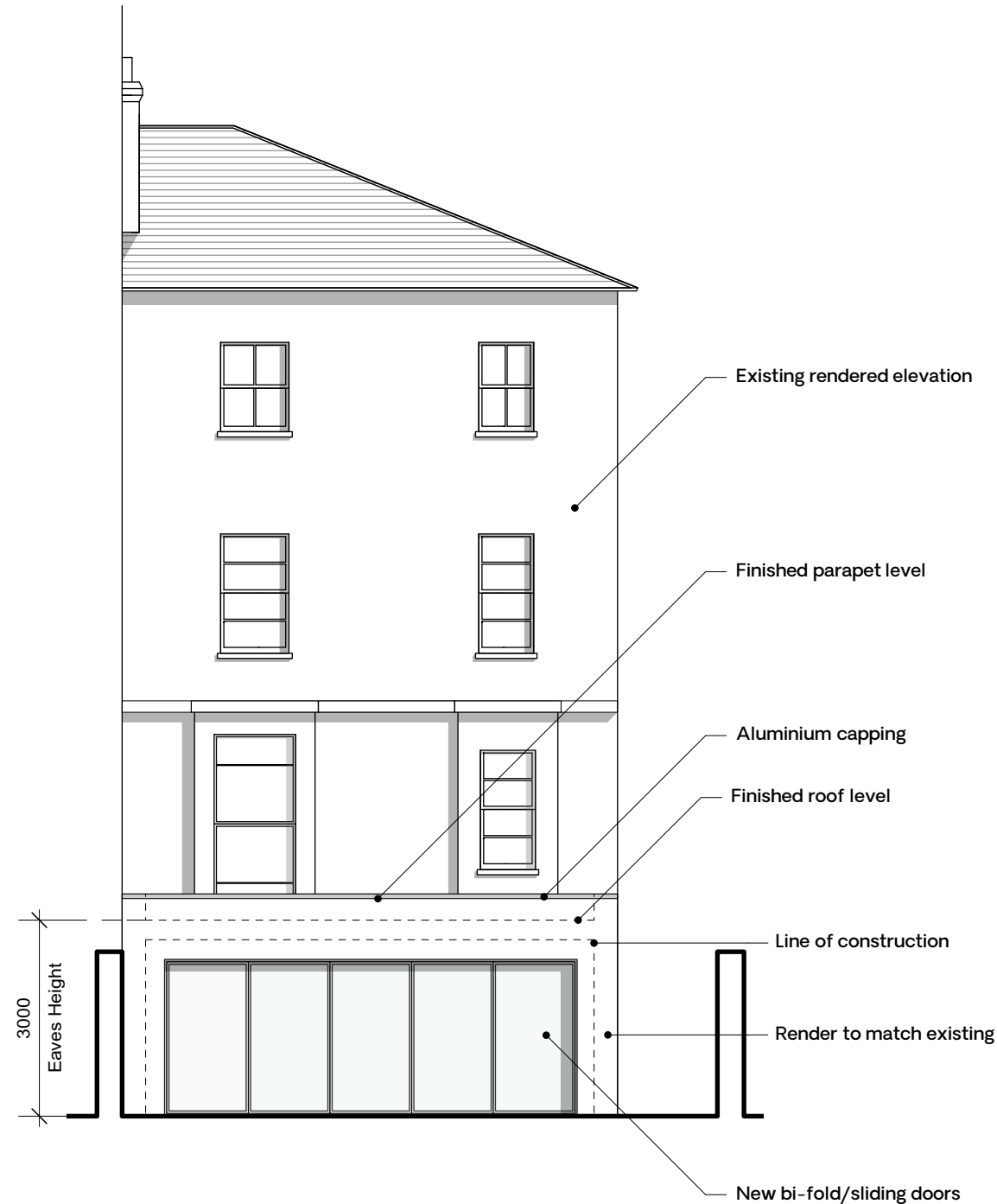


1 Proposed Side Elevation
Scale: 1:100



2 Proposed Rear Elevation
Scale: 1:100

CERTIFICATE OF LAWFULNESS NOTES

- 1 No more than 3m extension from the original rear wall of the property.
- 2 No more than 3m eaves height. As this is a flat-roofed proposal, the eaves are measured from the level of the roof finish).
- 3 The external, rendered wall finish is similar to that of the main building.
- 4 The proposal takes up less than 50% of the remaining curtilage of the property.

0 5 M

1. Do not scale off this drawing.
2. Any discrepancies to be referred to the Architect.
3. This drawing is to be read in conjunction with all relevant specifications and other drawings issued by the Architect, and other specialists.
4. This drawing is copyright and is not to be reproduced without Gunn Associates permission.
5. IF IN DOUBT, ASK.

Finished roof level noted.	19.04.2021	DG	C
Note added.	17.03.2021	DG	B
Minor amendments.	24.02.2021	DG	A

Revision description	Date	Drawn	Rev
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Client
Design Your Basement Limited
Project
29 Priory Terrace, NW6 4DG
Drawing title
Proposed Rear & Side Elevations
Drawing No.
749.PL.002
Revision
C

Status
Lawfulness
Date
22.02.2021
Drawn by
LC
Scale
1:100 @ A3