

32 CREDITON HILL

APRIL 2021



32 Crediton Hill

Planning Precedents

Introduction

This Planning Precedents document has been produced by Connect Architecture.

32 Crediton Hill is located within West End Green conservation area. West End Green is on the west side of the Borough of Camden.

The West End Green conservation area appraisal and management strategy was adopted on 28 February 2011.

West End CA appraisal and Management Strategy:

Buildings that make a positive contribution

The houses no. 1(much altered), 3-11, 15-55 odd 2-76 even of Crediton Hill relate to the core reason for the conservation area designation and significance.

This is primarily the development at the end of nineteenth and turn of the twentieth century. They have a positive effect on the environment and could be a single building, group or landmark. The Council will resist demolition.

Planning constrains:

Conservation Area Consent is required for the demolition of garden walls that are over 1m in height fronting the highway, and 2m elsewhere. The demolition of original boundary walls will be resisted.

Article 4 directions:

Article 4 Directions are implemented to control:

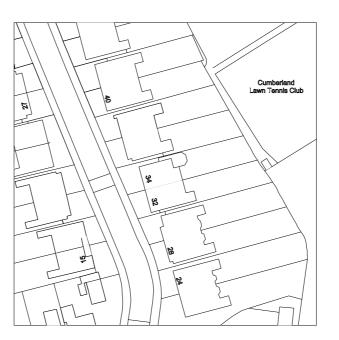
- front garden areas and boundary treatment,
- window replacements,
- external door replacements

Basement development:

When considering applications for basement extensions within the Conservation Area, the Council will need to be satisfied that effective measures will be taken during demolition and construction works to ensure that damage is not caused to the building and any buildings it directly adjoins. The Council will normally resist basement development fronting the highway due to its impact on the appearance of the Conservation Area.







West End Green Conservation Area boundary line



Planning History

<u>Site</u>

Planning history at 32 Crediton Hill within the last ten years are relatively relating to work to trees and a minor work:

- 2016/3669/T

REAR GARDEN: $1 \times Oak$ - Reduce branches overhanging the tennis club back to previous most recent cuts

- 2012/5256/T

REAR GARDEN: $1 \times Oak$ - Reduce overall by 2-3m. Lift and cut back over the tennis court, Prune to shape and tidy up. $2 \times Ash$ - Reduce overall by 2-3m. Lift and cut back over the tennis court. Prune to shape and tidy up. $1 \times Elderberry$ - Lift and cut back over the tennis court only.

- 2008/5106/T

REAR GARDEN, CLOSER TO REAR BOUNDARY: 1 x Oak - Crown reduce by 30%, remove deadwood & reshape. 1 x Oak, 2 x Sycamore & 3 x Hornbeam - Fell to ground level and poison the root. 2 x Ash - Reduce to previous pruning positions. 1 x Hornbeam - Crown reduce by 20 - 30%, remove deadwood, reshape & generally prune back overhang from Tennis Court.

- CTP/F5/7/5/4872

The construction of a footway crossing at 32 Crediton Hill, Camden.

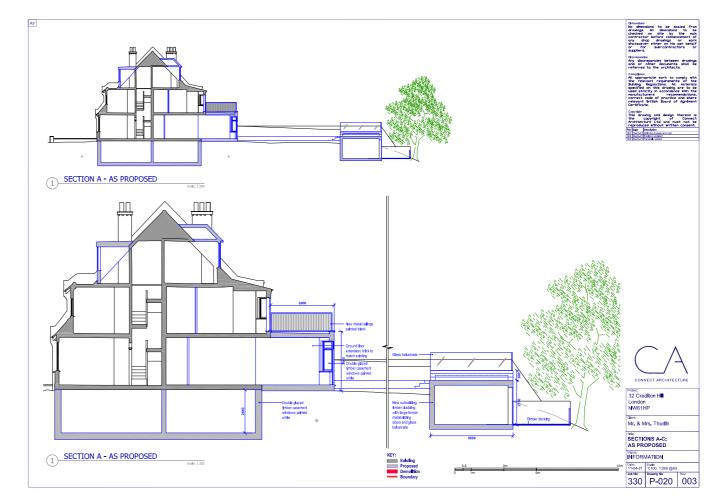




Proposals

The proposed works to 32 Crediton Hill consists of the following:

- A new basement to follow the footprint of the existing house. The basement is to share the party wall with the basement to No. 34 Crediton Hill. The basement will not be visible externally.
- A ground floor rear extension that echoes the form of the original house and reinstates the architectural heirarchy of the stepped facade. The ground floor extension is to comprise of reclaimed bricks to match the existing, double glazed timber windows and doors painted white, powder coated metal sliding doors. The extension is to have a flat roof finished with tiles and concealed with a perimeter parapet wall and metal railings painted black.
- A parital first floor extension that maintains the language and rhythm of the rear elevation to the property and surrounding context, in that it is stepped back from the canted bay. This first floor extension is to be rendered to match the existing. The new windows are to be double glazed timber casements painted white.
- The 2no. existing rear dormer windows are to be be replaced and increased in size. The massing and form is to remain subservient to the the main roof and echoes other dormers to the rear elevations of Crediton Hill. The materiality is to match existing.
- To form a dormer to the front elevation; this is a common feature visible from the street scene of Crediton Hill. The dormer is subservient to the main roof and is required to create a plan form suitable for 21st century family living of this size; it will allow for a bathroom to serve two bedrooms. The dormer is to have a lead roof and lead dormer cheeks, the windows are to be double glazed casements painted white.
- To create a new outbuilding ancillary to the main house at the end of the garden. The outbuilding is to utilise the existing steep gradient of the ground and is to be partially recessed into the slope to minimise its massing. The outbuilding is to house a gym, shower an sauna. The sauna is to have a wood burning stove, which would be the Narvi NC16, claimed by the manufacturer to be the cleanest burning stove in the world; smokeless logs to be used. The outbuilding is to be timber clad with timber decking and large format sliding doors; powder coated metal. There is to be a glass balustrade.
- The existing hard landscaping is to be adjusted to provide a step free access from the side passage. New planters are proposed within the garden. The front garden dwarf bounday walls are to be replaced with reclaimed bricks to match the house and the street; the driveway is to be widened by 800mm to create improved access and the dropped kerb is to remain unchanged. A built-in barbeque is proposed using bricks to match the existing.
- Sustainability is a driving factor behind the designs; all the windows are to be double glazed, with insulation added throughout. Furthermore, the designs are looking to utilise solar panels to the main roof pitch, ground source heat pumps to the heat the property via vertical boreholes within the garden. An air source heat pump is proposed to heat the outbuilding and provide a back-up to the main house.







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