



32 CREDITON HILL

APRIL 2021

32 Crediton Hill

Planning Precedents

Introduction

This Planning Precedents document has been produced by Connect Architecture.

32 Crediton Hill is located within West End Green conservation area.
West End Green is on the west side of the Borough of Camden.

The West End Green conservation area appraisal and management strategy was adopted on 28 February 2011.

West End CA appraisal and Management Strategy:

Buildings that make a positive contribution
The houses no. 1(much altered), 3-11, 15-55 odd 2-76 even of Crediton Hill relate to the core reason for the conservation area designation and significance.

This is primarily the development at the end of nineteenth and turn of the twentieth century.
They have a positive effect on the environment and could be a single building, group or landmark.
The Council will resist demolition.

Planning constrains:

Conservation Area Consent is required for the demolition of garden walls that are over 1m in height fronting the highway, and 2m elsewhere. The demolition of original boundary walls will be resisted.

Article 4 directions:

Article 4 Directions are implemented to control:

- front garden areas and boundary treatment,
- window replacements,
- external door replacements

Basement development:

When considering applications for basement extensions within the Conservation Area, the Council will need to be satisfied that effective measures will be taken during demolition and construction works to ensure that damage is not caused to the building and any buildings it directly adjoins.
The Council will normally resist basement development fronting the highway due to its impact on the appearance of the Conservation Area.

West End Green Conservation Area



Fig 1: 'Site'

West End Green Conservation Area boundary line



Planning History

Site

Planning history at 32 Crediton Hill within the last ten years are relatively relating to work to trees and a minor work:

- 2016/3669/T

REAR GARDEN: 1 x Oak - Reduce branches overhanging the tennis club back to previous most recent cuts

- 2012/5256/T

REAR GARDEN: 1 x Oak - Reduce overall by 2-3m. Lift and cut back over the tennis court, Prune to shape and tidy up. 2 x Ash - Reduce overall by 2-3m. Lift and cut back over the tennis court. Prune to shape and tidy up. 1 x Elderberry - Lift and cut back over the tennis court only.

- 2008/5106/T

REAR GARDEN, CLOSER TO REAR BOUNDARY: 1 x Oak - Crown reduce by 30%, remove deadwood & reshape. 1 x Oak, 2 x Sycamore & 3 x Hornbeam - Fell to ground level and poison the root. 2 x Ash - Reduce to previous pruning positions. 1 x Hornbeam - Crown reduce by 20 - 30%, remove deadwood, reshape & generally prune back overhang from Tennis Court.

- CTP/F5/7/5/4872

The construction of a footway crossing at 32 Crediton Hill, Camden.



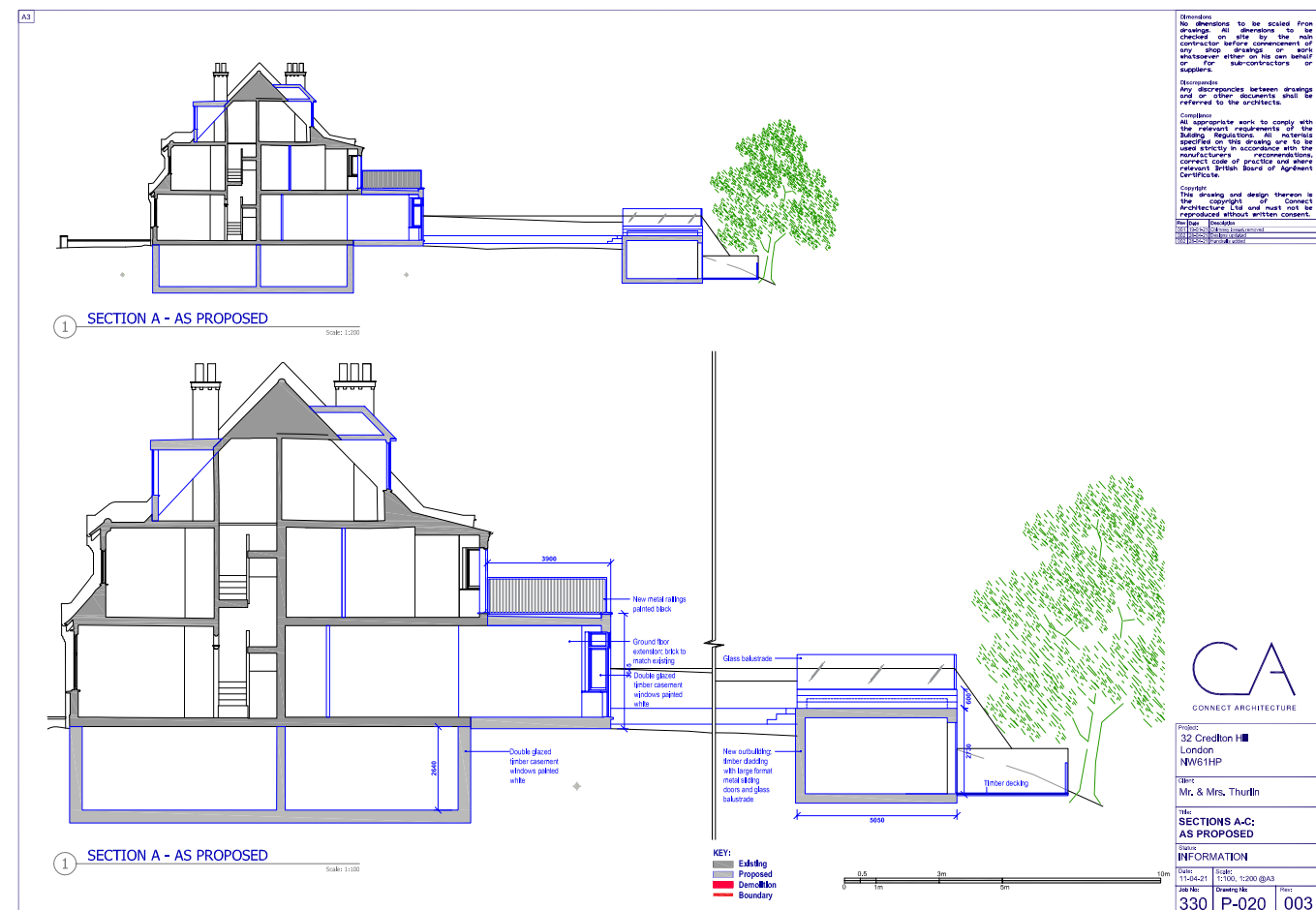
The proposed works to 32 Crediton Hill consists of the following:

- A ground floor rear extension that echoes the form of the original house and reinstates the architectural hierarchy of the stepped facade. The ground floor extension is to comprise of reclaimed bricks to match the existing, double glazed timber windows and doors painted white, powder coated metal sliding doors. The extension is to have a flat roof finished with tiles and concealed with a perimeter parapet wall and metal railings painted black.

- The 2no. existing rear dormer windows are to be replaced and increased in size. The massing and form is to remain subservient to the the main roof and echoes other dormers to the rear elevations of Crediton Hill. The materiality is to match existing.

- To create a new outbuilding ancillary to the main house at the end of the garden. The outbuilding is to utilise the existing steep gradient of the ground and is to be partially recessed into the slope to minimise its massing. The outbuilding is to house a gym, shower and sauna. The sauna is to have a wood burning stove, which would be the Narvi NC16, claimed by the manufacturer to be the cleanest burning stove in the world; smokeless logs to be used. The outbuilding is to be timber clad with timber decking and large format sliding doors; powder coated metal. There is to be a glass balustrade.

- Sustainability is a driving factor behind the designs; all the windows are to be double glazed, with insulation added throughout. Furthermore, the designs are looking to utilise solar panels to the main roof pitch, ground source heat pumps to the heat the property via vertical boreholes within the garden. An air source heat pump is proposed to heat the outbuilding and provide a back-up to the main house.



CONNECT ARCHITECTURE
223 South Park Road, London SW19 8RY

ConnectArchitecture.co.uk
MW@ConnectArchitecture.co.uk
+44 (0) 7919 408 252

