

87 Patshull Road, Kentish Town, London, NW52LE

16th April 2021

Ref: 87PR_pl_2.8

Statement

1.0 SITE LOCATION

- 1.1 87 Patshull Road is located in Kentish Town within sub area 2 of Bartholomew Conservation Area; The Dartmouth Family Estate
- 1.2 The property is not listed
- 1.3 The site does not fall within any other designated land including national parks, Areas of Outstanding Natural Beauty, and World Heritage Sites
- 1.4 The road consists mainly of 3.5 storey buildings which are mainly semi-detached or early Victorian houses.
- 1.5 Approvals for new sky lights and changes in roof materials have been allowed for similar properties on the same side of the road - for example:
 - 60 Patshull Road - 2021/0298/P - Enlargement of the existing rear dormer at roof level and replacement of fake slate roof tiles with new natural slate tiles
 - 66 Patshull Road - 2012/1354/P - The formation of a rear terrace with glass balustrade and new door at second floor level, installation of 2x roof lights, installation of doors to replace existing on rear elevation at ground floor level to existing dwelling house (Class C3)
 - 14b Patshull Road - 2019/4507/P - Installation of 3 roof lights to rear roof slope and erection of railings to form a rear roof terrace at second floor level with associated alteration to rear window to form an access door
 - 44 Patshull Road - PEX0200212 - Alterations to the roof comprising the installation of two roof lights on the front and rear roof slopes
 - 70 Patshull Road - 2019/0753/P - Installation of 2 rooflights within front roofslope.

BUILDING FEATURES, HISTORY AND CONSERVATION

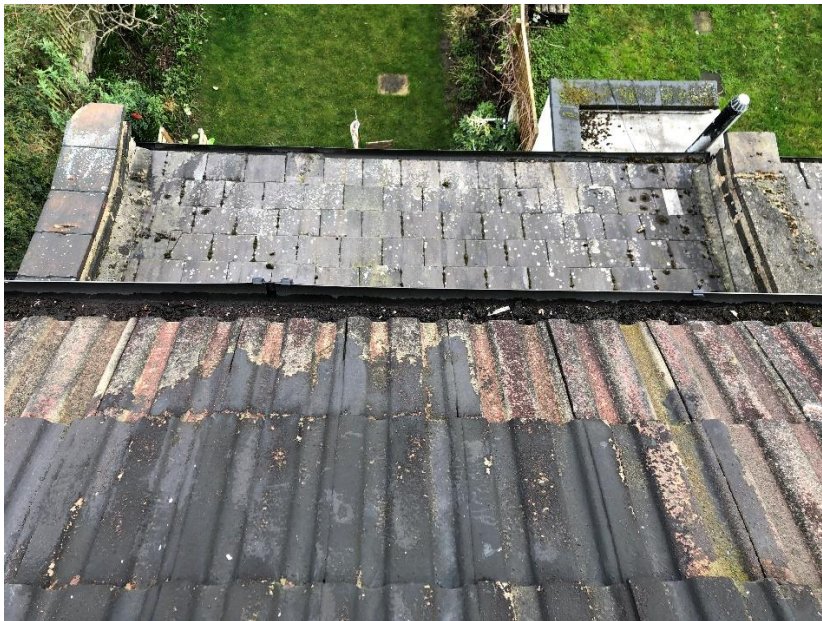
- 1.6 The existing dwelling is a semi-detached three-storey early Victorian house within the Bartholomew Estate Conservation Area
- 1.7 The property lies within sub group 2 of the conservation area - The Dartmouth Family Estate which is noteworthy for its “narrow and treelined streets. The properties are noted for being three storey semi-detached villas and terraces with narrow plot widths and flush entrance without basement areas. Although modest, the interest and quality of these streets lies very much in the attention to detail. For example red brick dressings and decorative patterning with painted coade stone emphasising lintels, keystones and shallow decorative pot balconies. Decorative metal balconettes at the first floor are featured throughout this sub-area. Predominantly, elevations are flat fronted with tripartite windows to the ground floor level.”
- 1.8 Highlighted as a negative feature of the area is the change of existing slate roof tiles with modern alternatives in the mid 20th century. The council says “the replacement of the original natural slate with either artificial slates or inappropriate concrete tiles is becoming more prevalent and undermines the architectural quality and homogeneity”
- 1.9 The property has a pitched hipped roof with a lead-clad dormers to the side and rear and two front skylights. The walls are of London stock Brick with timber sash windows. The property has storage within the side alleyway and two original 2 storey extension to the rear
- 1.10 The property’s front elevation faces onto Patshull Road at the South, and to the north there is a well sized private garden
- 1.11 The site is rectangular in shape and is situated on a road with access for pedestrians and vehicles
- 1.12 The existing building is used as a single dwelling over four storeys, including: a kitchen, dining room and utility area on the ground floor; a sitting room, a bedroom with en-suite and a WC on the first floor; one-bedroom, a bathroom and a study on the second floor and a studio on the third floor. The loft space is original and it has a large side dormer, a small rear dormer, 2 front rooflights and a rear window. There is also a small existing roof light to the flat roof area



Figure 1; Existing Front / South Elevation



Figure 2; Existing Rear / North Elevation



*Figure 3; Existing roof materials as views from the third floor dormer
Showing original slates to 2 storey rear extension with non original roof
tiles to the main roof*

2.0 THE PROPOSED DEVELOPMENT AND DESIGN APPROACH

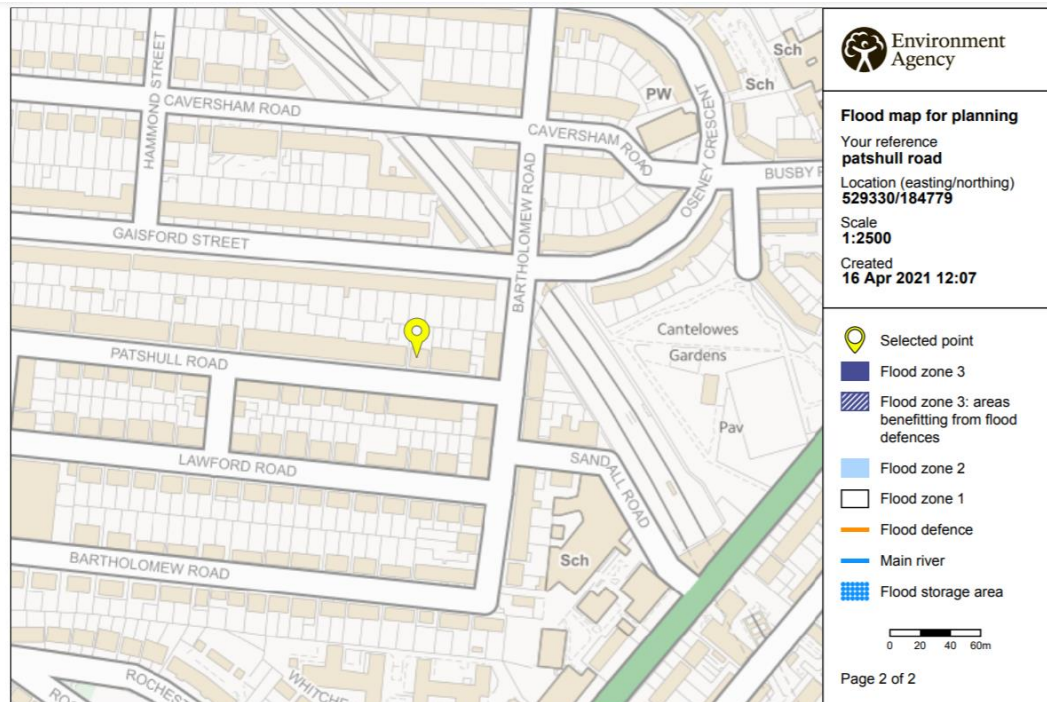
- 2.1 We propose to replace the existing roof tiles with new slate tiles. This material change will reinstate the original appearance of the property whose key architectural features were originally its London stock brick façade, timber sash windows and slate tile roof. Please refer to point 1.8. This material change is considered a “restoration of a missing feature” as set out in point BE7 of the Bartholomew Estate conservation area statement ; “where [materials were] removed in the past, replacement with suitable copies will be encouraged”
- 2.2 It is proposed to replace the existing 2 roof lights to the front elevation with a single conservation rooflight that will align centrally with the internal studio space. The use of a conservation roof light will respect the character of the area and minimises visual impact from street level.
- 2.3 We also proposed to replace and enlarge the existing flat roof light to pull much needed natural light into the studio space. This roof light will not be visible from street level and would fall under permitted development rights if the property was not within a conservation area.
- 2.4 The proposals would also have no impact on the neighbouring properties in terms of sense of enclosure and amount of daylight received as the proposals are material only, and will not introduce additional mass or overlooking.

3.0 SUSTAINABILITY

- 3.1 All new construction will comply with current Building Regulations Part L.

4.0 FLOOD RISK

4.1 The area falls within a flood zone 1.



Source: Environment Agency website