

Heritage, Design and Access Statement

Planning Application for the construction of a roof terrace at upper ground floor level and the installation of two French doors, one to access the roof terrace and the other with a Juliette style balcony

to

4 Compayne Gardens, London NW6 3DH



Prepared by



Introduction

This Heritage, Design and Access statement accompanies a planning application for the construction of a roof terrace at upper ground floor level and the installation of two French doors, one to access the roof terrace and the other with a Juliette style balcony at 4 Compayne Gardens, London NW6 3DH, within the South Hampstead Conservation Area.

The Site and Surrounding

4 Compayne Gardens is a four-storey detached building in the South Hampstead Conservation Area in the London Borough of Camden. Specifically, regarding the application site, the property falls under designation 1 in map 7 of the South Hampstead conservation area character map and the building is described in map 9 of the South Hampstead conservation area townscape as positive, much of the original building has architectural merits that are in line with the adjacent buildings within the area.

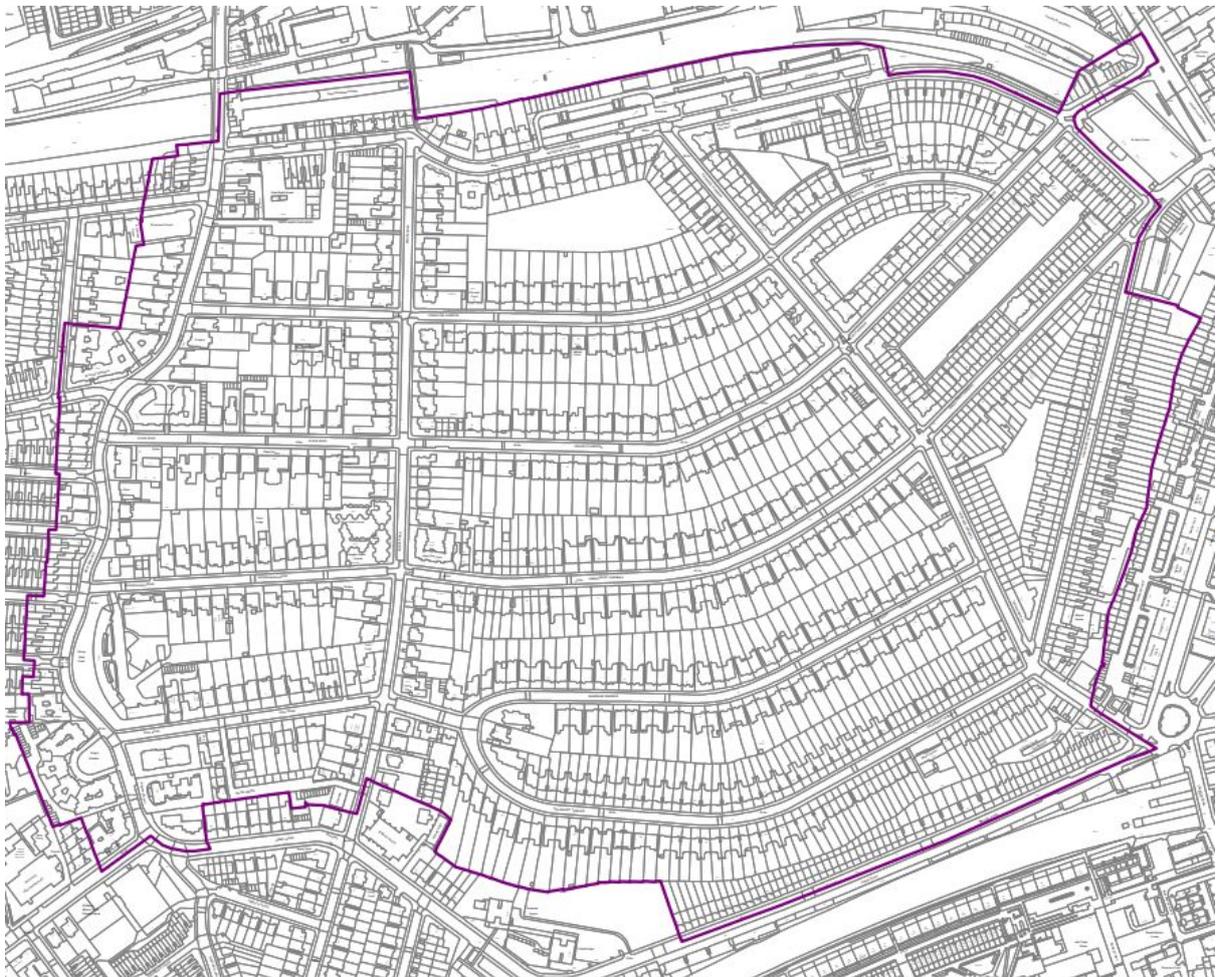


Figure 1: South Hampstead Conservation Area Map

Appraisal of Property

The host property is located on the north side of Compayne Gardens which is predominately made up of terraced and semi detached properties of four storeys.

The host property comprises of a detached building which was erected circa 1870. The façade is of solid brickwork. The brickwork is in Flemish bond with the original sand and cement jointing between exposed brick faces. There is a Roman style arch with central key bricks over the hall door with the arch supported on corbel brickwork.

There are front brick columns projecting a half brick which continue up to support a three-brick corbel which forms part of a horizontal band extending over the entrance and continuing over all three sides of the front splayed bay window. There are similar Roman style arches over the bay windows with projecting key bricks over the display bay central arch, there is a stone band beneath the bay front and splay windows with recessed brick panels in the bay wall beneath.

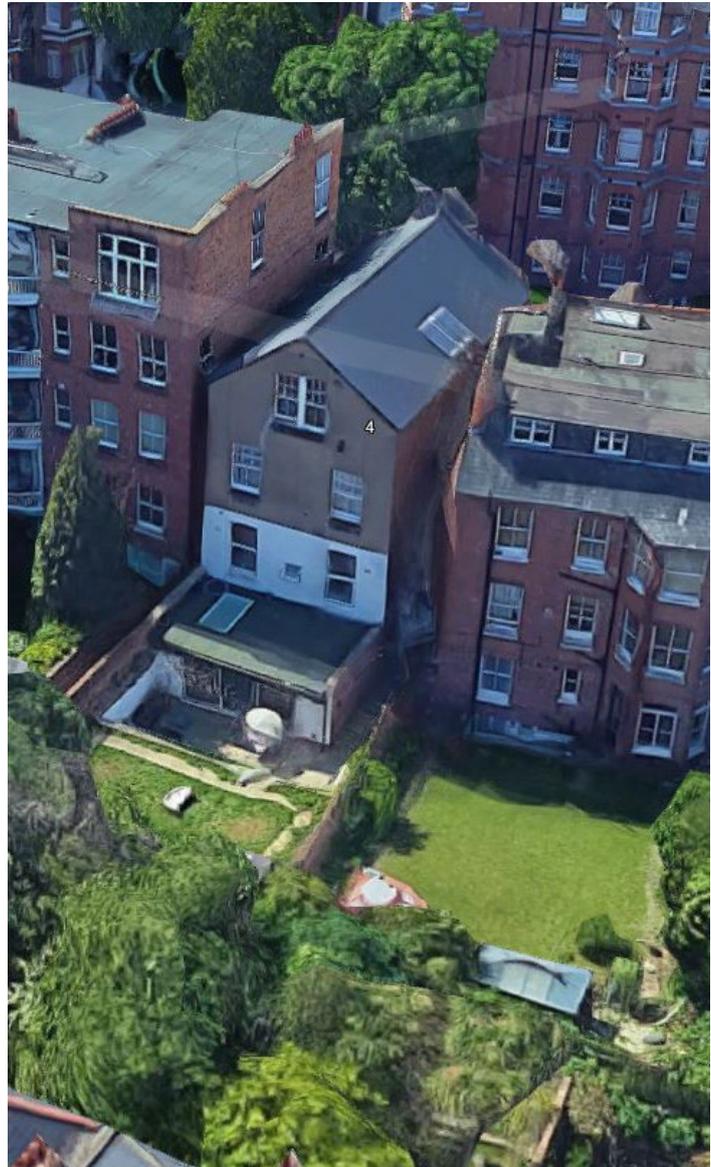


Figure 2: Aerial Rear View of 4 Compayne Gardens

There are brick columns emerging from the front elevation with horizontal corporate brick cornices which are detailed around the brick columns. Both side columns are topped with ball finials. The top is finished as a gable parapet wall with corbelled brick coping with a raised central brick on edge detail. The masonry over the upper floor windows is supported on flat brick arches with corbelled brick over.

To the rear similar details with a rendered finish to the external wall at upper ground floor level and to the lower ground floor level a rear flat roof extension with sliding doors and flat roof light over.

The garden is tiered from the lower ground floor level up to the rear garden finished level.

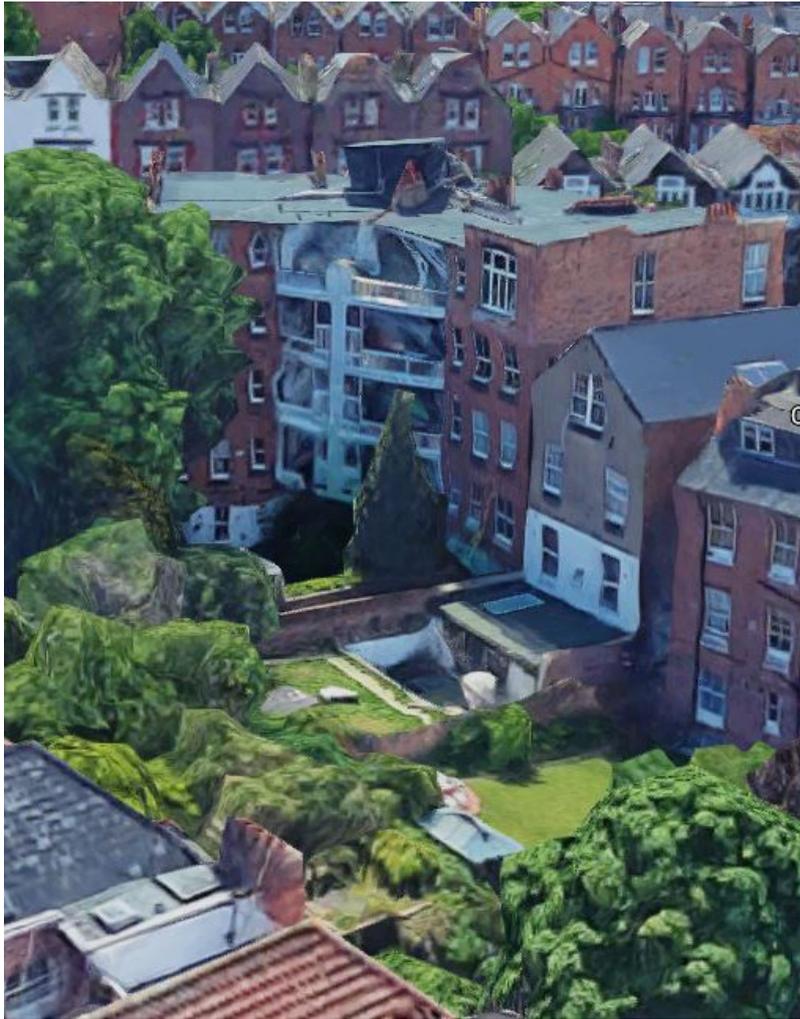


Figure 3: Aerial Rear View of 4 Compayne Gardens

Design Statement

The Design Process

Originally the flat roof over the lower ground floor rear extension had been used as a roof terrace, however this was subject to enforcement and the original windows were reinstated and flat roof returned with no access for use.

The design to support this application looks to create a small roof terrace for use over part of this flat roof area limited to some 8.5sqm overall area. The proposal looks to apply the requirements set out in Camden's Home Improvements Planning Guidance published in January 2021, specifically section 2.2.3 balconies and terraces.

2.2.3 BALCONIES AND TERRACES

Balconies can provide valuable amenity space, especially for flats that would otherwise have little or no private exterior space. When considering a balcony for your property, it is important you appreciate the impact of this alteration on the roof form, host building, wider area and neighbouring amenity.

Depending on their size, balconies could generate harmful noise disturbance to your neighbours when in use. The intensity of the use of a balcony depends on the size and number of people they could accommodate at one time. A modest balcony is more likely to receive consent than larger ones.



Photo 30

There are certain considerations that should be taken into account when designing a balcony, to ensure it is sensitively and appropriately designed for its context. A new balcony should:



- Be subordinate to the roof slope being altered, and roof form overall;
- Preserve the roof form and complement the elevation upon which they are to be located;
- In case of pitched roofs, be set in within the roof slope, when possible;
- Should maintain the existing parapet height;
- Handrails and balustrades should be set back behind the line of the roof slope or parapet;
- Carefully consider materials for enclosure:
 - For traditional buildings, metal railings are preferred as they integrate well with the building's character, are more resilient, require low maintenance, support plants growth;
 - Glass balustrades could be appropriate for modern buildings with thin frames, or frameless; note they can generate sun reflection, are difficult to maintain clean, and do not support plants growth.
 - Timber balustrades could be appropriate at lower levels;
 - Raised parapets could contribute to shading where necessary and have different patterns, such as hit and miss brick pattern.
- The design of the balcony should take into account the risk of creating climbing opportunities for burglars;

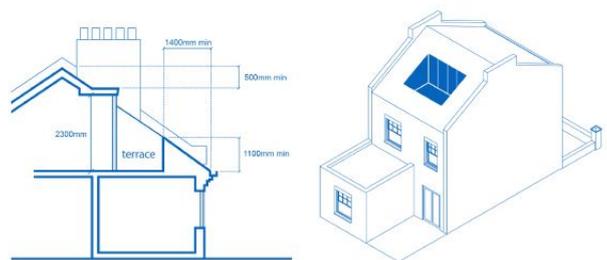


- Consider spaces for planters within your balcony for screening and enhancement;
- When deemed necessary, privacy screens should be made of natural materials and allow plants to grow on them; plants act like a sound barrier, provide shade and lower air temperature;



- Be located at the rear of properties to ensure no impact on the streetscene and wider area;
- Be set back from roof's margins;
- For balconies as part of a roof extension within a valley roof, the front and rear parapet of buildings should be retained and balustrades to sit behind them;
- When deemed necessary, privacy screens should be no less than 1.8m in height, made of natural materials and support plants to grow on them.

You should engage with your neighbours prior to submitting an application for a balcony, so you can appreciate the impact this would have on their amenity.



Modest balcony, set in within the roof slope provides amenity space and retains the roof form.

Layout

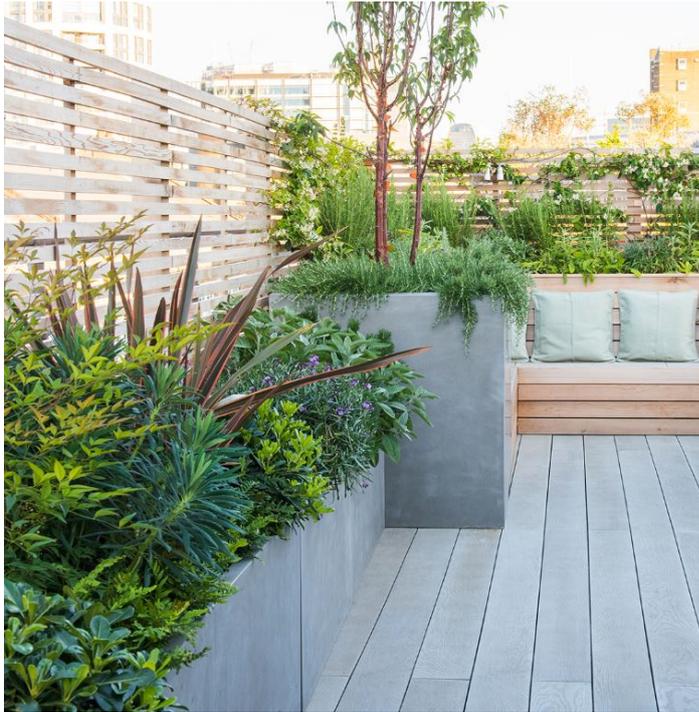
The proposal seeks to incorporate a modest roof terrace over part of the lower ground floor extension, the location and design of the terrace has been considered to ensure all elements of Camden's home improvements planning guide have been adhered along with consideration for the amenities of the neighbouring properties.

Appearance

The proposal looks to incorporate all the elements of the home improvements planning guide of January 2021 for balconies and terraces, the use of soft natural timber to frame the terrace in conjunction with the use of evergreen planting to the internal perimeter of the terrace to provide additional soft screening and sound reduction properties.

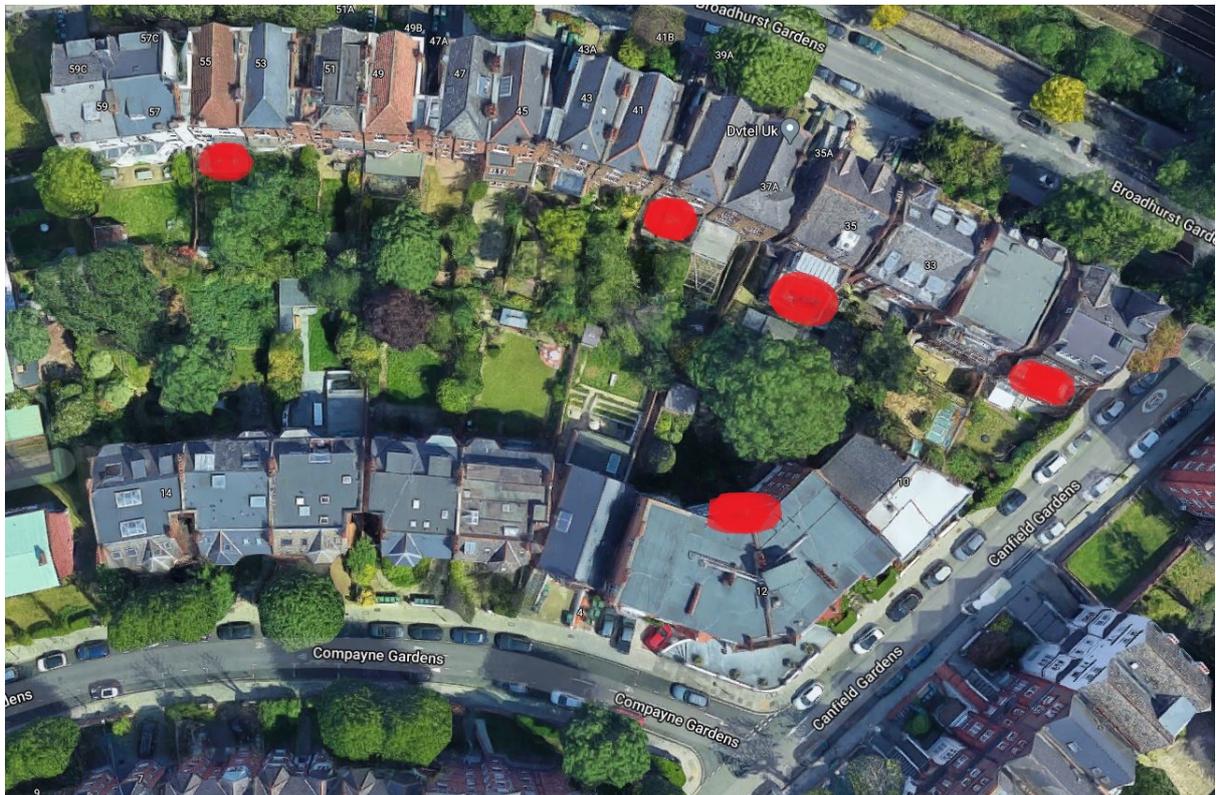
The removal of the existing rear sliding sash windows and the replacement of these with French doors and fan lights over will provide a symmetry balance to the rear elevation and the strict use of material and glazing style to these to match the host property will ensure a soft integration into the host building. The use of cast iron metal railings and balustrade to the Juliette balcony is in keeping with the style of the area.

We do not consider that the proposal will negatively impact the character of the conservation area and is appropriately designed in accordance with the design guide. See example below of screening and planting.



Local Examples

As part of the design process GBS Architectural has reviewed the local area to ascertain the level of roof terraces in the adjacent properties, we have highlighted on the aerial image below the roof terraces in use in the immediate area.



Heritage Statement

The South Hampstead Conservation Area has similar and larger roof terraces and balconies in the immediate vicinity of the application site and there are numerous precedents established for terraces in the local area.

We do not consider that the proposal will negatively impact the character of the conservation area will remain in keeping and subservient to the host property whilst also ensuring protection of the neighbouring properties amenities.

Residential Amenity

The proposal is well within height and depth limitations and the nearest properties will be unaffected by a loss of daylight or privacy demonstrated using the 45-degree rule. Attention has been made to ensure the proposed terrace is set in well enough from the boundaries and the sides and rear of the existing lower ground floor extension to reduce impact on neighbouring properties and to prevent overlooking issues. The strategic use of soft natural timber balustrade and screening will add to this along with the additional planting screens to assist in noise reduction potentially produced from the use of the terrace.

We do not consider there to be a long-term impact upon the neighbouring properties or local street scene outside of the initial construction itself.

Access Statement

The existing access arrangements into the property will be maintained, as stated in the design and above new access will be provided to the roof terrace by removing the existing sliding sash window and replacing it with a set of French doors and fan light over.

Conclusion

Our proposal complies with Camden's Home Improvements Planning Guide of January 2021 and the inset of the roof terrace and its material construction gives considerate thought to the impact of the proposal on the host building and the adjoining properties. It is considered that the application should be respectfully approved on the basis set out in this statement and on the design drawings.