

HERITAGE STATEMENT

for

Mansard extension

at

**17 FITZROY ROAD
PRIMROSE HILL
LONDON NW1 8TU**

Matthews & Son LLP
26/27 Bedford Square
London WC1B 3HP

Ref: DAS/13911
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t: 020-7387 8511
e: das@matthewsandson.co.uk

Site

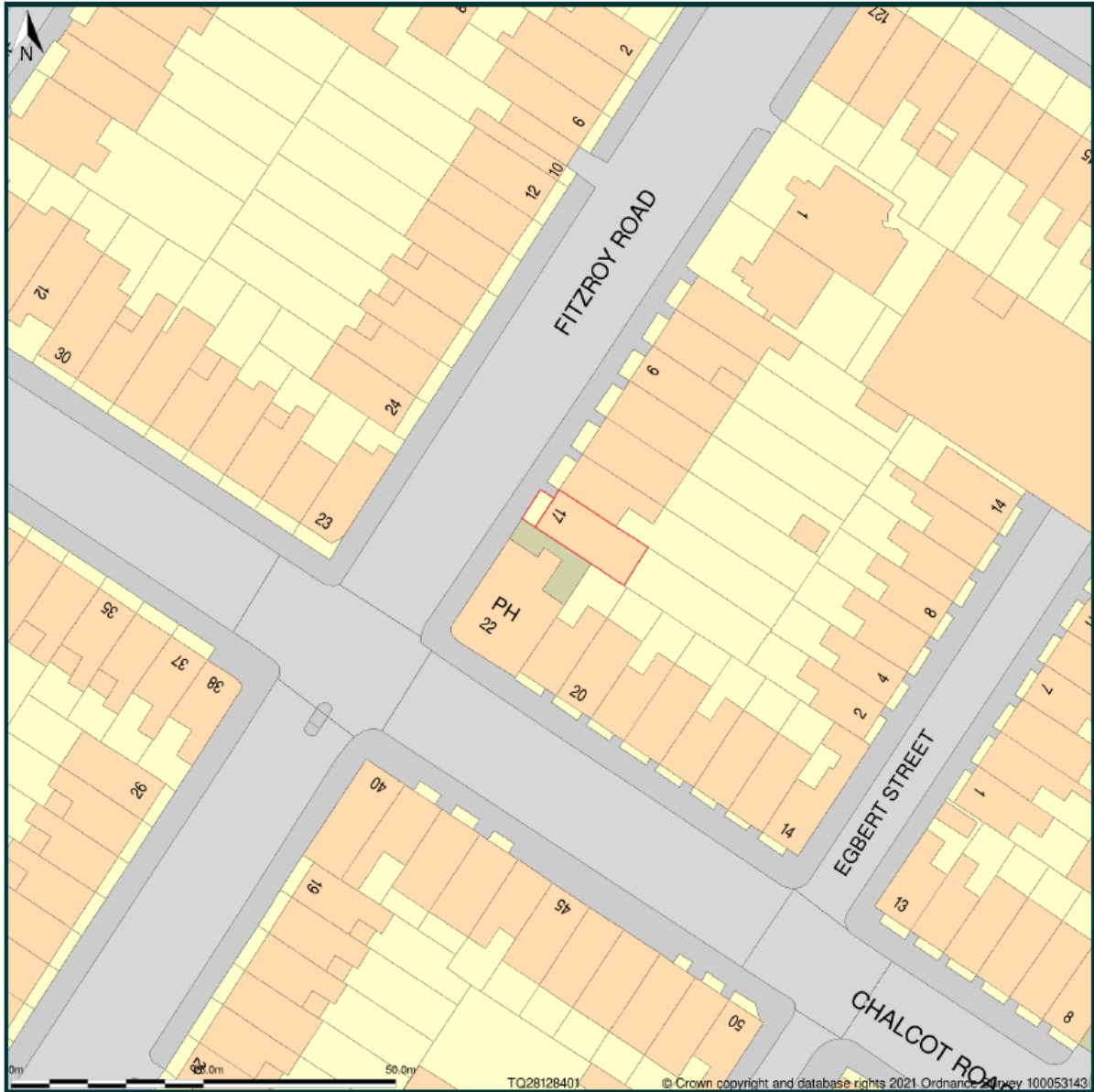


Fig. A 1:1250 location plan of 17 Fitzroy Road



Fig. B 17 Fitzroy Road front elevation

- 1. Have you assessed the elements which constitute the historic and special architectural interest/character of the building? If there is particular adverse impact on these, explain what is the purpose of your proposal, why is it necessary and what approach of the design has been taken to minimize impact.**

The historic and architectural interest of the building and surrounding area has been assessed thoroughly for the scheme.

The existing architectural details that are of historic interest will remain intact.

Those of note on the front elevation being the banded stucco render covering the ground and lower ground floors, ornate stone mouldings around windows and projecting cornice with dental course just below parapet level. The continuation of the dental course with the adjoining property is important and this will be maintained.

On the rear elevation, the sloping V shaped parapet wall running parallel to the existing butterfly roof will remain in its current configuration.

Alterations to existing elements;

Roundels to front parapet and box gutter

On the front elevation there is an existing rendered parapet wall at roof level with piers at either end and a coping stone detail. The proposed works will alter the parapet wall by raising the height and adding roundels to the design.

The design of the roundels to No 17 should match the existing roundels to No 7. If future roof extensions are proposed for the four houses between No 7 and No 17, the identical roundels can be included in the design. The end result will be that matching roundels will form a coherent architectural and design feature linking the houses Nos 7 to 17 Fitzroy Road (odd numbers).

The design of the roundels to No 17 are similar to 19 to 29 Fitzroy Road (6 houses) and 26 to 36 Fitzroy Road (6 houses).

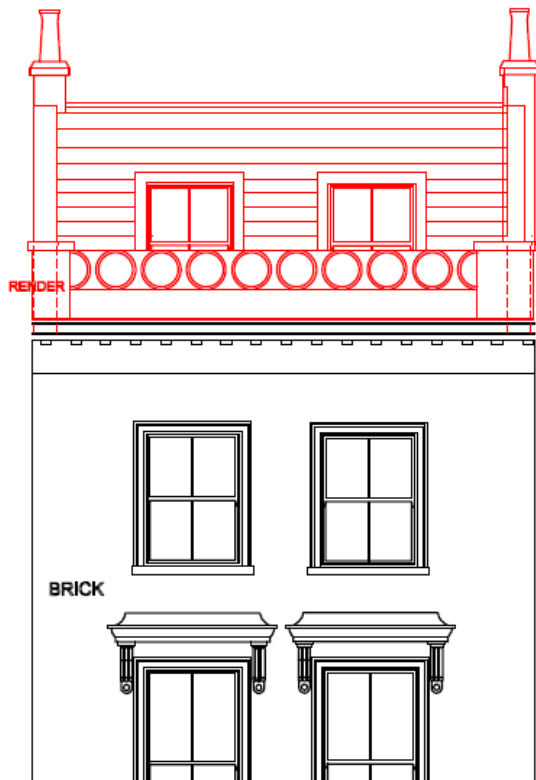


Fig. C Proposed Mansard extension and parapet roundel detail to front elevation

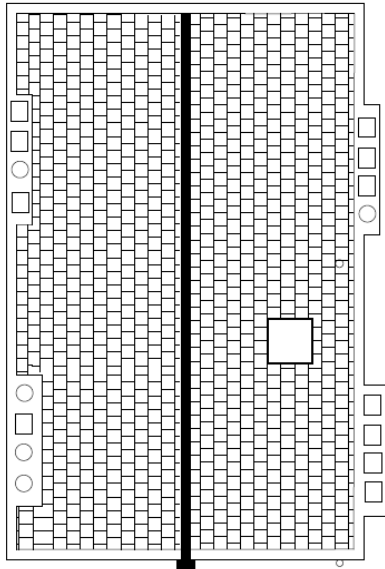
A new box gutter will be created spanning between the parapet and new mansard roof, which will be set back from the front elevation and will only partially be visible from street level at certain angles. The outlet from the box gutter will run internally through to the rear box gutter and discharge, thus avoiding the need for any new pipework.

Roof

The existing roof is a slate covered London butterfly roof which feeds into a central valley. The valley gradient runs to the rear elevation into a hopper and downpipe. The proposal for the roof is to replace the butterfly roof with a front and rear natural slate covered mansard set back from the elevations, and a flat roof spanning between the front and rear mansard sections covered in 3 layer felt. A new roof light is proposed to the rear parts of the new flat roof to enhance natural light into the new third floor and provide an access hatch up to the roof for future maintenance. Two projecting dormers are proposed to the front elevation, covered in lead.

To achieve this arrangement, the party wall and end of terrace wall will be raised to accommodate the increased roof height, which will involve increasing the height of the chimney stacks. The extensions to the end of terrace wall and party wall with no.15 Fitzroy Road will be built in solid London stock brickwork to match existing, therefore being sympathetic to the existing style. The chimneys will be formed as they are currently, with 4 chimney pots to each stack and in a style to match the local area.

EXISTING ROOF PLAN



PROPOSED ROOF PLAN

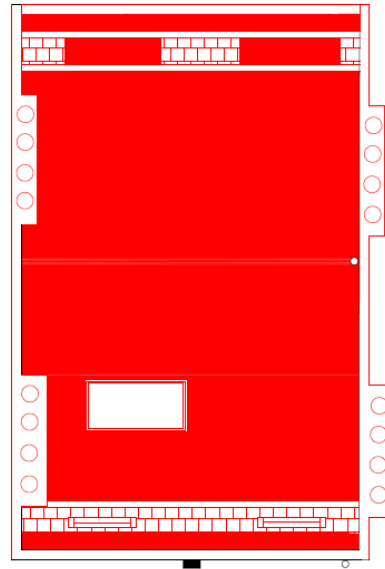


Fig. D Existing and proposed layouts of the roof.

Rear parapet and box gutter

On the rear elevation, the external wall slopes down on both sides in a V shape, aligning with the existing butterfly roof. The shape and style of the wall will be retained during the alterations. The mansard will be set back from the rear wall, which will create a small box gutter between the mansard and rear parapet wall. The roof drainage from this area can remain as existing, where it drains into the rear hopper and downpipe.

Internal alterations

An extension to the existing staircase will provide access up to the new third floor. The new stairs will match the existing, where a straight flight meets a half landing adjacent to the rear elevation, and then turns back into another straight flight which goes up to the new third floor.

The new third floor will have a shower room at the front of the property, directly above the second-floor bathroom.

2. Does your proposal have an impact on the buildings setting? If so, what is the impact; Does it enhance significant views of the building and how does it affect the character of the wider area?

The building will have an extra floor built above the existing floor in a style that matches other similar mansard extensions in the local area, for example the two terraces 26 to 36 and 29 to 39 Fitzroy Road.

From street level looking up, the new roundel style parapet will be visible, and perhaps the top parts of the natural slate covered Mansard slope and the dormer windows. These elements are in keeping with the character of the area and the existing mansard extensions on the surrounding properties. The end of terrace flank wall will be visible from street level when looking between the Princess of Wales public house and 17 Fitzroy Road. Here the existing wall and chimney stacks will be extended up in London Stock brickwork to match existing.

Adjacent to no.17's end of terrace wall, on the corner of Fitzroy Road and Chalcot Road is the Princess of Wales public House. The Princess of Wales building has the same number of floors as 17 Fitzroy Road, but the floor to ceiling heights are larger, and therefore the roof level is higher. There are no windows on the rear of the Public House (facing no.17) , but a large amount of pipework and ducting is present, and a small external terrace is present on first floor level. The terrace acts as the fire escape, where a metal staircase leads from the door down and round to the street level side exit onto Fitzroy Road.

From the rear elevation, the mansard extension will be visible to the rear parts of Chalcot Road and Egbert Street. The existing V shaped parapet wall will remain in-situ to match the style of the local mansard roof extensions. The style of windows will be conservation style rooflights to match the local character and style.



Fig. E Rear parts of a property on Egbert Street as viewed from the rear terrace of 17 Fitzroy Road. The proposal at 17 Fitzroy will match this style of mansard, rooflights, V shaped parapet and drainage.

The properties on Chalcot Road and Egbert Street have a maximum height of three upper floors, which 17 Fitzroy is aiming to achieve with the proposed works. Therefore, the new flat roof of no.17 Fitzroy Road will not be overlooked by other properties.

3. If an extension or new structure is proposed, explain the scale, height, width and length of the proposal and its relationship to the existing building. How is the special character and fabric of the building being affected?

The extension will be in keeping with the other mansard extensions in the local area, a few of note being 19-29 and 26-36 Fitzroy Road, 5 Fitzroy Road and 37 and 38 Chalcot Road. Please refer to the planning statement within this application for a full list. The mansard extension will simply raise the height of the building sufficiently to allow adequate head room within the new third floor. The overall height of the new storey will be 3.19 metres from the underside of the floor joists to the highest point of the roof, allowing 2.5 metres of internal floor to ceiling height. The front to back measurement of the internal space will be circa 7.17 metres.

The increase in height of the end of terrace wall and party wall will be circa 2.08 metres, added on to the existing height. The measurement from the underside of the floor joists of the new third floor to

the top of the walls will be 3.38 metres, and to the top of the chimney pots (highest point) will be 4.33 metres.

As mentioned in point no. 1 above, the new parapet roundels will obscure the majority of the new front elevation, although the top parts of the Mansard and dormers will be visible. The roundels will enhance the current view of the front elevation compared to the existing plain rendered parapet, adding to the character of the property.

The front and rear mansard slopes will be covered in natural slate which is in keeping with the character of the building (being a historic roof covering) and also in keeping with the surrounding mansard extensions in the area. The two front dormers will be covered in lead which is a historically sensitive material, adds to the character of the property and provides maximum watertightness to the dormer cheeks and tops. The new timber sliding sash windows built into the dormers are in keeping with the existing style of windows on the property and surrounding area, and will be decorated in white to match the existing decorative colour.

The retention of the V shaped parapet detail at the rear elevation softens the impact of the new Mansard slope, and retains the character of the original parapet detail. The new conservation style mansard rooflights soften the impact of the mansard slope and enhance the character with their conservation style.

4. If an extension is proposed, what thought has been given to its appearance, position, visual impression, architecture, materials, decoration, lighting, colour and texture?

In terms of the extension's appearance and position, the proposal is very sensitive to its view within the streetscape, thus why the materials proposed are in keeping with the existing, or of a traditional style. In many cases the appearance of the new extension is designed to soften and blend in with the existing building and surrounding area.

The use of roundels on the parapet provides a visual impression of a historic and traditional property in keeping with the local area. The parapet will be decorated in white to match the existing parapet and also match the decorative colour of the parapets on the surrounding properties. The continuation of the end of terrace wall and party wall with no.15 are in keeping with the original London stock brickwork, so the visual impression of these walls and chimney stacks will appear the same, albeit at a higher level.

The decoration of the new sash windows will be white to match existing, ensuring continuity with the existing colours and decoration of the building. The new natural slate coloured roof will give a natural blue/grey colouring to the third floor, enhancing its character. The lead covered dormers will be a traditional colour, again, adding to the character of the building. The rear conservation style rooflights will be in black to soften the impact and blend in with the blue/grey colour of the natural slate.

5. If internal works or alterations are being proposed, what is the relationship between your proposal and the original layout, fabric and features of the building?

An extension to the existing staircase will provide access up to the new third floor. The new stairs will match the existing, where a straight flight meets a half landing adjacent to the rear elevation, and then turns back into another straight flight which goes up to the new third floor. The stairs will be linked for continuity and be contained within the same stairwell. The stairs will lead up to an enclosed landing, where a door directly in front leads to the new shower room and a door to the left leads into a large separate room.

The shower room will be at the front of the property, directly above the second-floor bathroom, consisting of a shower, sink, WC and washing machine. All drainage will run from the front to the rear of the property where the existing waste/foul water drainage is located. The room will have stud partitions with plasterboard, and the door will be facing the stairs.

To the left of the staircase landing, a door provides entry to a large room that's spans from the front of the mansard to the rear. The room will be used as a bedroom. A roof light will be constructed at ceiling level to provide additional natural light to the rear parts of the room, whilst also providing access to the roof for future maintenance purposes.

6. Describe the materials you propose to use, why you choose them, the way in which they relate to the historic character of the building? Have environmentally friendly materials been considered? What consideration has been given to maintenance?

The front parapet wall with roundels will be built in masonry to match the existing solid nature of construction of the building and surrounding area.

The structure of the mansard slopes will consist of a timber framework and steel beams, with the mansard covered in natural slate to enhance the historic character of the building and match the mansard extensions in the area.

The cheeks and tops of the 2 front projecting dormers will be covered in Lead to provide excellent waterproofing qualities and add to the historic character of the building.

The front windows will be in timber sliding sash to match the existing style of the windows on the building and painted in white. The rear windows will be mansard style conservation rooflights to maintain the historic character of the extension.

The flat roof above the mansard slopes will have a timber framework covered in 3-layer mineral felt. As this roof will not be overlooked, the aesthetics are not as crucial.

The extensions to the party wall with no.15 and end of terrace walls will be in London stock brickwork, pointed to match the existing style. The style of the chimney stacks will be maintained with new chimney pots to match the style of the local area.

A roof light will be constructed at ceiling level within the flat roof to provide additional natural light to the rear parts of the new third floor. The roof light will be openable and allow access on to the roof for future maintenance and repair work.

7. How have you followed the advice provided by CABE and Camden Council on the issue of inclusive access? If not, explain the reason for your departure from this guidance.

We have recognised the advice provided by CABE and Camden Council on inclusive access. The guidance in 'The Principles of Inclusive Design' by CABE highlights the need to design and build properties in line with inclusive principles. Whilst we take on these principles, the works are proposed to an existing building constructed in the 19th C, and therefore we are somewhat limited to the extent that additional access can be provided without fundamentally altering the construction of the building.

The building is split into 2 separate tenancies, with a separate owner leasing the lower ground and ground floor. The proposed mansard conversion affects the leaseholders of the existing first and second floors, where access to the new third floor will only be available to them. Although the proposals within the design do not specifically target those with disabilities, access will be provided to the new third floor via an extension of the existing staircase.

In addition, the proposed roof light enables access onto the roof, which provides a system for future maintenance of the roof area.

8. What consideration has been given to accessibility, to and between parts of the proposed works? Has disabled access been considered?

Disabled access has not explicitly been incorporated into the design, since the property itself does not permit disabled access, and the proposal is to retain the residential nature of the building.

It will not be possible to improve access to the building externally without detrimentally affecting the appearance of the building and damaging the fabric. The proposal provides access via an extension of the existing staircase to the new third floor.