

Design & Access Statement

14a Hampstead Hill Gardens, NW3 2PL

March 2020

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1.0 Introduction

This Design and Access Statement has been prepared in support of a planning application for 14a Hampstead Hill Gardens, NW3 2PL.

This proposal seeks to redevelop the site, which currently houses two C20th garages, to create a detached three-storey (plus basement), six bedroom single-family dwelling.

The proposal seeks to improve upon the existing site and its context through:

- High quality, sustainable design that is sensitive to the character of the conservation area
- Development that is appropriate to the predominant housing type in the area (single-family homes)
- Removal of existing C20th garages which detract from the character and appearance of the conservation area
- Infill of the gap between No. 12 and No. 14 creating a continuous building line along the street which reflects the scale, rhythm and character of the local area

The scheme has been prepared based on a detailed understanding of the site and its significance within the streetscape, local conservation area and the wider borough.

This document aims to communicate the design process that has been undertaken to ensure the highest quality of design has been achieved and to illustrate how the proposal integrates with its surroundings.

Supporting documentation:

- Planning Statement - Forward Planning and Development
- Daylight & Sunlight Report - Delva Patman Redler
- Arboricultural Impact Assessment Report - Landmark Trees
- Construction Method Statement - Price & Myers
- Ground Investigation Report - Soiltechnics
- Draft Construction Management Plan
- Basement Impact Assessment Report - Soiltechnics
- Sustainability Statement- Eight Associates
- Statement of Community Involvement



2.0 Site

2.1 Location

The site is located at 14a Hampstead Hill Gardens within the Hampstead Conservation Area. Hampstead Hill Gardens loops between Rosslyn Hill and Pond Street and has good public transport links.



14a Hampstead Hill Gardens, NW3 2PL

2.2 Site Photos

The site is roughly 8m wide by 34m long and currently houses two C20th garages.

The existing garages are run-down and of poor quality. There are no other examples of garages occupying an entire site elsewhere along the street. Both the architectural style of the garages and the use of the site is inconsistent with the prevailing pattern of development along the street. Furthermore the low height of the garages in comparison with the taller buildings either side, creates an unsightly gap in the streetscene.



1. Looking north over the site towards 12 Hampstead Hill Gardens



2. Existing C20th garages on the site



3. Looking at the site from Hampstead Hill Gardens with No. 14 to the left



4. Looking at the site from Hampstead Hill Gardens with No. 12 to the right

2.3 Site Considerations




Site Constraints

- The LNWR rail line runs under the property at a rough depth of around 14m below the site. Trial pits and the basement impact assessment have confirmed that any impact on the tunnel will be negligible. Network Rail will be consulted and any necessary approval sought (refer Basement Impact Assessment Report prepared by Soiltechnics and Construction Method Statement prepared by Price & Myers)
- The impact of the proposal on the windows facing onto the site from neighbouring properties at Nos. 12 & 14 Hampstead Hill Gardens have been considered (refer Daylight & Sunlight Report prepared by Delva Patman Redler and section 6.1 Immediate Neighbours)

Site Opportunities

- The neighbourhood is largely residential with good transport links and easy access to the shops and amenities along Hampstead High Street and Haverstock Hill
- There is sufficient area to create a good sized family dwelling on the site. Both the position of the site and street frontage makes it an obvious infill site for an architecturally interesting, high quality home
- The site is long enough to support a dwelling with a large garden to the rear and sufficient street setback to match the building line of the neighbouring houses
- Development has occurred at different times over the history of the street, resulting in a mixture of architectural periods. Therefore the area is characterised by buildings of a similar scale and street presence but varying styles. A new dwelling on the site would continue the historic pattern of infill development on the street
- The site benefits from good access to natural light. The orientation of the site means that it can get both morning and afternoon light. The rear garden in particular benefits from afternoon sunlight
- The existing garages on the site are detrimental to the street setting as they are of low quality and are not in keeping with the prevailing building pattern

Key:

-  Nos. 1-5,7,9 & 11: Detached 1880s red brick houses designed by Batterbury & Huxley (listed properties)
-  Nos. 13-23 odd: Double-fronted 1880s red brick houses
-  Nos. 14-20 even & 25-33 odd: Stucco-faced 1870s semi-detached villas (first development on the street)




Belsize Station
(5 min via bus
10 min walk)



Site Plan

3.0 Conservation Area & Planning History

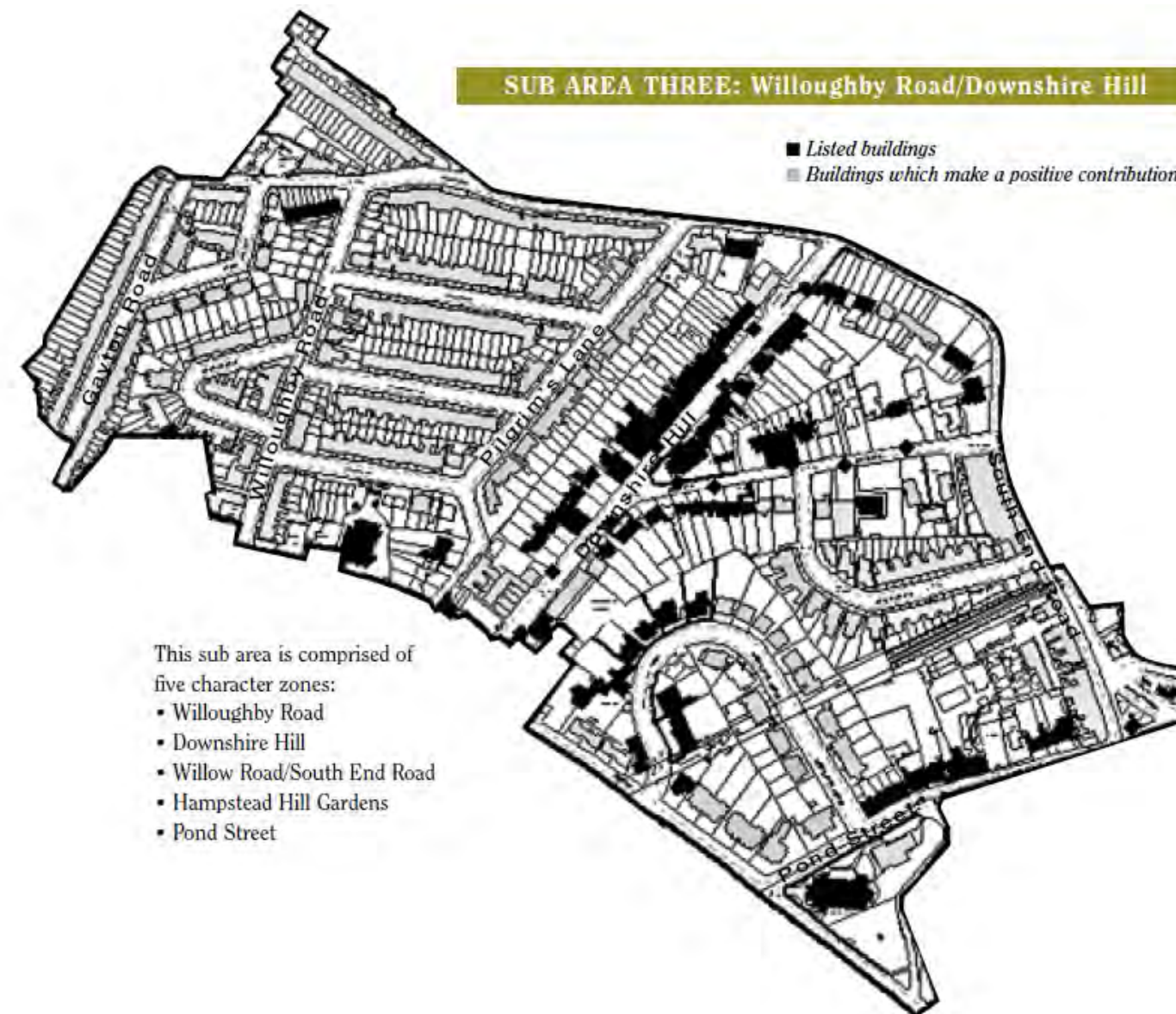
3.1 Conservation Area

The site is located within the Hampstead Conservation Area Sub Area Three: Willoughby Road/Downshire Hill. The area is characterised by large villas and semi-detached houses which follow distinct phases of development.

Initial development of the street began in the 1870s with Nos. 14-20 & 25-33, which are all three storey stucco-faced semi-detached villas with basements.

In the 1880s the properties towards Rosslyn Hill were developed. Nos. 1-5,7,9 & 11 are heritage listed detached red brick houses designed by Batterbury & Huxley (List UID: 1378697 -1378704). The houses along the north-east of Hampstead Hill Gardens (Nos. 13-23) are two storey double-fronted red brick houses.

The remaining properties in the street (4a - 12) are comprised of modern houses and flats which infill the area between the two periods of C19th development. Although the style of architecture of these properties is diverse, it is considered that they 'do not detract from the character of the area' (Conservation Area Statement - Hampstead, p.32).



3.2 Planning History & Pre-Application Advice

The Planning Statement prepared by Forward Planning and Development covers the pre-application discussion in further detail.

Pre-planning application advice was sought for this site in December 2019 (2019/6399/PRE). The current planning application builds on the proposed design and incorporates feedback from the pre-application process. No previous planning application has been made on this site.

The scheme received positive pre-application feedback (Letter dated 7/5/20) with detailed responses provided in the following areas:

Principle of Development of the site

'Development of the site could be considered acceptable subject to ..being of a high standard that would not compromise the character and appearance of the surrounding streetscene'

The current application builds on this principle. The design intent is to improve the streetscene by replacing an unsightly and uncharacteristic break in the streetscape with a high-quality modern townhouse.

Height and Massing

'To the opposite side of the road is a modern 2 storey property which... doesn't feel quite right within its context and struggles to relate to its neighbouring buildings. In light of this...it is considered that so long as the building continues to be designed to a high quality reducing its height by a storey would not benefit the streetscene. Rather a building of 3 storeys which is designed to a high quality provides the opportunity to contribute to the interest of the street which has a variety of design styles.'

'Given the street is characterized by a number of modern infills which the Conservation Areas Statement notes do not harm the character of the conservation area it is considered that a contemporary addition would be appropriate in the surrounding context.'

The proposed design was developed with consideration for the local neighbourhood and conservation area. For more detail, please refer to sections:

- 2.3 Site Considerations
- 3.1 Conservation Area
- 4.1 Building Heights
- 4.2 Contemporary Infill Examples

Detailed Design

'It is considered that the contemporary design approach which takes cues from the neighbouring Georgian Villa is most appropriate. The scale and siting of the building is considered acceptable subject to the detailed design being of a high quality.'

The proposed design sensitively responds to the neighbourhood character by referencing the building massing of the Georgian villa at No.14. For more detail, please refer to sections:

- 5.2 Scale and Massing
- 5.3 Street Context

'The [materials] samples reviewed on site appeared to be appropriate and will be secured via condition'

The agreed materials include:
Dark Metal Analok 545 (to window frames)
Grey/White Portland Stone
Winter White Linear Bricks

For more detail, please refer to section:
5.7 Materials

'You are advised to liaise with both the local Conservation Area Advisory Committee and the Neighbourhood Forum on the proposal ahead of submitting an application for planning permission.'

The Conservation Area Advisory Committee and the Neighbourhood Forum were consulted on the 3/11/20. For more detail, please refer to section:

- 6.2 Neighbourhood Consultation

Impact on Neighbourhood Amenity: No. 12

'In respect of No. 12 there are a number of windows with the flank elevation and a side dormer at roof level.'

A full assessment of the windows on the flank elevation of No. 12 and the rooms they serve has been made using the information available to us. The Neighbours at No. 12 have been consulted regarding the planning application and provided with the opportunity to respond with further detail regarding the use of those rooms and the design more generally. For more detail, please refer to sections:

- 6.1 Immediate Neighbours
- 6.2 Neighbourhood Consultations

'You would be required to provide a daylight and sunlight assessment to demonstrate that this [top floor room to No. 12] roof level room would continue to receive a sufficient level of light even with the side dormer obscured.'

A Daylight & Sunlight Report prepared by Delva Patman Redler has been included with this application.

Impact on Neighbourhood Amenity: No. 14

'At the ground level of No. 14 on it's flank elevation are two small windows, it should be addressed within your application what these windows serve.'

A full assessment of the windows on the flank elevation of No.14 and the rooms they serve has been made. The Neighbours at No.14 have been consulted regarding the planning application and provided with the opportunity to comment. For more detail, please refer to sections:

- 6.1 Immediate Neighbours
- 6.2 Neighbourhood Consultations

Basement

'Basement developments should [comply with Policy A5 of the Local Plan]'

The basement has been designed in accordance with Policy A5 of the local plan and the considerations outlined in the pre-application advice letter. For more detail, please refer to section:
5.5 Basement

'The council will not permit basement schemes which include habitable rooms and other sensitive uses in areas prone to flooding.'

'The development would require a comprehensive and accurate Basement Impact Statement to be submitted with the formal application'

A Basement Impact Assessment Report prepared by Soiltechnics has been included with this application.

Transport

'The council would not support the provision of on-site parking'

The on-site parking as shown on the pre-application submission has been removed and replaced with landscaping.

'A dwelling of this size (6 bed) would be required to provide 2 number of cycle stores'

Cycle parking for 2 bicycles has been accommodated in the proposed design. The bicycle store is accessed directly off the street. For more detail, please refer to section:
5.9 Landscaping

'it is likely that a draft Construction Management Plan will be required'

A Draft Construction Management Plan has been included with this application.

Waste

'Any bin store located to the front area of the site should be designed in at application stage'

A bin store has been designed to sit unobtrusively in the front yard. The design will be of high quality and respond sensitively to the streetscene. For more detail, please refer to section:
5.9 Landscaping

Biodiversity

'The application site is not within [an identified designated biodiversity corridor]. At the application site, the majority of the portion of site that would be new dwelling is currently hardstanding.'

While the site is not within a designated biodiversity corridor, consideration has been given to providing high quality landscaping to the front and rear of the property as well as a green/brown roof to support biodiversity. Providing a range of plant species and landscaped environments will help create suitable habitat for a variety of bird and insect species and help to boost the quality and connectivity of greenspace within the area.

A Sustainability Statement prepared by Eight Associates has been included with this application and provides further detail of biodiversity considerations including the protection of biodiversity during construction.

For more detail, please refer to sections:
5.9 Landscaping
7.2 Sustainability

No Trees are to be removed as part of the proposal. However a category C horse Chestnut is located on the site. To ensure the proposal does not impact on the tree, an Arboricultural Impact Assessment Report has been prepared by Landmark Trees and included with this application.

Access

'The building currently provides a set of 3 steps, a cue taken from the neighbouring villa. The building should be provided with level access unless there is robust justification for it not to be'

Due to the established levels, stepped access is necessary to ensure the proposed house sits comfortably within the conservation area and conforms to the architectural language of properties along the street. Stepped access has been designed in accordance with ambulant steps requirements set out within Part M, Section 1A, point 1.8 of the building regulations.

A platform lift has been incorporated into the design providing access for wheelchair users. This improves accessibility while still conforming to the prevailing pattern along the street of steps leading to the front door. For more detail, please refer to section:

7.1 Access

Sustainability and Energy

'Although the development is too small to require a sustainability statement the development will still be required to incorporate sustainable design and construction methods'

Sustainability has been a key design consideration and will form part of the construction methodology. For more detail, please refer the Sustainability Statement prepared by Eight Associates and section:

7.2 Sustainability






4.0 Neighbourhood Character

4.1 Building Heights

The area is characterised by a mixture of two, three and four-storey houses. Hampstead Hill Gardens is predominantly comprised of three-storey buildings. The site itself sits between two three-storey semi-detached houses.

The topography along Hampstead Hill Gardens rises from the lowest level at the junction with Pond Street to a higher level at the junction with Rosslyn Hill. This, in turn, impacts on the building heights along the street and the way in which the lower ground floor levels are arranged. The lower ground floor levels of the properties at Nos. 10- 20 sit below ground due to the rising topography across the site. Conversely, other properties along the street have a topography which falls across the site which means that the lower ground floor levels have direct access to rear gardens.

Key:

-  Two Storeys
-  Three Storeys
-  Two Storeys with Lower Ground Floor/ Basement
-  Three Storeys with Lower Ground Floor/ Basement
-  Four Storeys with Lower Ground Floor/ Basement



Site Plan

4.2 Contemporary Infill Examples

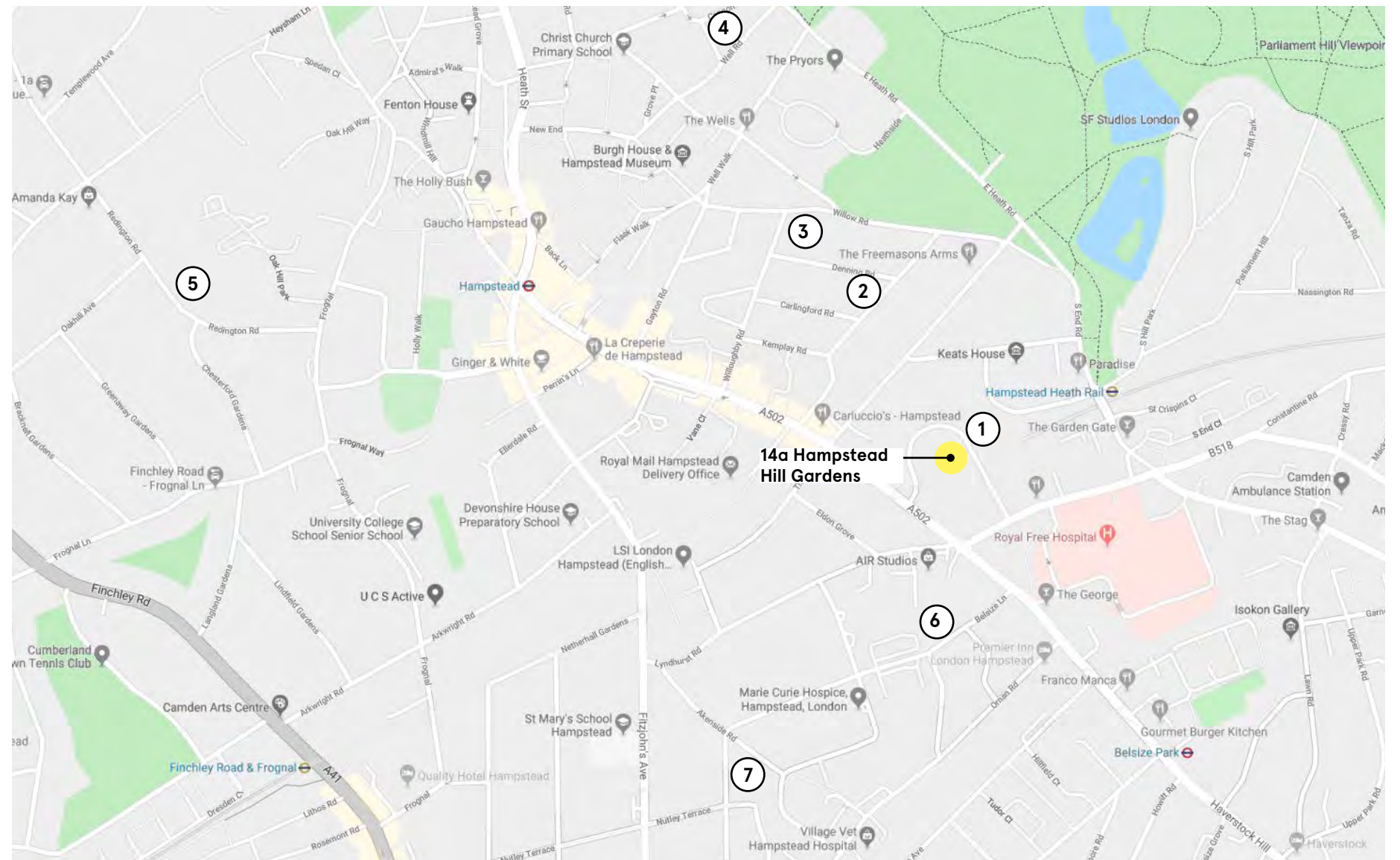
There are a number of examples of infill projects in the local area. From a survey of the neighbourhood we have identified the key design principles that underpin the more successful infill projects.

In preparing the proposed scheme we have taken these ideas into consideration, including:

- Maintaining a consistent window line with the neighbouring properties
- Using sympathetic materials and colours
- Matching the building setbacks with the surrounding buildings
- Ensuring the building massing is complementary and in proportion with neighbouring buildings



1. 23a Hampstead Hill Gardens



Contemporary Infill - Local Plan



2. 31 Pilgrims Lane



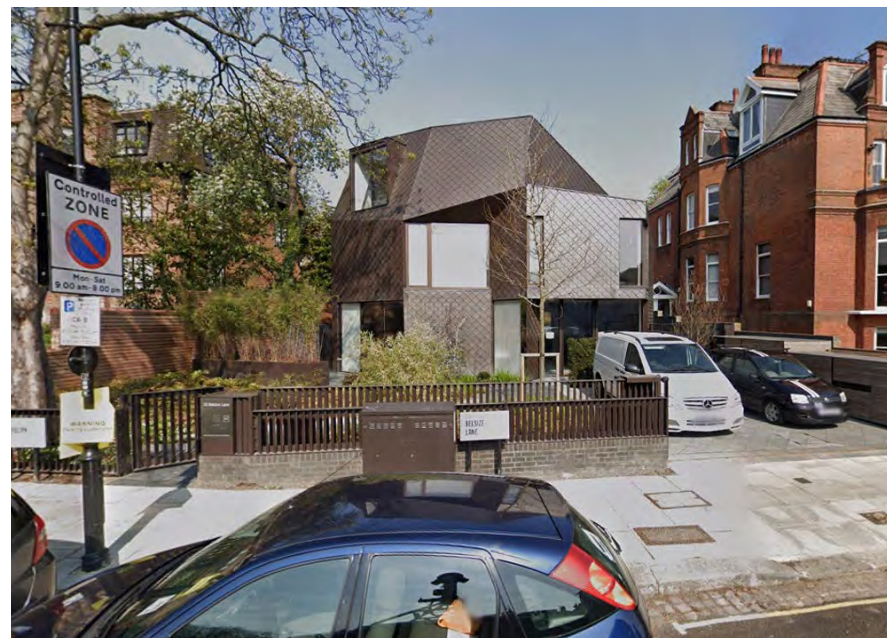
3. Willoughby Road (approx. 42 - 44)



4.21 Well Road



5. 14a Reddington Road



6. 28 Belsize Lane



7. 32b Daleham Gardens

5.0 Design

5.1 Use

The existing site houses two garages, which are not currently in use. These garages not only detract from the streetscape but are also not in keeping with local sustainability targets which discourage car use within the area (Policy T1 & T2 of the Camden Local Plan).

The dominant housing type in the area is large, single-family homes. The site is well-located for the local amenities and public transport necessary to support sustainable family living. Given the proportions and location of the site and its current use, this is a prime opportunity to increase the provision of housing in a way that is appropriate for the area, while improving the streetscape. The proposed design has been developed to maximise the efficient use of land in a way that is respectful of neighbouring dwellings and the street context.

The design of the proposed dwelling will be of a high quality and will protect and enhance the character of the area.



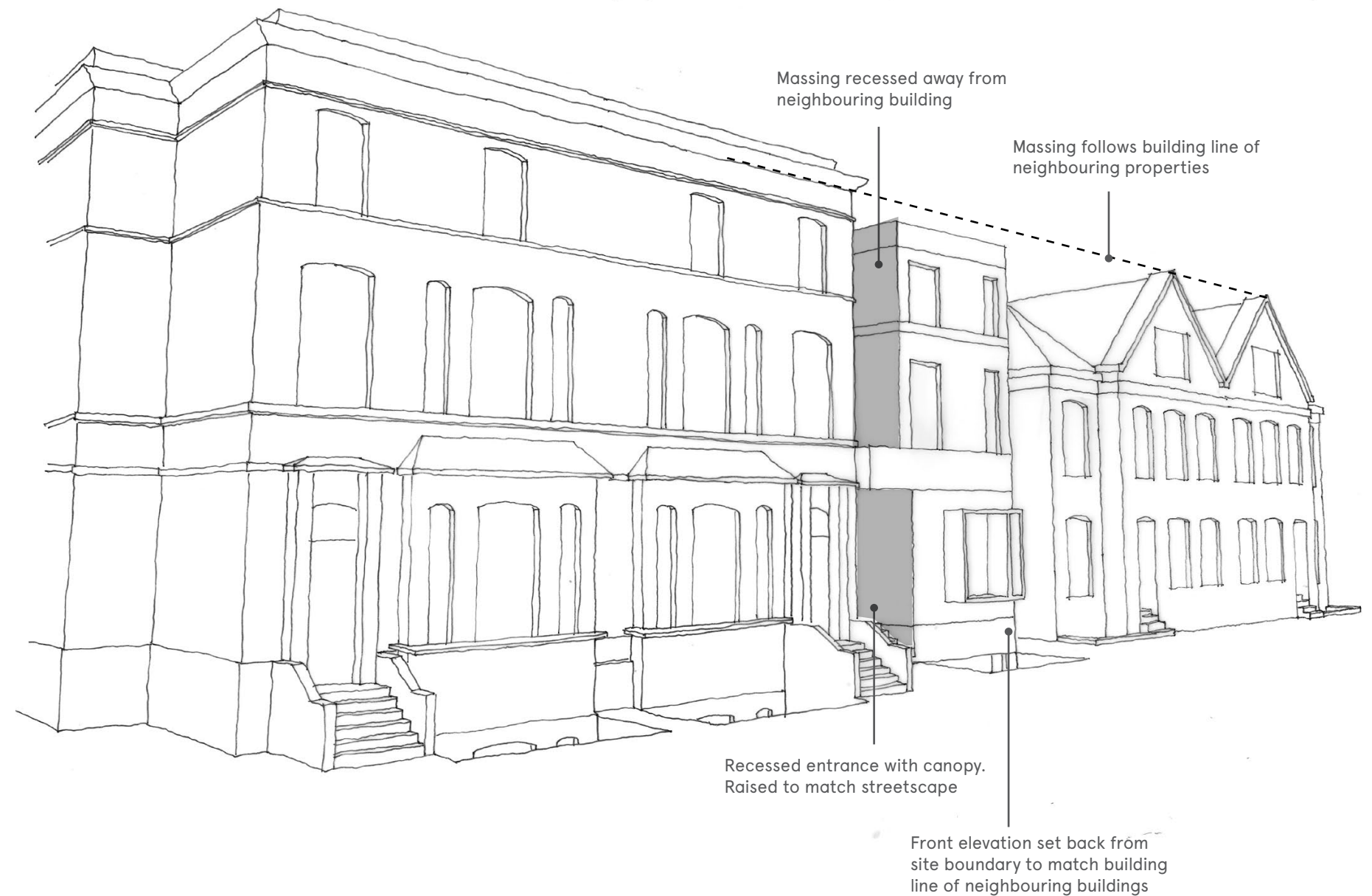
5.2 Scale and Massing

In determining the scale of the proposed design, both the neighbourhood context and the relevant planning policies have been considered, including Policy D1 of the Camden Local Plan & Hampstead Neighbourhood Plan Policy DH1. The resulting design has been developed so that it is sympathetic to the rhythm, proportion, scale, massing, established building lines and storey heights of the neighbouring buildings.

The building footprint respects the established building line to the street with the front elevation aligning with the building line at No. 12. The recessed element containing the entry door has been pushed back from the principle elevation to line through with the building return at No. 14. This continues the language of the Georgian terrace run and provides architectural interest.

The rear building line also aligns with the massing at No. 12. Additionally, the glazed, single storey sunroom has been designed to replicate the conservatory at No. 12 in terms of footprint, materials and typology.

The massing of building has been generated from the scale of the adjacent properties and the wider street context. The street is dominated by three-storey buildings, including the properties to either side of 14a. The height of the proposed design moderates between the height of the buildings at Nos. 12 and 14. This approach was supported by officers at the pre-application stage.



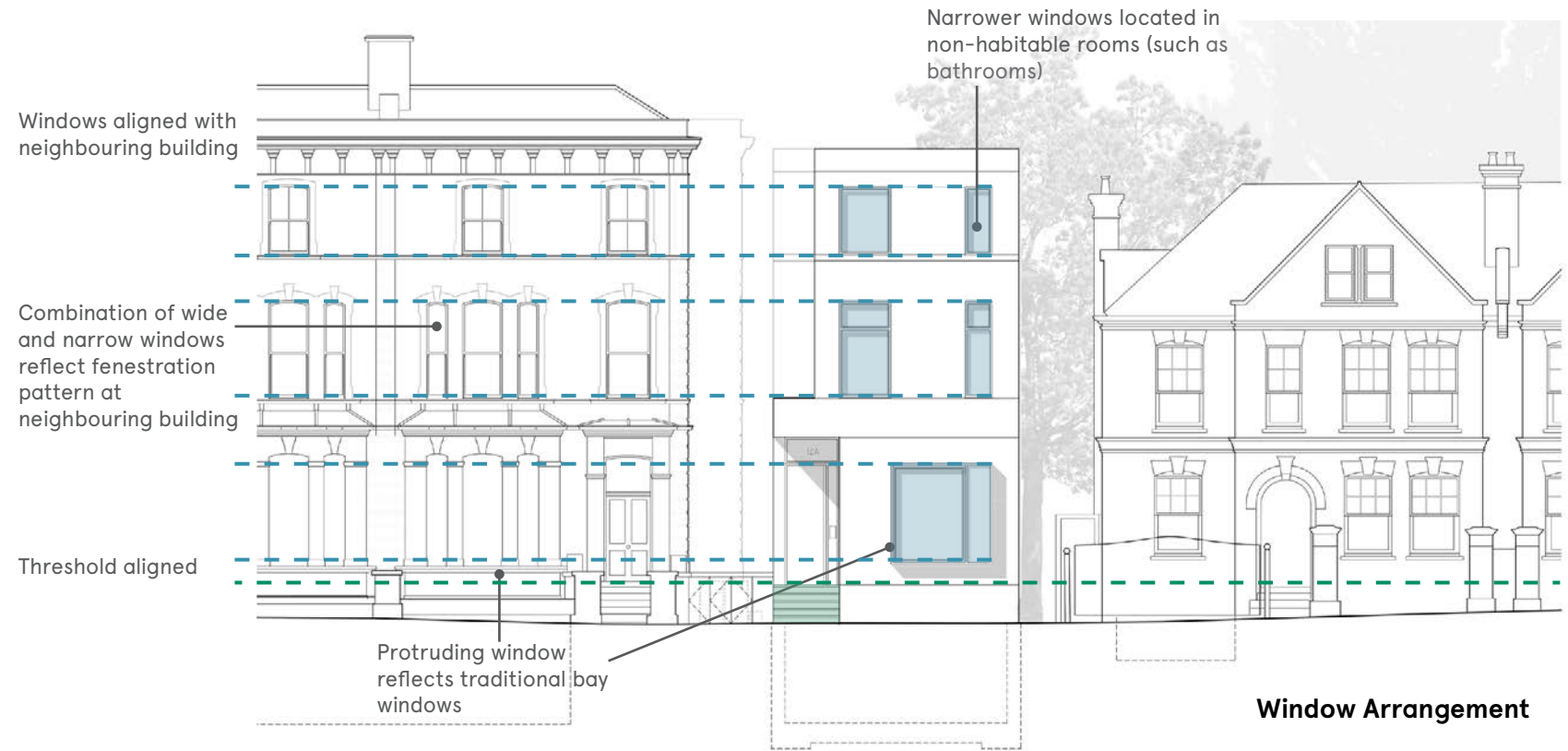
5.3 Street Context

There are a number of architectural styles and materials evident along Hampstead Hill Gardens. The west side has a more uniform appearance with three-storey red brick houses located north of the railway (Nos. 1-23 odd) and a run of rendered terraces to the south (Nos. 25-33 odd). The east side of Hampstead Hill Gardens has a greater variety of architectural styles and the site sits between two rendered buildings of different periods. In between the C19th century houses are a number of later infill sites, including a contemporary red brick dwelling across the road at 23a Hampstead Hill Gardens.

Owing to the variation in architectural styles and materials, we believe the site could support a piece of contemporary architecture provided it is well considered and sympathetic to the conservation area. This idea is supported by Policy D1 of the Camden Local Plan, which welcomes 'high quality contemporary design which responds to its context' (point 7.3) and 'responds creatively to its site and context including the pattern of built form and urban grain' (point 7.5).

In order to respectfully integrate the proposed design into the streetscape, horizontal banding has been introduced along the front facade to reference the decorative detailing at Nos. 12 and 14. Similarly the windows have been designed to reference the size and patterning of windows at the neighbouring properties and to align with the windows at No. 14. This creates a strong relationship with the adjoining buildings and allows the proposed building to sit comfortably within its context. This approach was supported by the feedback received at the pre-application stage, which deemed a contemporary design appropriate for the area and noted that the cues taken from the neighbouring Georgian villa allowed the design to integrate well with the neighbouring buildings.

In terms of design language, the building makes a stronger connection to No. 14, which was one of the original houses developed on the street and forms part of a terrace run. No. 12, on the other hand, is paired with No. 10 and has a unique setting on Hampstead Hill Gardens since the pairing is both physically distanced from the buildings to either side and unrelated in design. For this reason the house has been positioned on the site to sit closer to No. 14, leaving a larger gap on the No. 12 side. This helps reinforce the architectural relationship between No. 14 and 14a and provide breathing space between the proposal and No. 12.



5.4 Orientation

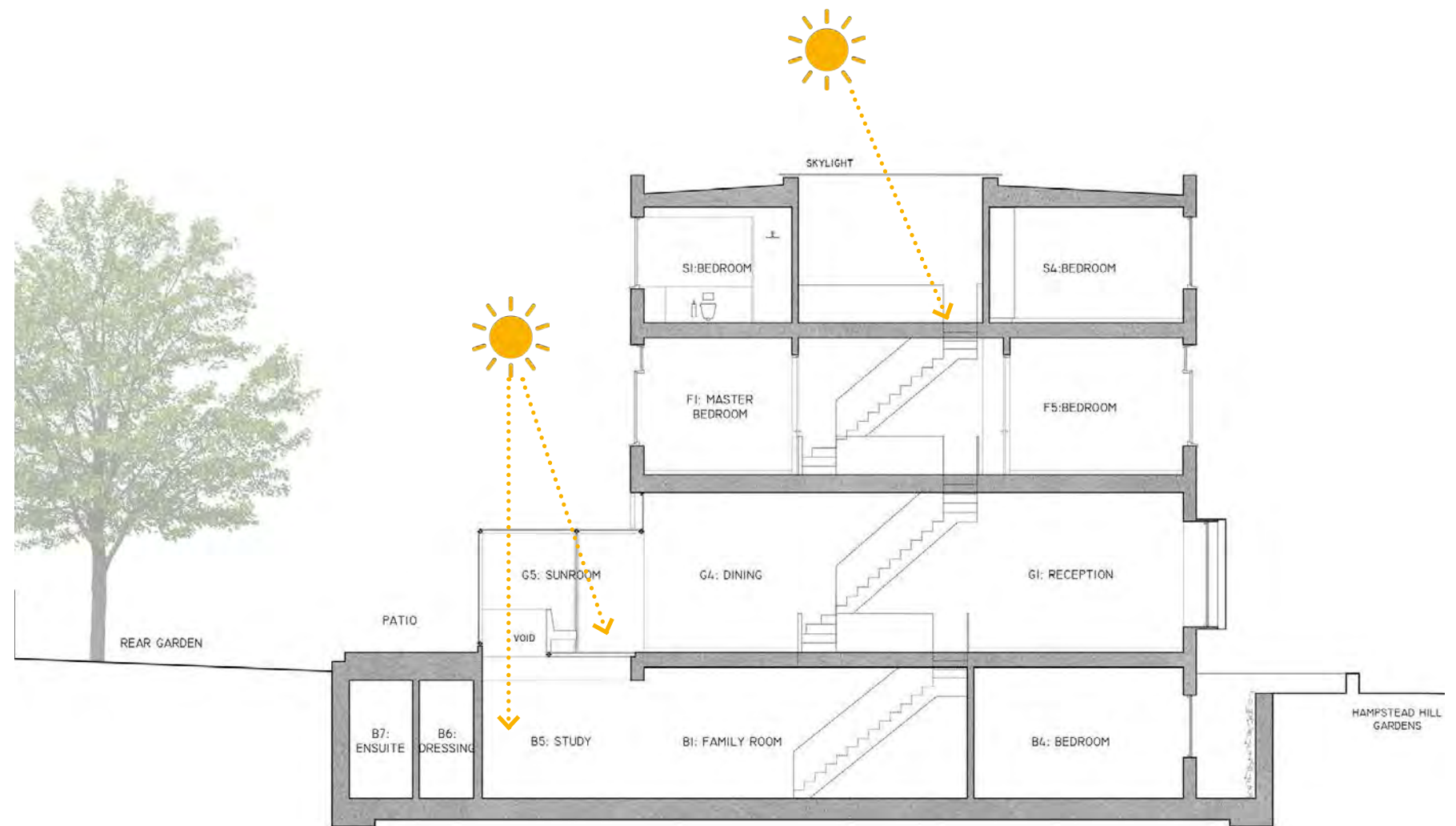
The building has been positioned and designed to maximise natural light and make the most of the outdoor spaces. This is in line with Policy D1 of the Camden Local Plan which requires a high standard of housing accommodation and outdoor amenity space.

In order to maximise natural light, a glazed structure is proposed to the rear which references the traditional conservatories found at the back of properties along Hampstead Hill Gardens. This structure (housing the sunroom) is to be detailed in a modern way using steel frame and large expanses of glass.

The glazed sunroom structure has been positioned to face south-west to benefit from afternoon sunlight whilst creating a sun trap for the rear terrace. By locating the sunroom to the north of the basement courtyard, it protects the courtyard from overlooking, while also allowing direct sunlight into the space from the south.

At the basement level a courtyard has been located between the sunroom and terrace. This allows natural light into the three rooms surrounding the courtyard and provides a functional outdoor space for the basement floor.

A large skylight above the stairs helps bring natural light into the centre of the floor plan with a void running alongside the stair to help bring light from the skylight down into the lower levels.

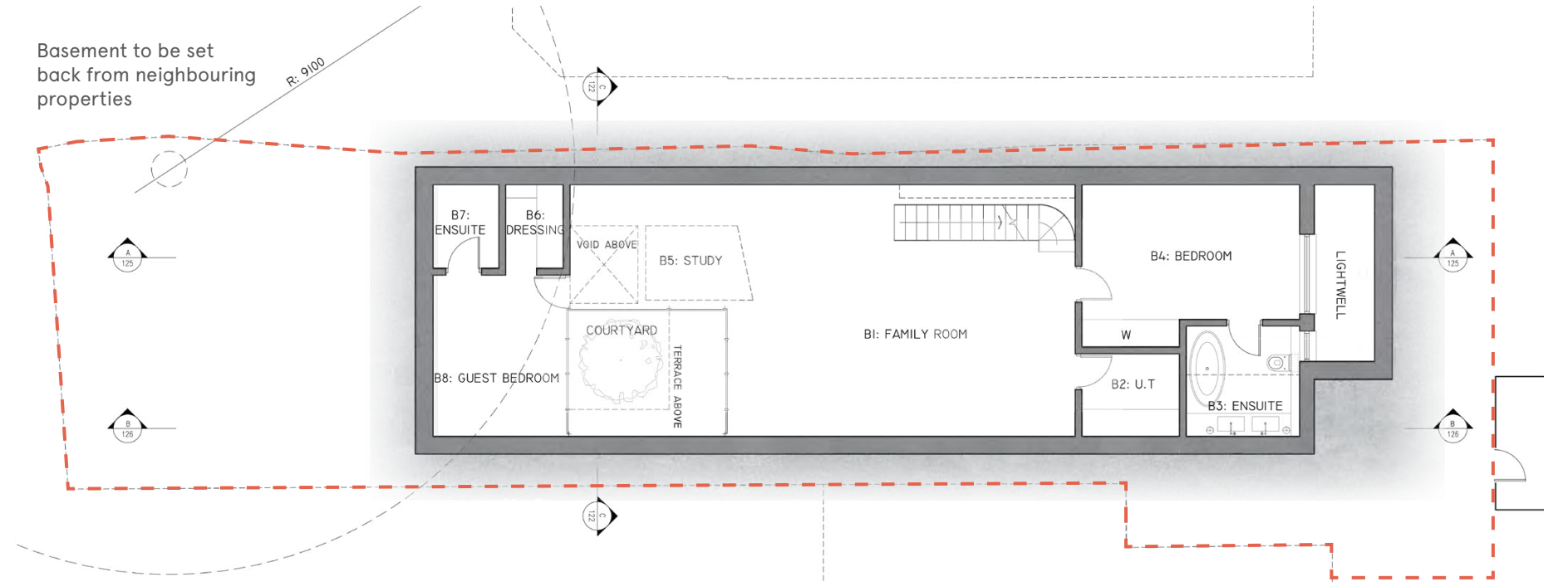


Section

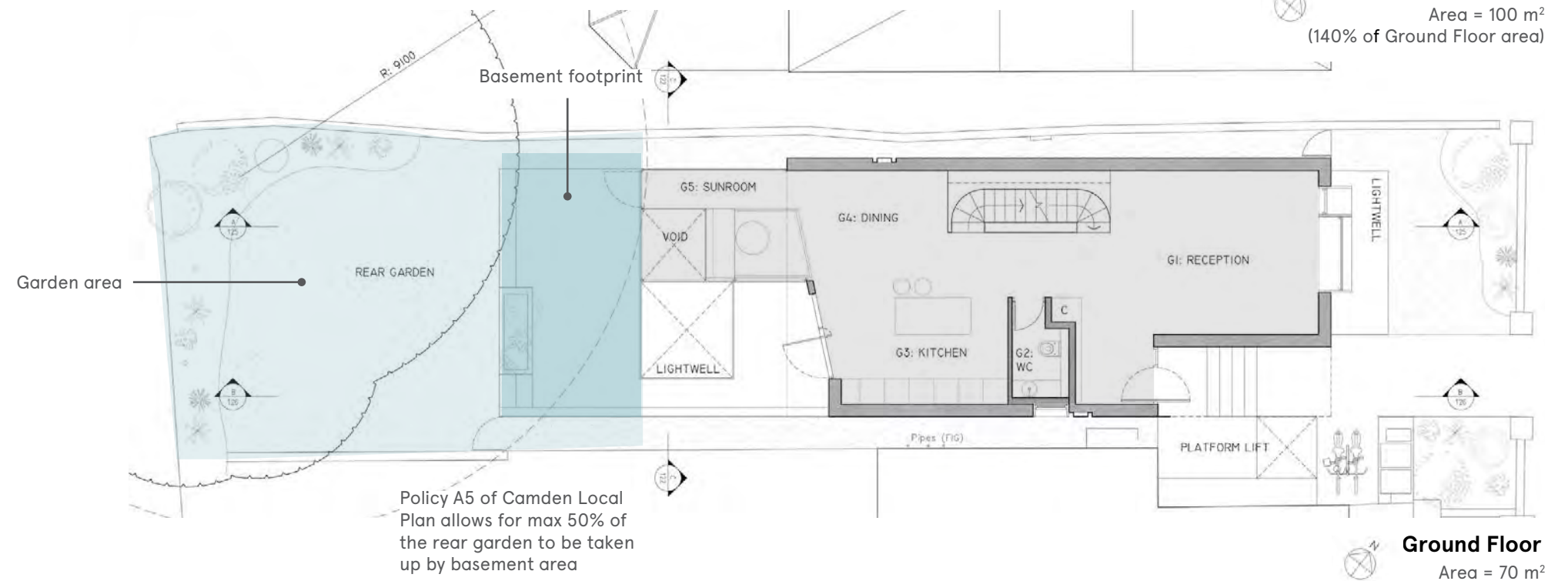
5.5 Basement

The proposed design will comply with Policy A5 Basements of the Camden Local Plan which protects the amenity of the local area. To meet these objectives the basement will:

- Not comprise more than one story
- Not exceed 50% of each garden within the property
- Be less than 1.5 times the footprint of the host building
- Not extend into the garden further than 50% of the depth of the host building as measured from the principal rear elevation
- Not extend into or under the garden more than 50% of the depth of the garden
- Be setback from neighbouring properties
- Not harm the amenity of neighbours
- Not harm the established character of the area (basements are common along Hampstead Hill Gardens as demonstrated in the map in section 4.1 Building Heights)
- Maintain the structural stability of neighbouring buildings or the water environment (as demonstrated in the Basement Impact Assessment Report prepared by Soiltechnics and Construction Method Statement prepared by Price & Myers)
- Avoid the loss of trees of townscape or amenity value (as demonstrated in the Arboricultural Impact Assessment Report prepared by Landmark Trees)



Lower Ground Floor
Area = 100 m²
(140% of Ground Floor area)



Ground Floor
Area = 70 m²

5.6 Plan Layouts

The proposed layouts have been developed to create an open-plan space with lots of natural light and well-proportioned rooms, suitable for a family home. The floor plans reflect an appropriate hierarchy of spaces with the main living and entertaining areas on the ground floor, bedrooms on the upper floors and a family room and additional bedroom on the lower ground floor.

The building footprint respects the established building line along the street with the front elevation aligning with No. 12. At the rear an angle has been introduced at ground level which links the rear building lines of Nos. 12 and 14.

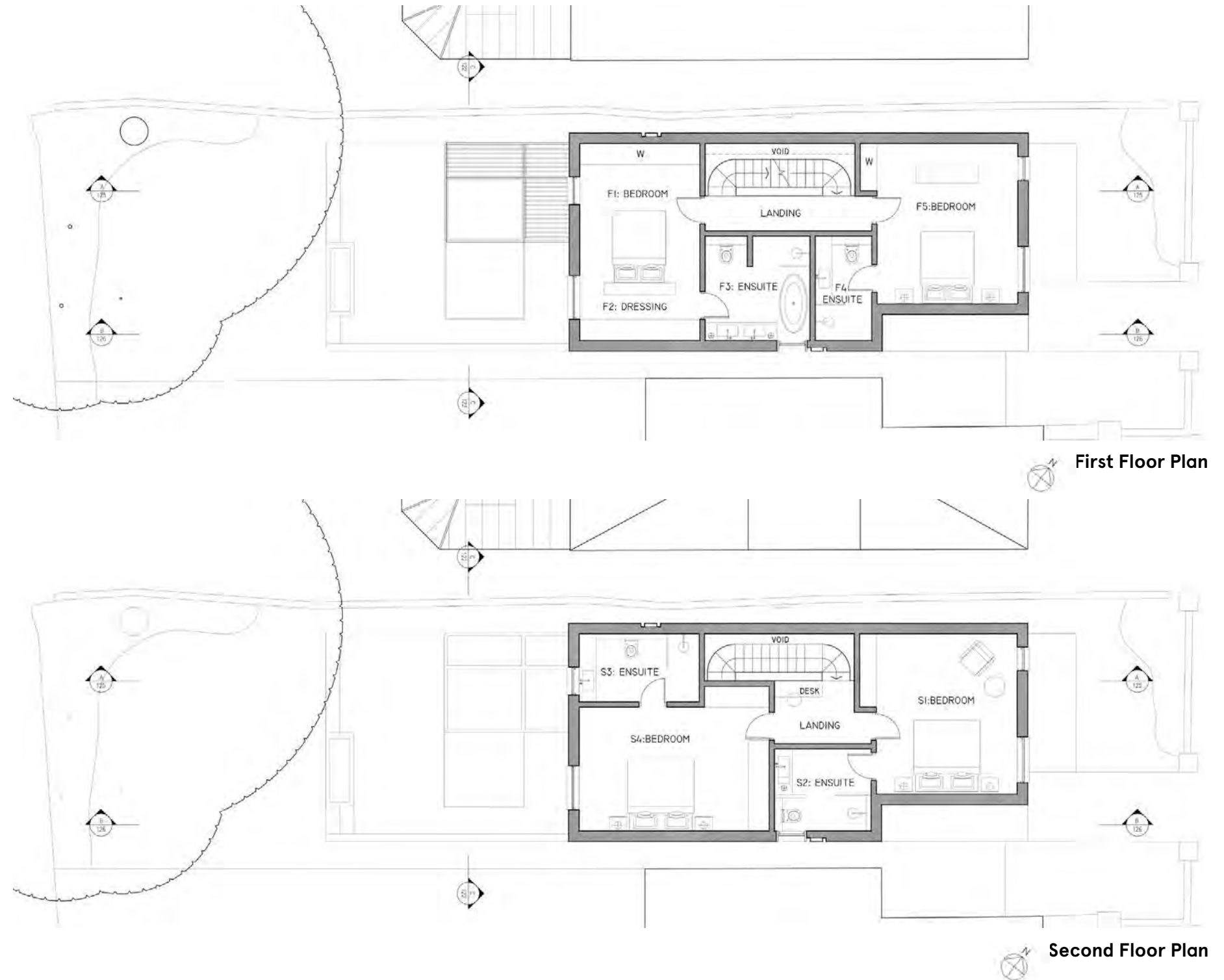
Habitable rooms have been positioned at the front and back of the plan with vertical circulation and bathrooms positioned within the centre. As a result no windows are required to the side elevations which would cause overlooking issues.

The layout and positioning of skylights, lightwells and courtyards also helps distribute natural light within the building and creates spaces that are enjoyable to live in. Each habitable room has a physical or visual connection to outdoor space and greenery. On the upper floors each bedroom has an outlook over the front or rear garden, on the lower floors each space has direct access to a courtyard, lightwell or garden.

The open-plan layout of the ground and lower-ground floor creates good visibility between rooms and ample space to accommodate accessibility requirements (refer section 7.1 Access).

Safety has been considered in the arrangement of rooms and the design of windows, staircases and balustrades, which not only conform to building regulations but have also been designed to create a space that is easy and logical to navigate. The open-plan layout and voids between the floors supports this by providing visibility between spaces.

All rooms comply with the housing space standards set out in the National Guidance and London Plan.



5.7 Materials

To ensure the proposed design sits harmoniously with the adjacent houses, the proposal will have a similar material palette in terms of colour and texture.

The site sits between two rendered buildings. However, render can be difficult to maintain and can look tired due to cracking and dirt build-up over time. We therefore proposed a high-quality alternative using a slim white brick using a flush mortar with white portland stone banding which will create a contemporary appearance that sits comfortably within the street setting. The play between the two materials creates a textural variation which provides relief to the elevation and adds visual interest. In addition, brick provides thermal massing and is easy to maintain.

The proposed materials were discussed at length during the pre-application stage and the proposed palette was supported as a high quality approach. As part of the pre-application discussion, samples were brought to the site to determine how the proposed materials would fit into the street context.



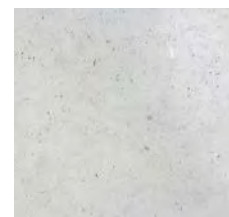
Example of white brick



Example of bronze windows



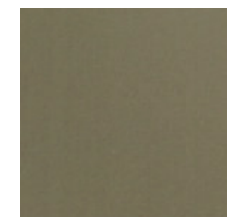
Street Elevation



1. Portland Stone Bands



2. Linear Brick (Winter White)



3. Bronze Window Frames with Clear Glazing (Dark Metal Analok 545)



4. Clear Glass Balustrade

5.8 Rear Elevation

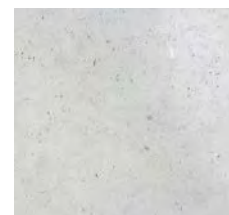
As a whole the composition of the proposed design responds sensitively to its physical context. This is reflected in the way the design for the rear elevation carefully balances the challenges of creating high-quality indoor space while also protecting the amenity of neighbouring buildings.

In terms of materiality and massing, the rear elevation continues the design language found on the front elevation. As was achieved at the front of the site, the building line at the rear aligns with the rear of the neighbouring building at No. 12.

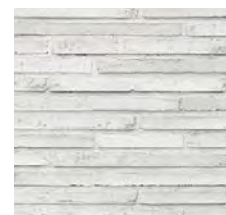
At the ground floor a delicate glass structure encloses the sunroom and helps bring natural light to the ground and lower ground floor. This glass structure is subservient in form to the main masonry facade and is a modern take on the glazed conservatory extensions which can be seen elsewhere along the street.

In deference to the neighbouring property at No.12, privacy screening has been added to the glass structure to avoid overlooking. Privacy at No.12 has also been protected by angling the rear facade at ground floor level away from No.12 and by using solid panels at high level windows where overlooking could be of concern (Refer section 6.2 neighbourhood Consultation).

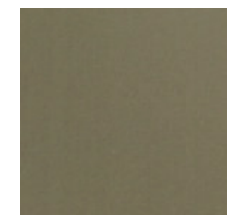
Window sizes and positions have been developed with respect for the function of the rooms they serve. Larger windows at ground level connect living spaces with the garden whilst bedroom units are smaller creating privacy between private areas and the surrounding properties.



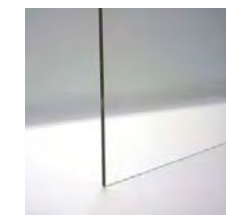
1. Portland Stone Bands



2. Linear White Brick



3. Bronze Window Frames with Clear Glazing



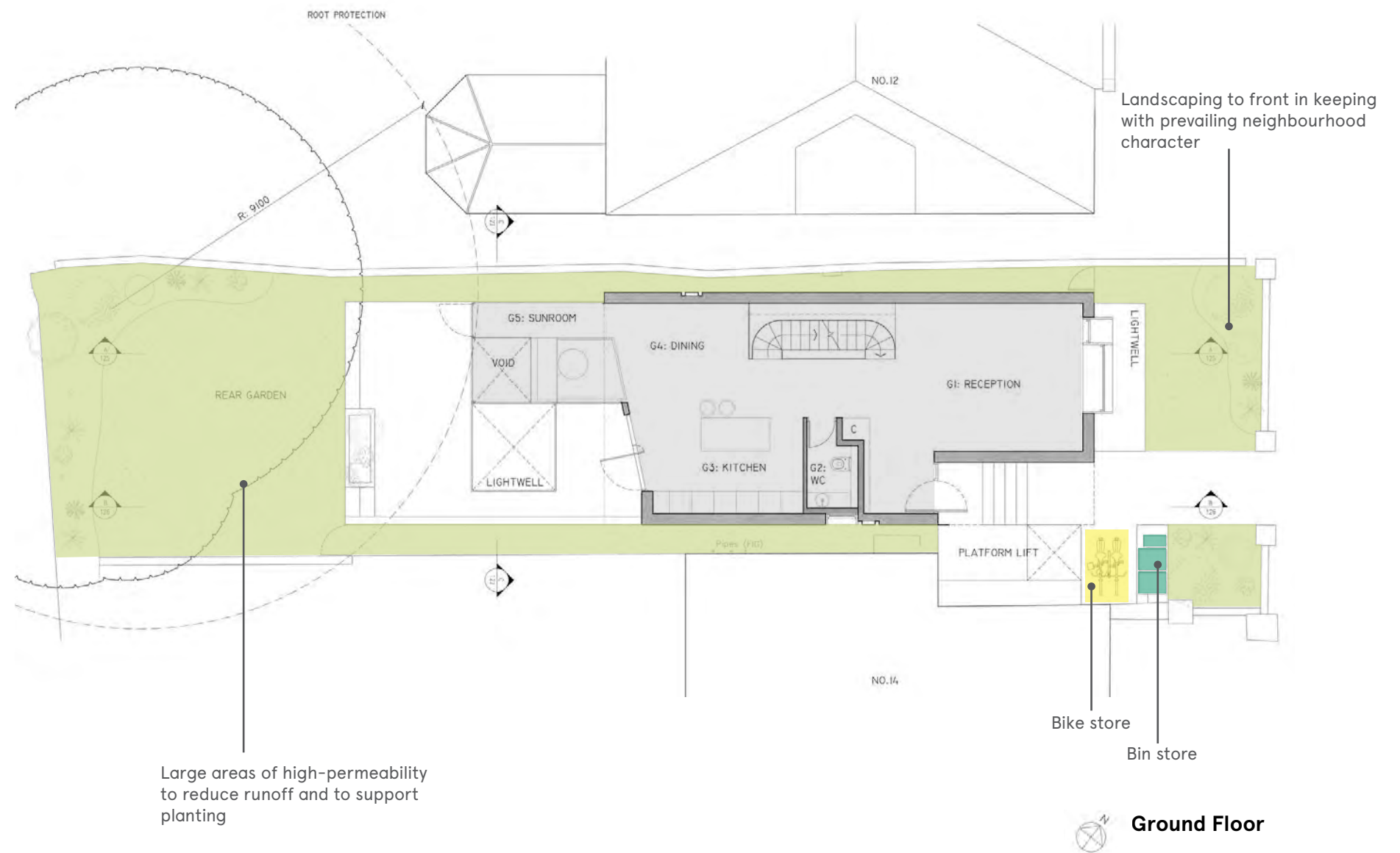
4. Clear Glass Balustrade

5.9 Landscaping

The siting of the building allows for generous front and rear gardens, in keeping with the neighbourhood character. The gardens will feature large areas of permeable surfaces which will reduce surface water runoff and support planting. The garden design will be of a high standard, providing amenity for the residents and an attractive and pleasant outlook for both the residents and neighbours.

The front yard will house a bin store which will be set back from the street and tucked behind an area of planting to conceal it from view from the street. The bike store is located behind the bin store and will be accessed from a paved entry to allow for ease of use and quick access to the street.

As outlined in the Arboricultural Impact Assessment Report prepared by Landmark Trees, the mature Horse Chestnut tree will be retained and protected throughout construction with a Root Protection Zone.



6.0 Impact on Neighbouring Buildings

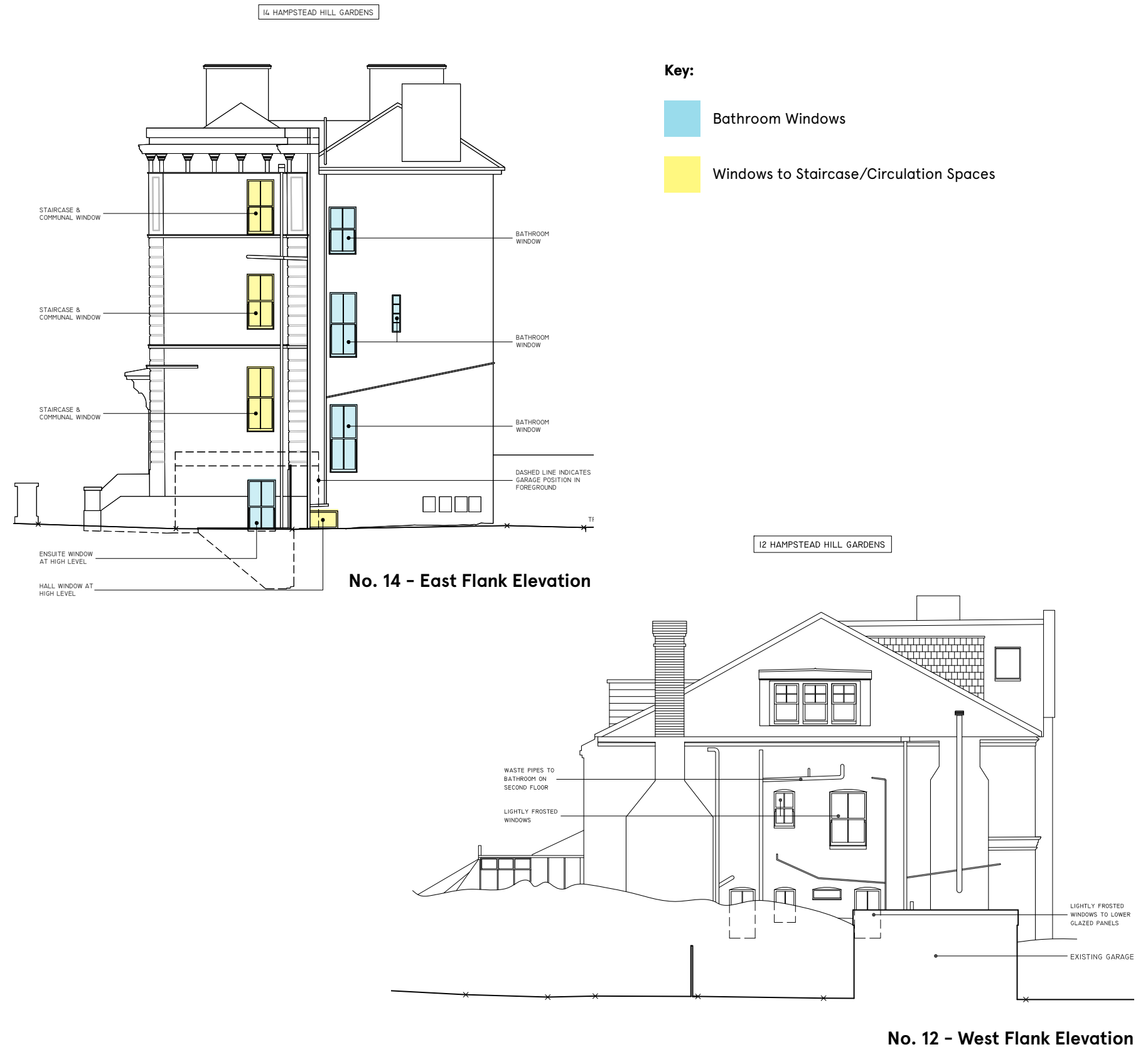
6.1 Immediate Neighbours

In developing the layout consideration was given to protecting the amenity of the neighbouring properties by avoiding overlooking or overshadowing. At the rear of the property the building line has been positioned to accommodate the right to light of the rear windows at No. 14 and to comply with the 45 degree rule which protects this right.

The neighbouring properties at Nos. 12 and 14 have side windows on their flank elevation. Both properties were approached to try and ascertain the room use behind each of the flank windows.

The owners of No. 14 have confirmed the layout and function of the rooms which the windows to the flank elevation serve. Three windows at the first, second and third floor are arranged along a staircase, which accounts for their offset position. A small window at the lower ground floor level towards the front of the house is a high level window in a dressing room. The remaining windows all serve bathrooms.

To determine the room use behind the windows on the flank elevation at No. 12 certain inferences have been made based on the location of service pipes, the window treatment and the plans for No. 10 (the mirrored pair to No. 12). The possible configuration of the floor layout at No. 12 and the rooms which the windows on the flank elevation might serve are outlined in the Daylight & Sunlight Report prepared by Delva Patman Redler



6.2 Neighbourhood Consultation

Owing to the pandemic, face to face consultation with neighbours has not been possible. Instead, neighbouring residents, the chair of the resident association and Ward Councillors were invited by letter to a virtual consultation meeting to give them the opportunity to make any comments on the proposal.

Four zoom meetings were held in total to present and discuss proposals and, where possible, address any concerns. An initial meeting on the 27th October was held with only the immediate neighbours as the scheme would have a greater impact on their property and we wished to address any initial concerns before presenting to the wider area. A further three meetings were held on the 5th, 6th and 13th November with other residents who expressed an interest and the owner of No. 12, who attended all meetings.


Along with some positive feedback, some concerns were raised by the residents. Across the four meetings the following key points were discussed and addressed:

- Overlooking from the upper floor windows and privacy was raised as a concern by Nos. 2, 2a and 12. In response, the windows closest to the boundaries have been amended with the glazing replaced by bronze panels at eye level. The panels would incorporate 100mm restrictors to prevent views out but allow natural background ventilation. This configuration is ideal for bathrooms which has led to a reconfiguration of the second floor layout with the ensuite relocated behind the amended window. At ground level horizontal slats have been introduced to the glazed roof and west elevation of the sunroom. This prevents overlooking and improves privacy between the two properties.
- Concern was raised over any potential side windows along the flank elevations. However owing to the plan layout no side windows have been proposed.
- The building massing and height was discussed at some length. It was confirmed that the building follows the building line with No. 12 at the front and rear. Its height, at three stories, is in keeping with the height and number of stories at adjacent properties whilst the level acts as a transition between Nos. 12 and 14. Any loss of light has been considered and clarified within the daylight and sunlight report.

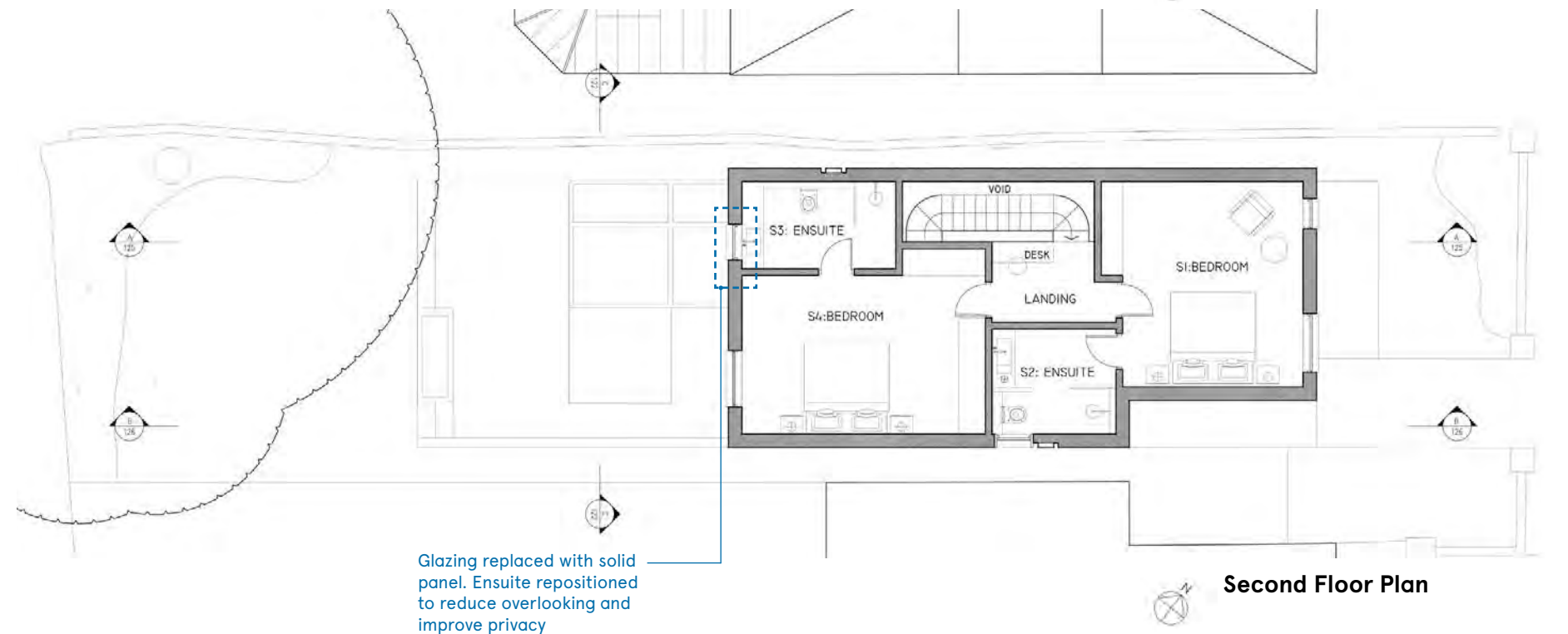
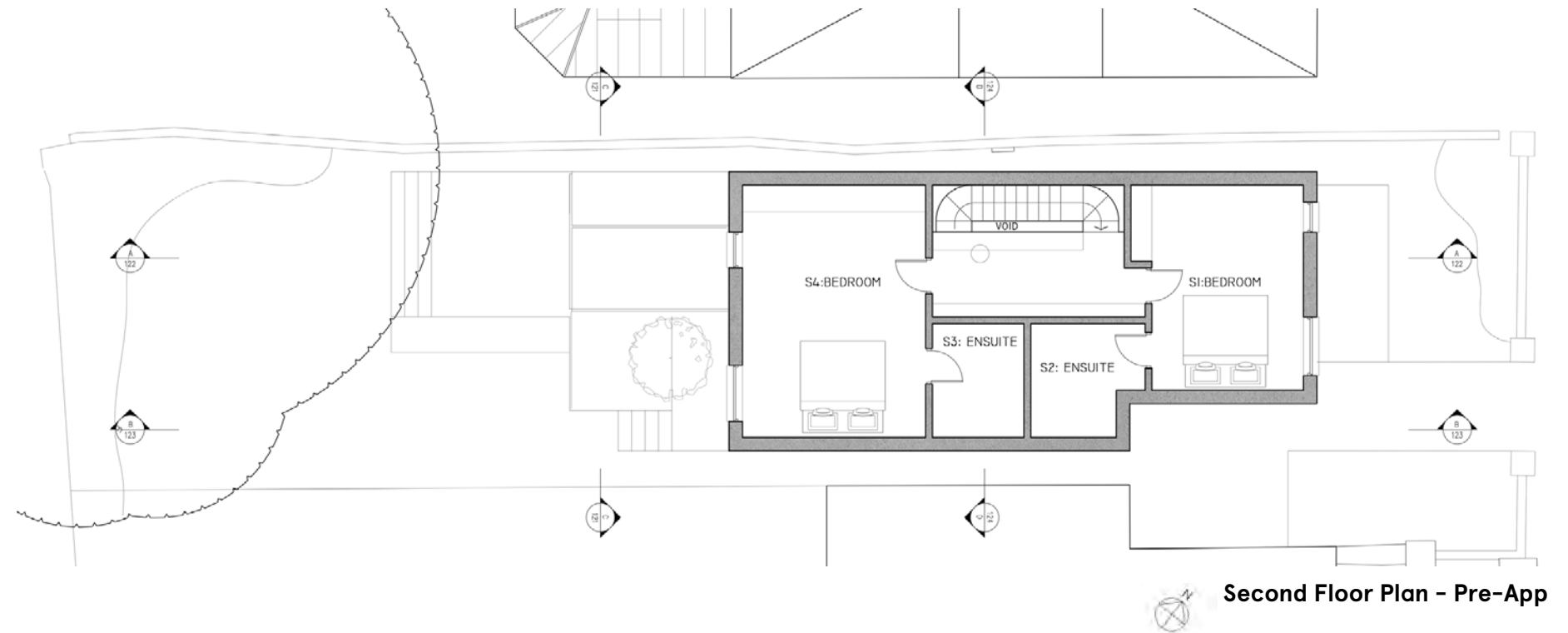



Rear Elevation - Pre-App

Rear Elevation

 Alterations following neighbour consultation

- Concern was raised over potential flooding. This is an important consideration and as such a flood risk assessment has been included with this application (refer Basement Impact Assessment Report prepared by Soiltechnics). As part of the proposed SUDs system, water runoff will be collected in a tank below ground level with any overflow slowly released into the sewer system. This will prevent overloading the sewer during heavy rainfall. Over 50% of the garden is to be retained, which will provide a suitable drainage area for surface water as per Policy A5 of the Camden Local Plan.
- In general the removal of the dilapidated garages was seen as a positive contribution to the street scene.
- The design principle of a high quality modern building which sits sympathetically with neighbouring buildings was received positively within the meetings held on the 6th and 13th November. Participants were generally happy that the design was modern rather than a pastiche infill. It was accepted that the design, materials and detailing would need to be of a high quality so that the proposal would compliment and elevate the street. During the meeting on the 5th November one resident enquired whether we had considered a traditional design approach. It was explained that this would detract from the period properties and the ability to read the historic development of the street. This approach was confirmed by the pre application advice which deemed a contemporary approach to be appropriate.
- Neighbours at no. 12 requested no noisy work to take place at certain times due to recording a radio programme. It was agreed that everything possible would be done to prevent noisy work during this time.
- Digital version of the presentation document was requested and issued on 3/11/20



 Alterations following neighbour consultation

7.0 Access & Sustainability

7.1 Access

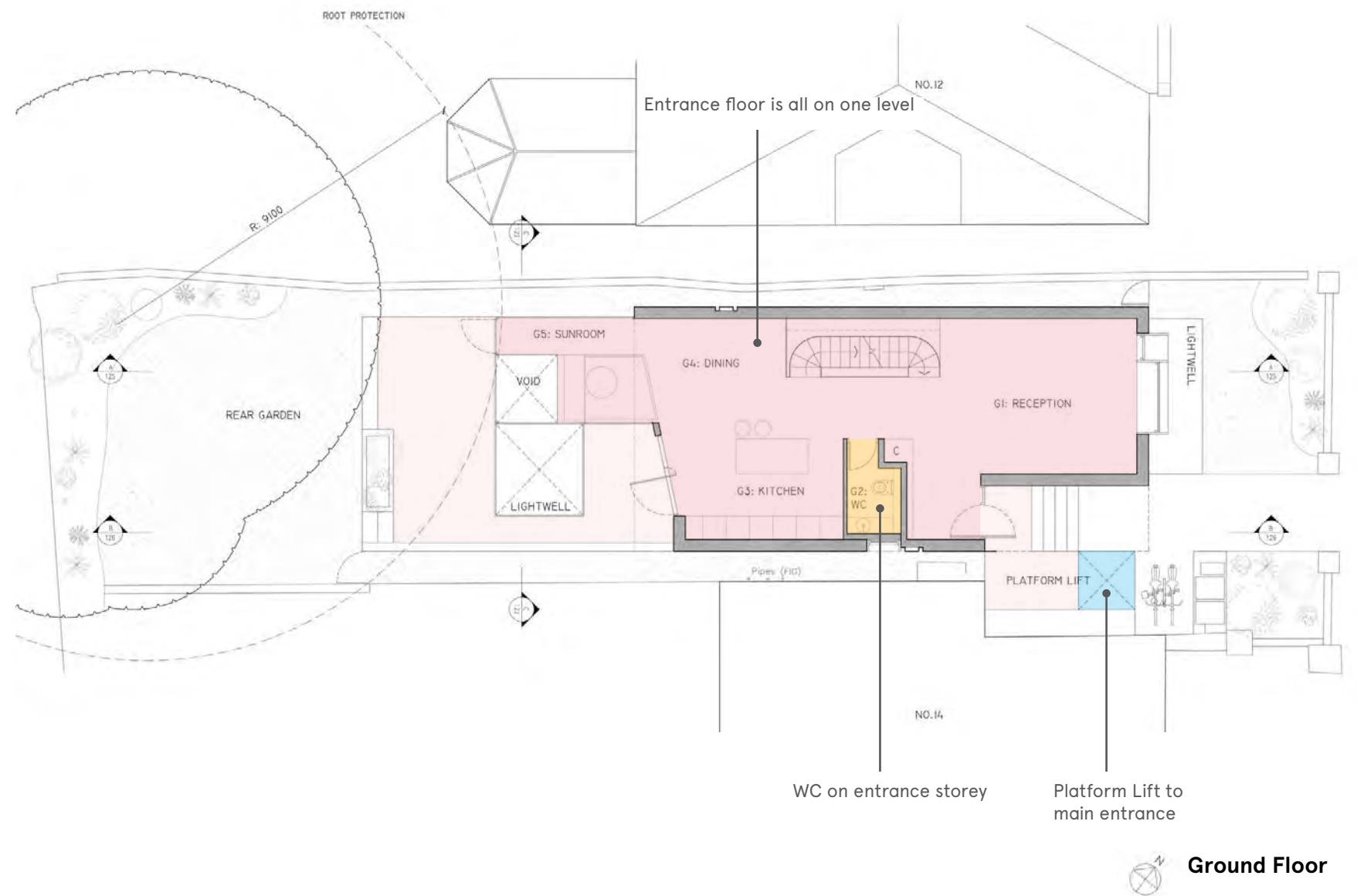
The proposed design has been developed with reference to national guidance, local planning policies and part M of the building regulations.

Consideration has been given to providing to providing an accessible entrance storey through the following measures:

- The entrance to the dwelling is raised in keeping with the character of the neighboring buildings. To allow for accessibility a platform lift will service the raised entrance level. The helps improve both physical and perceived accessibility from the street
- Pivot entrance door opens inwards to allow for seamless access into the entrance storey from the platform lift
- Once inside the building there are no changes in floor level across the entrance storey (ground floor)
- A WC is provided on the entrance storey
- The open plan layout of the entrance storey avoids narrow corridors or passageways
- Level access is provided to private outdoor entertaining areas (patio) from the entrance storey
- The steps leading to the front door have been designed in accordance with the requirements for ambulant steps as laid out in Part M, Section 1A, point 1.8 of the building regulations



Platform Lift Example



7.2 Sustainability

The proposed building has been designed to be as energy efficient as possible and to embrace the principles of sustainable design and durability. A Sustainability Statement has been prepared by Eight Associates to support this application.

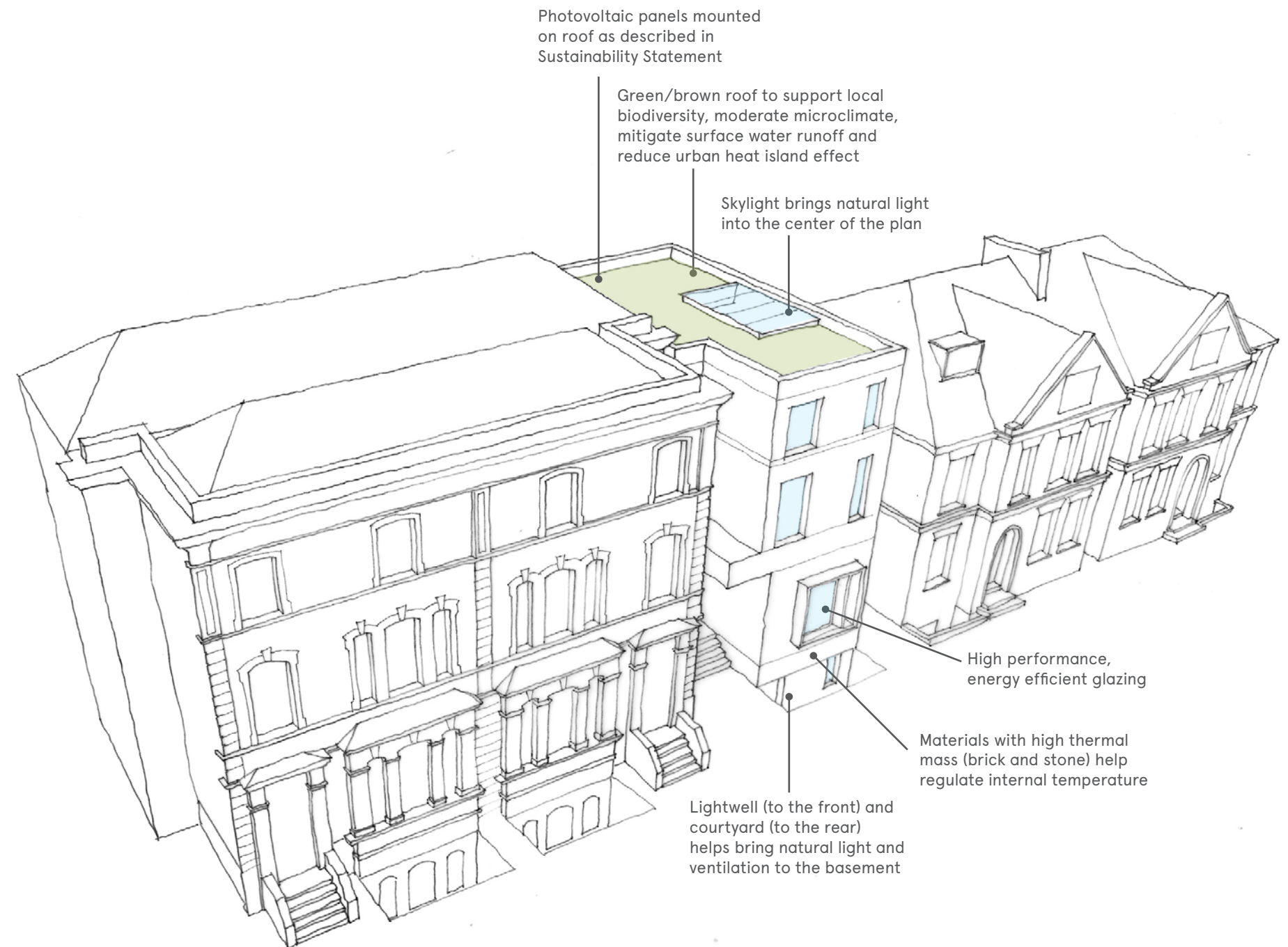
In line with Section 8 Sustainability and Climate Change of the Camden Local Plan, the proposed design aims to:

- Work towards a zero carbon development
- Create a resource efficient building
- Introduce measures to mitigate surface water runoff, support biodiversity and reduce the urban heat island effect

Proposed measures to ensure the dwelling is as sustainable as possible are as follows:

- The proposed new dwelling will be built to a high standard of thermal performance
- Glazing will be energy efficient
- A courtyard and lightwell will bring natural light into the basement reducing the need for artificial lighting
- The proposed layout provides opportunities for natural ventilation and cross ventilation
- All lighting will be low energy
- Proposed materials (brick, stone and high performance glazing) have been chosen for their long term performance (thermal mass, longevity and maintenance) as well as their character and charm
- Permeable paving and soft landscaping to mitigate surface runoff
- A large garden area is proposed with high quality planting to support biodiversity and microclimate benefits
- A green/brown roof is proposed to further support biodiversity and microclimate benefits and mitigate surface water runoff
- Aim to use best practice environmental technologies, including air source heat pumps, solar panels, MVHR heat recovery & ventilation, under floor heating and energy efficient appliances
- Photovoltaic panels to be installed on the roof
- Bike store to the front yard to encourage cycling

Along with the sustainable design principles listed above, the proposed design will also be durable in construction, fit for purpose (as a family home) and demonstrate robustness through well designed spaces. As a high quality building in terms of design and construction, the proposed design is likely to have a greater longevity and is more likely to be retained and adapted. This is in line with Policy D1 of the Camden Local Plan.



8.0 Planning Policy

A full assessment against the relevant planning policies is included within the Planning Statement prepared by Forward Planning and Development. The following is a brief summary relating to the information contained within the Design and Access Statement.

The proposed design has been formulated with due regard for the London Plan and National Planning Guidance as well as the Borough's guiding principles and detailed policy considerations as set out in the Local Plan and supplementary planning guidance.

Housing

Camden Local Plan – G1, H1, H4 H6 & H7

Policy Aim: Create conditions for growth that are appropriate and sustainable.

The site provides a perfect opportunity for sustainable development as it is located in a residential area with good transport links and easy access to local amenities. The proposed townhouse makes efficient use of the site and would be beneficial to the local character as it is in keeping with the size style and massing of the neighbouring buildings. The existing site is unsightly and inconsistent with the prevailing form of development along the street. Therefore a self-contained home finished to a high standard of design, as proposed, would be an improvement on the existing street scene.

Health and Wellbeing

Camden Local Plan – C1

Policy Aim: Seek development that contributes to high quality, active & accessible places.

The current proposal reflects a high standard of design in terms of layout, sustainability and accessibility (refer sections 7.1 Access and 7.2 Sustainability).

Safety and Security

Camden Local Plan – C5

Policy Aim: Promote design principles which contribute to public safety.

Access to the proposed townhouse and spatial layout within have been designed with consideration for the safety of the inhabitants, visitors and passers by. The building can be safely accessed from street level, provides appropriate visibility from the street frontage and allows for adequate space internally for people to move around the building safely (refer 5.6 Plan Layouts).

Access for All

Camden Local Plan – C6

Policy Aim: Ensure buildings meet highest practicable standards of accessible and inclusive design.

Care has been taken to ensure the proposed design can be accessed safely and with dignity by all (refer section 7.1 Access).

Managing the Impact of Development

Camden Local Plan – A1

Policy Aim: Ensure amenity of communities, occupiers and neighbours is protected. Balancing the needs of development with the needs and characteristics of the local area.

As part of the design process consideration has been given to protecting the amenity of neighbouring buildings. This has been achieved through design and community consultation (refer section 6.2 Neighbourhood Consultation).

Open Space

Camden Local Plan – A2

Policy Aim: Ensure developments seek opportunities for providing private amenity space.

The proposed design includes ample private outdoor space comprised of a front garden, rear garden, courtyard and lightwell (refer 5.9 Landscaping).

Biodiversity

Camden Local Plan – A3

Policy Aim: Assess developments with their ability to realise benefits for biodiversity through layout and design of landscaping. Seek to protect vegetation.

The site does not fall within an identified designated biodiversity corridor. However biodiversity opportunities have been considered (refer 5.9 Landscaping and 7.2 Sustainability). An Arboricultural Impact Assessment Report prepared by Landmark Trees and a Sustainability Statement prepared by Eight Associates has been provided with this application.

Noise & Vibration

Camden Local Plan – A4

Policy Aim: Minimise impact on local amenity from deliveries and demolition/construction. Conditions imposed on plant equipment and delivery times.

Construction noise and deliveries will be handled with due consideration for the local amenity as laid out in the Draft Construction Management Plan. Neighbours at no. 12 requested no noisy work to take place at certain times due to recording a radio programme. It was agreed that everything possible would be done to prevent noisy work during this time (refer 6.2 Neighbourhood Consultation).

Basements

Camden Local Plan – A5

Policy Aim: Siting, location, scale and design must have minimal impact on the host site and cause no harm to neighbouring buildings, including impacts of demolition and construction. Seek to control overall size of basements to protect character and amenity of the local area.

The basement has been designed to comply with the requirements set out in Policy A5 (refer 5.5 Basement). A Basement Impact Assessment Report prepared by Soiltechnics and Construction Method Statement prepared by Price & Myers have been provided with this application.

Design

Camden Local Plan - D1

Policy Aim: Encourage high quality, contextual design with respect to:

- Local context and character
- Historic environment
- Sustainable in design
- Details and materials
- Contributes positively to street frontage
- Inclusive and accessible for all
- High quality landscape design
- Incorporates outdoor amenity space
- High standard of accommodation

The proposed design has been carefully considered to reflect a high quality of design both through its appearance and contribution to developing sustainable, inclusive communities. The design has been developed with respect for the character of the local area in its massing, materiality and street frontage (refer sections 5.2 Scale & Massing and 5.3 Street Context & 5.6 Materials). Issues of sustainability and accessibility for all have been sensitively addressed (refer sections 7.1 Access & 7.2 Sustainability) and form part of the holistic approach to design which seeks to create a building with charm and character that makes a positive addition to the local area.

Heritage

Camden Local Plan - D2

Policy Aim: Seek development that enhances the character or appearance of the area.

The proposed design has been developed as a contemporary interpretation of the neighbouring Georgian villas, which although not listed, contribute to the character of the Conservation Area. This is reflected in both the massing and detailing of the building (refer sections 5.2 Scale & Massing and 5.3 Street Context). The building footprint conforms to the established building lines of the neighbouring buildings and creates appropriate front and rear gardens. By replacing the existing C20th garages, which are inconsistent with the pattern of development along the street, with a sensitive contemporary townhouse, the streetscape and character of the area more broadly will be preserved and improved.

Climate Change Mitigation

Camden Local Plan - CC1, CC2, CC3, CC4 & CC5

Policy Aim: Seek highest feasible environmental standards during construction and occupation.

The building has been considered to minimise effects of climate change both while under construction and in-use. The layout and orientation of the building have been carefully considered to minimise the need for artificial lighting and heating/cooling while the building is in use (refer section 5.4 Orientation). Materials have been selected for their quality and longevity as well as inherent thermal qualities (refer sections 5.7 Materials and 7.2 Sustainability). Landscaping to the gardens and a green/brown roof help reduce water runoff and offer biodiversity and microclimate benefits (refer sections 7.2 Sustainability and 5.9 Landscaping). A Sustainability Statement has been prepared by Eight Associates has been provided with this application.

Transport

Camden Local Plan - T1, T2, T3 & T4

Policy Aim: Promote sustainable transport choices. Seek parking and car-free development.

Hampstead Hill Gardens is ideally located for easy access to public transport (refer section 2.3 Site Considerations). The removal of the existing on-site parking (two C20th parking garages) supports measures taken within the borough to use land more efficiently and lower pollution. The proposed development is car-free with no on-site parking and the provision of convenient and secure cycle storage to encourage cycling (refer section 5.9 Landscaping).

9.0 Conclusion

As part of the design process the scheme has been developed through collaboration with specialist consultants including:

- The Heritage Practice
- Forward Planning and Development
- Landmark Trees
- Price & Myers
- Soiltechnics
- Delva Patman Redler
- Eight Associates

The proposal is informed by an understanding of the significance of the site and its context and is in line with the relevant local and national planning policies.

The proposal makes a positive contribution to the streetscape and wider conservation area in the following way:

- Removal of existing garages on site, which are detrimental to the appearance of the area and sustainability targets for the borough
- Provision of additional housing appropriate to the area (single-family homes)
- Improving the streetscape through sensitive design and infill of an uncharacteristic gap in the street elevation
- Development of a new family home that supports sustainable living and is in-line with local sustainability targets for the borough
- Efficient land-use while protecting neighbouring amenity and the character of the local area