

## 1 Introduction

1.1 The following appraisal has been prepared by The Heritage Practice in support of a proposal for the demolition of two garages and erection of a three storey plus basement dwelling house at no. 14a Hampstead Hill Gardens NW3 (the Site). This report should be read in conjunction with the drawings and Design and Access Statement prepared by Echlin Architects.

1.2 The site itself is roughly rectangular and comprises a concrete driveway and an area of garden behind the garages. The two garages are single storey detached garages built using precast concrete façade panels with pitched corrugated asbestos roof and timber garage doors. The garages date from the 1950s.

1.3 Hampstead Hill Gardens is situated to the south west of Hampstead. It loops between Rosslyn Hill and Pond Street. The site lies over the Network Rail tunnel connecting Hampstead Heath and Finchley Road & Frognal rail stations. The site forms part of the Hampstead Conservation Area.

### Report Structure

1.4 The report considers the effects of the proposals on the character and appearance of the Hampstead Conservation Area, taking into account the significance of the site and its conservation area context.

1.5 It is divided into two main sections. Section 2 provides an overview of the site, its character and its immediate context, giving consideration to the character and appearance of the conservation areas its streets and prevailing building types. Section 3 considers the effects of the proposed development on the site and local character and appearance.

1.6 It should be noted that in common with many historic buildings, sites and places, it is not possible to provide a truly comprehensive analysis of the site's historic development. The

research and analysis set out in this report is as thorough as possible given the type and number of archival resources available (where they are open or accessible in 2020/21).

### Author

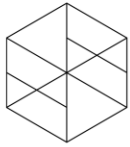
1.7 This appraisal has been prepared by Charles Rose BA (Hons) who has extensive experience in dealing with proposals that affect the historic environment. He has over 15 years of local authority experience, including 12 years as a Principal Conservation & Design Officer at the London Borough of Camden. He also has experience in the private sector, preparing heritage statements and appraising the significance of historic buildings.

### Designations

1.8 The site forms part of the Hampstead Conservation Area. The Hampstead Conservation Area was first designated in 1968 and later extended in 1977, 1978, 1980, 1985, 1988 and 1991. When first designated, the conservation area was known as the Hampstead Village Conservation Area. It was renamed the Hampstead Conservation Area following a boundary extension to include areas outside the extent of the original village. The conservation area now covers a very large and varied area which principally encompasses the best examples of 18th and 19th century development in the Hampstead area.

1.9 The Conservation Area Statement for Hampstead summarises the character of the area as follows:

*"Hampstead has an exceptional combination of characteristics that provide the distinct and special qualities of the Conservation Area. The variety of spaces, quality of the buildings, relationships between areas, all laid upon the dramatic setting of the steep slopes are described below...It also demonstrates its historic development with the 18th century village still evident, adjacent to the streets*



*created in the Victorian era, as well as many 20th century contributions. The Conservation Area character is therefore derived from the wide range of areas within it, each of which makes an important and valuable contribution to the Conservation Area as a whole."*

1.10 The London Borough of Camden (LB Camden) has not specifically identified the existing garages as making a negative, natural or positive contribution to the character and appearance of the conservation area. To inform this report an assessment on the contribution of the site to the conservation area has been undertaken (Appendix D) in accordance with Historic England's guidelines<sup>1</sup>. The conclusion of this is that the buildings make, at best, a neutral contribution to the Conservation Area and have a negative impact on boundary treatment and streetscape of Hampstead Hill Gardens due to the poor quality and unattractive nature of the structures.

#### Sub areas

1.11 The Conservation Area Statement divides the conservation area into a series of sub areas. The Site is included in Sub area 3 – Willoughby Road/Downshire Hill. The adopted Hampstead Conservation Area Statement describes Hampstead Hill Gardens as "An area with larger detached and semi-detached houses."

1.12 In its commentary about Hampstead Hill Gardens the Conservation Area Statement states;

*"A few small modern houses and flats have been added in recent years, which, although in marked contrast to the older villas, do not detract from the character of the area."*<sup>2</sup>

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<https://historicengland.org.uk/content/docs/guidance/hean1-conservation-areas-consultation-draft-pdf>

<sup>2</sup> Hampstead Conservation Area statement 2002 page 32.

1.13 These modern infills are identified by the Council as making a neutral contribution to the character and appearance of the Conservation Area (figure 1 and Appendix A).

#### Listed Buildings

1.14 There are a number of statutorily listed buildings within the wider context of the site. Those listed below and identified in figure 1:

##### Hampstead Hill Gardens (all grade II);

- No.1, 1a and 1b including studio house
- No.2 and 2a and attached wall, railings and gate
- No.4 and attached wall, railings and gate
- No.3 and 3a
- No.5, 5a and 5b and attached wall, railings and gate
- No.7 and attached wall
- No. 9 and attached wall, railings and gate
- No.11 and attached walls, railings and gate

##### Pond Street

- No. 5-13
- Roebuck public house
- No.17 and 17a and attached railings and walls
- No. 19 and 21 and attached railings and walls
- St Stephen's Church Hall

##### Rosslyn Hill

- Church of St. Stephen, grade I
- Torrington and attached wall, gate piers and gate, grade II.

1.15 It is considered that the proposed site is sufficiently physically distanced and separated from the listed buildings in the vicinity so as not to impact on their setting.

1.16 The main matter for discussion is therefore the effect of the proposal on the character and appearance of the Hampstead Conservation Area and how the scheme relates to the local townscape and Hampstead Hill Gardens.

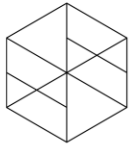


Figure 2: Map showing line of the LNWR railway tunnel between Hampstead and Finchley Road. The map shows the tunnel has been largely built over. The map is reproduced in large scale at Appendix C)

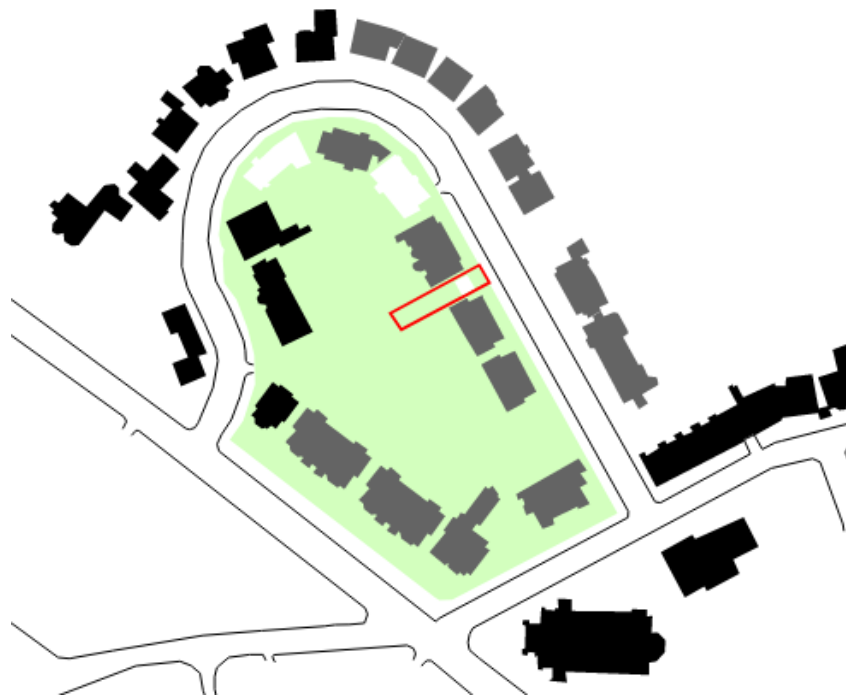



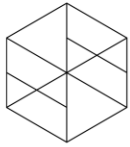


Figure 1: Heritage assets Map

- Listed buildings 
- Positive contributors 
- Neutral contributors 





## 2 Site and context

2.1 The following section provides an overview of the site, its character and its immediate context, giving consideration to the character and appearance of the conservation area its streets and prevailing building types.

### Site description

2.2 No.14a is a gap site located on the west side of Hampstead Hill Gardens, a street which loops between Rosslyn Hill and Pond Street. The site forms an anomalous gap in an otherwise enclosed and fully developed streetscene. The site contains single storey detached garages built using precast concrete façade panels with pitched corrugated asbestos roof and timber garage doors. The garages date from the 1950s. The front of the site includes a drop kerb with open concrete hardstanding to allow access to the two post war garages.

2.3 The site boundaries to the north and south are defined by the properties at nos. 12 and 14 Hampstead Hill Gardens. To the rear (west), a concrete and brick retaining wall separates the site from a further residential garden behind.

### Tunnel

2.4 The site is located above the London and North Western Railway (LNWR) tunnel which forms part of the Hampstead Junction Railway. The line running between Willesden to Camden was opened on 2 January 1860. It was tunnelled between Hampstead Heath

and Finchley Road. (approximately 1km in length) burrowing under the hill of Hampstead.

2.5 The gap results from the location of the LNWR tunnel. The site isn't identified as being of significance within the Conservation Area statement or Neighbourhood Plan. It is not identified as providing an important break in development or designated as important view or marker to signify the tunnel location. Indeed no other points above the tunnel route appear to be identified as being of any significance and most of land above the tunnel has been developed with historic and modern development including at the entrance of the Finchley Road end of the tunnel.

### Historic Development

2.5 Hampstead Hill Gardens was laid out over open fields in the 1870s, connecting Rosslyn Hill and Pond Street (figures 3-6).

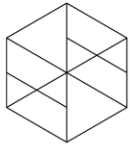
2.6 The stucco-faced villas (nos. 14-20 and 25-33) at the Pond Street end of the road date from the 1870s and were followed by the grand, detached red brick houses at nos. 1-11 (odd) in the 1880s.

2.7 Nos. 10-12 were added in in Edwardian period with nos. 4a-4b and no.8 built in the middle of the 20<sup>th</sup> century. No. 23a lies directly opposite the site above the LNWR tunnel. It is a modern family dwelling with a basement dating from 2018. It replaced a 1970s extension to no. 23 (Appendix A).

### Hampstead Hill Gardens character zones.

2.7 Although the site's context is somewhat varied, the stuccoed villas and detached red brick houses form two distinct phases of development on the street, dissected by the railway tunnel and interspersed within infill development. (Appendix A)

*Hampstead Hill Garden's South*



2.8 The first phase of development on the street are the pairs of stucco villas built in the 1870s located at the southern end of the street between Pond Street and the railway tunnel (not visible but shown on the map at figure 2). This section of road is straight with narrow gaps between the semi-detached grained villas. These villas are of three storey with basements, dentil cornices and shallow pitched roof concealed behind a parapet at roof level (Appendix A). The front gardens contain deep lightwells behind white painted stucco dwarf walls and piers.

#### *Hampstead Hill Garden's North*

2.9 The northern part of the street, between the railway tunnel and the junction with Rosslyn Hill, comprises large scale Queen Anne Revival style detached dwellings positioned on the inner and outer curve of the road. These houses are fairly closely spaced and set back behind modest front garden areas providing a strong sense of enclosure to the road. The houses are constructed in red or buff/red brick incorporating red rubbed brick to window reveals, cornices and detailing. These dwellings have expressive clay tiles roofs and prominent chimney stacks, some with gables. Low brick walls with hedges and railings characterise the boundary treatment of this part of the street.

2.10 The pair of Edwardian semi-detached properties (nos.10-12) adjoining the site to the north, has a similar language to the detached dwellings as noted above, albeit that no.12 has been rendered white. This pair of houses are more modestly scaled compared with the early similar buildings on the street although they are of three storeys with basements. The façades and boundary wall of no.12 (adjoining the site) has been rendered and painted to match the materials and boundary treatment of the stucco houses to the south.

#### *Hampstead Hill Gardens – modern infill*

2.11 Hampstead Hill Gardens is also characterised by modern infill development.

These are built in brown/red brick facing materials consistent with the northern character zone of which they form a part.

2.12 The Hampstead Conservation Area statement states that:

*“A few small modern houses and flats have been added in recent years, which, although in marked contrast to the older villas, do not detract from the character of the area.”*

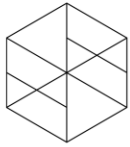
#### **Hampstead Conservation Area - contemporary architecture**

2.13 Hampstead has an established tradition of architectural innovation and quality. As a result Hampstead Conservation Area is a place of architectural distinctiveness and interest. This includes buildings that are very good examples of 18<sup>th</sup> and 19<sup>th</sup> century London suburban development.

2.14 The trend for architectural quality and interest continued in the 20<sup>th</sup> century when *‘prestigious houses continued to be built on the western slopes around Frognaal and Fitzjohns Avenue in a variety of inventive arts-and-crafts styles, gradually becoming more conventionally neo-Georgian as the 20th century progressed. A number of striking modern houses were built in the 1930s around Frognaal and in Willow Road that defied convention, and the Hampstead tradition of avant-garde architecture established in the 1870s, continued through the 20th century.’*<sup>3</sup>

2.15 After the Second World War innovative architecture was promoted by the London Borough of Camden, famous for exemplary social housing programmes in the post-war decades. During the 1960s the Borough of Camden’s housing programme transformed the periphery of Hampstead at Dunboyne Road, Alexandra Road and Branch Hill. In the later 20<sup>th</sup> century and early 21<sup>st</sup> century new houses

<sup>3</sup> Hampstead Conservation Area Statement 2002



continued to be built through private commissions. This drive for buildings of architectural quality and interest can be widely seen in infill developments or in the redevelopment of existing houses (Appendix B).

2.16 Hampstead is characterised by a blend of juxtaposed buildings of different periods and styles. This is an established and valued component of the conservation area.

Figure 5 : 1915 OS Map

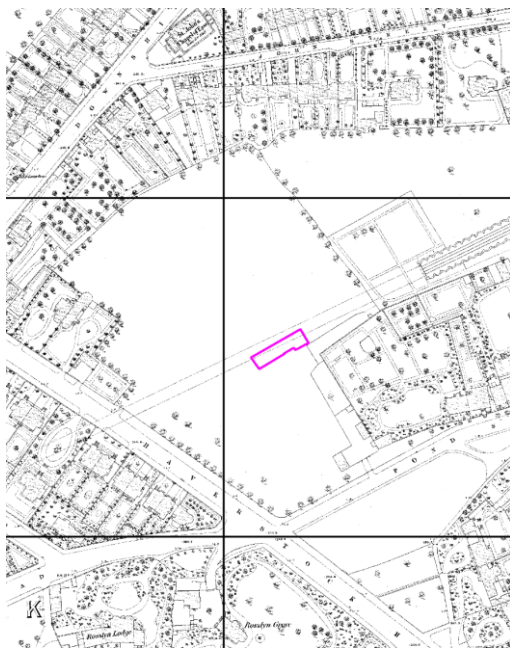


Figure 3 : 1871 OS Map

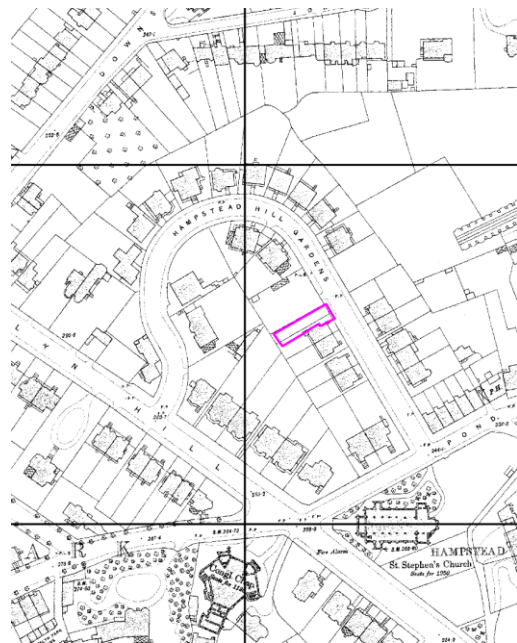
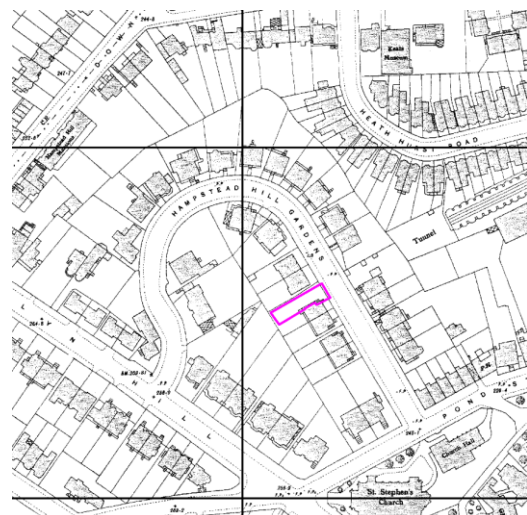


Figure 4 : 1895 OS Map



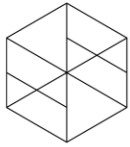


Figure 6: 1936 OS Map

### 3 The Proposals

3.1 The proposed development would involve the demolition of two garages and the erection of a three storey (plus basement) dwelling house at the site.

3.2 The proposed front and rear building lines align with those at no. 12 Hampstead Hill Gardens. The front building line sits back approximately half a metre back from the front building line of no.14.

3.3 The ground floor level is raised to respond to the established character along the street (provision for level access to the property has been allowed for by means of a platform lift). There is a front garden with narrow lightwell behind low dwarf wall which reinstates the boundary treat on the street.

3.4 The parapet would finish at approximately 400mm between the ridge height of nos.10-12 and the parapet height of nos.14-16 (figure 7 & 8). The building would be terminated by a shallow pitched roof concealed behind a parapet.

3.5 The facades would be faced with a slim white brick using a flush mortar with white Portland stone banding. The window frames

would be in a bronze with clear low-iron glazing.

Figure 7 : street elevation indicating the ground level and adjoining building heights

#### Demolition

3.6 Following pre-application consultation, LB Camden confirmed that there is no in principle objection to the demolition of the existing garages.

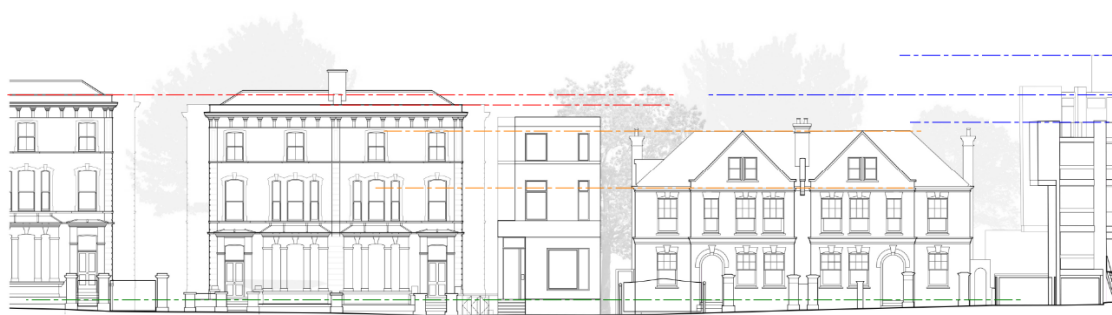
#### Local Context

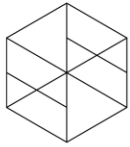
3.7 Care has been taken to be sympathetic to the immediate context. The stuccoed villas have been a formative reference for the project due to their vertical emphasis and proximity to the site. However, the development site straddles the character zones and therefore seeks to also respond to development to the north in order to create an harmonious response to the existing streetscene.

#### Proportion and design

3.8 The façades of the stuccoed villas have an underlying composition with tripartite bays repeating rhythmically along the street in a strong vertical pattern, with windows reducing in height to distinguish hierarchy. The elevational treatment of the buildings on the street are layered. Bays, gables and pediments project forward as entrances and roofs step back.

3.9 The proposed design seeks to respond to this pattern. The building footprint respects the





established building line to the street with the front elevation aligning with the building line at no. 12. The recessed element containing the entry door has been pushed back from the principle elevation to line through with the building return at no. 14.

3.10 The ground floor bay window projects outward into the small front garden. The upper floor windows align with no. 14 with diminishing window heights and vertical rhythm creating an overall symmetry and a contemporary interpretation of these compositional elements.

3.11 Looking north from the site, the 2-3 storey houses along the north side of the street gradually step up as the topography rises uphill. Looking south, the road straightens and building heights become more equal in height with the greater floor to ceiling height accentuating their overall height.

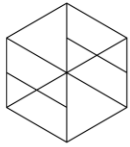
Figure 8: Streetscape sketch view of the proposal looking north from Hampstead Hill Gardens

3.12 The transition in scale between the stucco villas to the south and Edwardian houses to the north site is successfully managed by;

- mediating between the height of its immediate neighbours on the north (no.10-12) south (no.s14-16) of Hampstead Hill Gardens;
- Matching the front building line with no. 10-12 (set back from the pediment);
- Commonality of brick façades to the north;
- Consistency of tone with the south and no.12 Hampstead Hill Gardens ;
- Diminishing scale of the windows that respects an expression of floor hierarchy.







## Design and Materials

3.13 To ensure the new dwelling sits harmoniously with the adjacent houses it is proposed to use a similar material palette in terms of colour and texture to the adjoining dwellings.

3.14 The site sits between two rendered buildings. Render can look tired due to cracking and dirt build-up over time. It is therefore proposed to use a high-quality alternative using a slim white brick with a flush mortar and white Portland stone banding. This will result in a contemporary appearance that sits comfortably within its setting.

3.15 The brick façade responds to the prevailing use of brick in the detached properties to the north. The material gives the architecture a textured and tactile quality. The play between the brick and stone creates a textural variation which provides relief to the elevation and adds visual interest.

3.16 The horizontal dwellings to the north are referenced with the use of Portland stone in the banding which also accent the façade in a similar manner as the corbelled brickwork string courses at nos. 10-12.

## Boundary Treatment

3.17 The intention is to match the existing adjoining boundary and complete the front boundary treatment and quality of the streetscape. Policy H10 of the conservation area statement confirms that *“Front and rear gardens are an integral characteristic of the Conservation Area.... The loss of front boundary walls where it has occurred detracts from the appearance of the front garden... Proposals should respect the original style of boundary and these should be retained and reinstated where they have been lost.”*

## LB Camden pre-application advice

3.18 The pre-application advice received from LB Camden in Ma 2020 confirmed that;

*“In terms of the massing of the building, it was agreed it was appropriate that the main building line follows that of the Georgian villa as the detailed design refers more to the villa than the late Victorian properties to the opposite side.”*

3.19 The report acknowledged that;

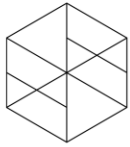
*“So long as the building continues to be designed to a high quality reducing its height by a storey would not benefit the streetscene. Rather, a building of 3 storeys which is designed to a high quality provides the opportunity to contribute to the interest of the street which has a variety of design styles.”*

3.20 The response from officers continued by stating that:

*“The set in of the upper floors and set in of the entrance aids in providing a subtle distinction to the building to provide a contemporary addition to the street.”*

3.21 The advice goes on to note that;

*“Given the street is characterised by a number of modern infills which the Conservation Areas Statement notes do not harm the character of the conservation area it is considered that a contemporary addition would be appropriate in the surrounding context.”*



## 4 Conclusion

4.1 The main matter for consideration is the effect of the proposal on the character and appearance of the Hampstead Conservation Area and how the scheme relates to the local townscape and Hampstead Hill Gardens.

4.2 The proposed site is a gap in the streetscape created by the creation of the railway tunnel hidden beneath the site. Neither the site, or the gap, or tunnel are identified or designated as assets of value which contribute to the character and appearance of the conservation area and this report concludes that this is the case. There are no identified views or vistas which would be affected by the development. No other plot or land (as far as we are aware) positioned above the tunnel running from Hampstead Heath to Finchley Road is protected or restricted from development for this reason.

4.3 The proposed scheme replaces a pair of poor quality post war garages which are, at best, neutral contributors to the character and appearance of the conservation area.

4.4 The existing garages area an anomaly in a street otherwise characterised by more substantial residential buildings. The proposed scheme would remove this atypical built feature and would reinforce the residential use, character and appearance.

4.5 From the outset, the applicant has aspired to achieve a very high quality design which reflects the tradition of design and architecture in private commissions in Hampstead.

4.6 The proposed dwelling simultaneously respects and enhances the character and appearance of the immediate locality in a manner which responds to the surrounding context in terms of scale, mass, materials, tone

and rhythm. The scheme takes its primary reference from the stuccoed villas to the south of the street but also seeks to mediate and take account of the scale and appearance of the dwelling's to the north through height, front building line and use of a brick façade.

Consequently its responds and contributes to the local distinctiveness of this part of the Hampstead Conservation Area.

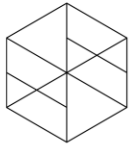
### Policy compliance

4.7 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a conservation area. The scheme would replace the existing poor quality post war garages with a high quality family home. The character and appearance of the Conservation Area would be enhanced in accordance with the Section 72 of the Planning (listed area and listed building) act 1990.

4.8 The scheme has taken into account the significance of the Hampstead Conservation Area as required by paragraph 190 of the NPPF. At paragraph 200, the NPPF is clear that proposals that preserve those elements of setting which make a positive contribution to a heritage asset or which better reveal its significance should be treated favourably.

4.9 Camden policies D1 confirms that the Council will seek to secure highest quality design which respects local context and character. With regard to conservation areas policy D2 states that the Council will 'require that development within conservation areas preserves or, where possible, enhances the character and appearance of the area.'

4.10 The proposals represent excellence in design that respects local character and context. The proposal would not cause harm to the character and appearance of the Hampstead Conservation Area or to the setting of nearby listed buildings. accord with all relevant national, regional and local policy as



well as Camden guidance, Hampstead Conservation Area Statement and Hampstead Neighbourhood plan. For these reasons, and for those set out above, the proposals accord with the relevant statutory and policy provision.

## Appendix A

### Relevant Policy Context

The following paragraphs briefly set out the range of national and local policy and guidance relevant to the consideration of change in the historic built environment. The relevant statutory provision for the historic environment is the Planning (Listed Buildings and Conservation Areas) Act 1990.

#### National Planning Policy & Legislation

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that:

*"...special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."*

The revised **National Planning Policy Framework 2018** (NPPF) sets out the Government's planning policies and how these are expected to be applied. There is a general presumption in favour of sustainable development within national planning policy guidance. Paragraphs 189, 190, 192 and 193 are relevant to this application.

#### Paragraph 189

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.

#### Paragraph 190

Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

#### Paragraph 192

In determining planning applications, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

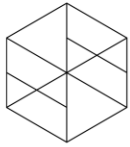
#### Paragraph 193

When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

#### Paragraph 194

Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
- b) assets of the highest significance, notably



scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

### London Borough of Camden Local Plan

Camden's Local Plan was adopted in June 2017.

The most relevant policies in this case is Policy D1; Design and D2: Heritage.

**Policy D1 – Design** confirms that the Council will seek to secure high quality design in development through requiring that development:

- a. respects local context and character;
- b. preserves or enhances the historic environment and heritage assets in accordance with "Policy D2 Heritage";
- c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
- d. is of sustainable and durable construction and adaptable to different activities and land uses;
- e. comprises details and materials that are of high quality and complement the local character;
- f. integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;
- g. is inclusive and accessible for all;
- h. promotes health;
- i. is secure and designed to minimise crime and antisocial behaviour;
- j. responds to natural features and preserves gardens and other open space;
- k. incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example

through planting of trees and other soft landscaping,  
l. incorporates outdoor amenity space;  
m. preserves strategic and local views;  
n. for housing, provides a high standard of accommodation; and  
o. carefully integrates building services equipment.

The policy confirms the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

### Policy D2 – Heritage.

With regard to Conservation Areas, the policy states that the Council will:

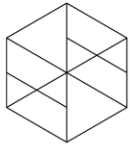
- Require that development within conservation areas preserves or, where possible, enhances the character and appearance of the area.

### Hampstead Conservation Area specific policy

The Hampstead Conservation Area Statement includes a series of area specific policies relating to new development and policies H21 and H22 are relevant to the assessment of this application.

Policy H21 - The UDP provides the context and guidance for proposals for new development with regard to appropriate land uses. New development should be seen as an opportunity to enhance the Conservation Area and should respect the built form and historic context of the area, local views as well as existing features such as building lines, roof lines, elevational design, and where appropriate, architectural characteristics, detailing, profile, and materials of adjoining buildings.

Policy H22 - Hampstead has a variety of building types, ages and styles. There are striking examples of modern architecture and design, however modern development has not always taken account of the area's history



and its context. Modern architectural design will not be resisted per se, but it should be considerate to its context.

**The Hampstead Neighbourhood Plan** was adopted in October 2018 and the following policies are relevant:

Policy DH1: Design

1. Development proposals should demonstrate how they respond and contribute positively to the distinctiveness and history of the character areas identified in Map 2 and Appendix 2 through their design and landscaping.
2. Development proposals should demonstrate how they respect and enhance the character and local context of the relevant character area(s) by:
  - a. Ensuring that design is sympathetic to established building lines and arrangements of front gardens, walls, railings or hedges.
  - b. Incorporating and enhancing permeability in and around new developments to secure safe and convenient access for pedestrians and cyclists, and avoiding lockable gates and fencing that restricts through access.
  - c. Responding positively and sympathetically to the existing rhythm, proportion, height, scale, massing, materials and storey heights of surrounding buildings.
  - d. Protecting the amenity and privacy of neighbouring properties.
  - e. Demonstrating how the proposal protects and enhances the views as shown on Map 4.
3. All development proposals which are required to produce a design and access statement will need to produce additional information on how the proposal conserves and / or enhances the relevant character area(s) relating to that proposal.
4. Development proposals that fail to respect and enhance the character of the area and the way it functions will not be supported.

Policy DH2: Conservation areas and listed buildings

1. Planning applications within a Conservation Area must have regard to the guidelines in the relevant Conservation Area

Appraisal(s) and Management Strategies.

2. 2. In reference to NPPF paragraphs 131 to 136, the Plan provides further guidance on the application of these policies below.
3. 3. New development should take advantage of opportunities to enhance the Conservation Areas by protecting and, where appropriate, restoring original architectural features, including walls, windows, doors, etc., that would make a positive contribution to the Conservation Areas.
4. Development proposals must seek to protect and/or enhance buildings (or other elements) which make a positive contribution to the Conservation area, as identified in the relevant Conservation Area Appraisals and Management Strategies (see Appendix 3).