



Planning Department
London Borough of Camden
5 Pancras Square
London
N1C 4AG

FAO Mr David Fowler

15 March 2021

Dear David

SECTION 73 APPLICATION TO AMEND PLANNING PERMISSION REFERENCE 2018/5774/P
HIGHGATE NEWTOWN COMMUNITY CENTRE, 25 BERTRAM STREET, LONDON N19 5DQ

On behalf of London Borough of Camden Development Division (the 'Applicant') please find enclosed an application made under Section 73 of the Town and Country Planning Act 1990 (as amended) to amend planning permission 2018/5774/P, as approved by the London Borough of Camden (the 'Council') on 29 March 2019, for development at Highgate Newtown Community Centre, 25 Bertram Street, London N19 5DQ (the 'Site').

The purpose of this application is to secure the removal and replacement of an existing tree (T1) with a replacement tree which has become necessary following detailed design investigations with utility service providers.

Existing tree T1 is located in the new pedestrian access route linking Croftdown Road with the approved development. This tree has always been proposed to be retained as part of the landscaping strategy of the development, however due to the need to provide new service and utility runs through this access route following consultation with service providers, the project's arborist has advised that this tree would likely suffer damage and has therefore advised that its removal and replacement with a new tree is advisable.

In support of this application, we provide the following documentation:

- This covering letter
- Arboricultural Letter, prepared by Greenman Environmental Management
- Tree
- Proposed Tree Planting Plan, prepared by Camlins
- Site Location Plan
- Application forms and certificates

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a. Background and proposed amendments

Planning permission was granted on 29 March 2019 for the following development:

"Variation of development granted under reference 2016/6088/P dated 30/06/17 for "Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 31 residential units (Use Class C3) with associated public open space, landscaping, cycle storage, plant and disabled parking."

Namely to make the following changes:

- Amend the height/bulk and massing, elevations*
- Increase the number of residential units from 31 to 41*
- Include 7 affordable units (intermediate) as opposed to none*
- Reduce the area of the community facilities, to result in a smaller increase above the existing floorspace*
- Remove most of the basement*
- Include the existing right of way on the western side of the site."*

Since the grant of planning permission, the application has been amended by application reference 2019/6037/P in December 2019 and application reference 2020/1684/P in July 2020. These non-material amendments secured minor changes to the wording of conditions, minor internal and external design amendments and a change to the energy strategy.

Under the approved development, a number of existing trees on site and surrounding properties were to be retained, with the development designed to ensure these trees can be retained and integrated into the design of the new landscaping strategy for the scheme. A total of 4 trees would be removed under the approved scheme, with the Council concluding that appropriate replacement planting would be appropriate to mitigate their loss.

Tree T1 is an existing mature tree that is located within the new pedestrian access route linking Croftdown Road with the courtyard of the scheme. The approved landscaping scheme incorporated this retained tree into the hard and soft landscaping design.

Since the grant of planning permission, the Applicant has been carrying out detailed design work with the wider project team, including the main contractor appointed to deliver the scheme. This work has included the design of new services and utility runs into the development from Croftdown Road and the new substation at the Croftdown Road frontage. In finalising the design, consultation with utility providers has determined that a number of new service and utility runs are needed in the new access route. These runs would need to go directly through the root protection area (RPA) of T1. There are no alternative means in which to provide the services necessary to the scheme.

After discussing this necessity with the project's arborist, the excavation work within the RPA of T1 was considered to be harmful and would likely mean that T1 would suffer damage that would lead to T1 dying. The arborist therefore advised that this tree should be removed and a replacement specimen planted.

Following these findings and in consultation with neighbouring properties on Croftdown Road and with the Council's Tree Officer, the replacement tree selected was a *Ulmus 'Nanguen' (Lutèce)*. At the time of planting, this tree would have a height of 6-7m and an initial girth size of 35-40cm. This would ensure the tree would be semi-mature at the time of planting to help minimise canopy loss.

As such, it is now proposed to amend the planning application to formally secure the loss and replacement of T1 with this new specimen. It is proposed to vary Condition 2 of the approved consent to update the approved application drawings and documentation.

b. Proposed condition rewording

In order to facilitate the removal and replacement of T1 with the new *Ulmus 'Nanguen' (Lutèce)* tree, it is proposed to vary the wording of Condition 2.

Condition 2 lists the approved drawings and documents that form part of the approved development. In support of this application, an Arboricultural Letter setting out the proposed removal and replacement of T1, as well as a Tree Planting Plan, have both been produced. It is proposed to include these two additional documents as additional proposed drawings.

It is also noted that the approved development contains Condition 7. Condition 7 requires details of the landscaping scheme to be approved before these works start. By securing this change to the approved development, this can allow the final landscaping details, inclusive of this replacement tree, to be secured through an approval of details application.

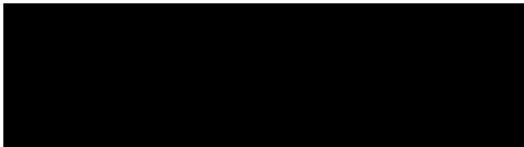
c. Summary and Conclusions

This application is made under Section 73 of the Town and Country Planning Act 1990 (as amended) to secure a minor material amendment to the approved development.

The change sought by this application is for the removal of T1 and its replacement with a new specimen that has been discussed with neighbouring property owners and the Council's Tree Officer. This change is necessary due to the likely harm that would arise to T1 associated with the provision of new service and utility runs that were not foreseen at the planning application stage. The replacement tree would have an initial planting size of 6-7m in height with an initial girth size of 35-40cm, ensuring that the replacement tree would be semi-mature, mitigating the loss of T1.

We trust the enclosed is sufficient for your current purposes and we look forward to receiving confirmation that the application has been registered validation. In the meantime, please contact Lewis Westhoff on 020 3640 1024 or westhoff@iceniprojects.com in the first instance should you have any questions.

Yours faithfully,



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enc. As listed above