

Design & Access Statement

14 Stratford Villas,
London, NW1

31 March 2021

1.0 INTRODUCTION:

This Design & Access Statement has been prepared by DGA Architects, on behalf of the owner Mr R. Shaikh, in support of a Full Planning Application for the amalgamation of the semi-basement level self-contained flat with the upper-level self-contained maisonette to form a single-family dwelling. The proposal also seeks to provide a modest two-storey (Semi-basement and ground floor level) rear infill extension to improve the flow and usability of the space as a family dwelling.

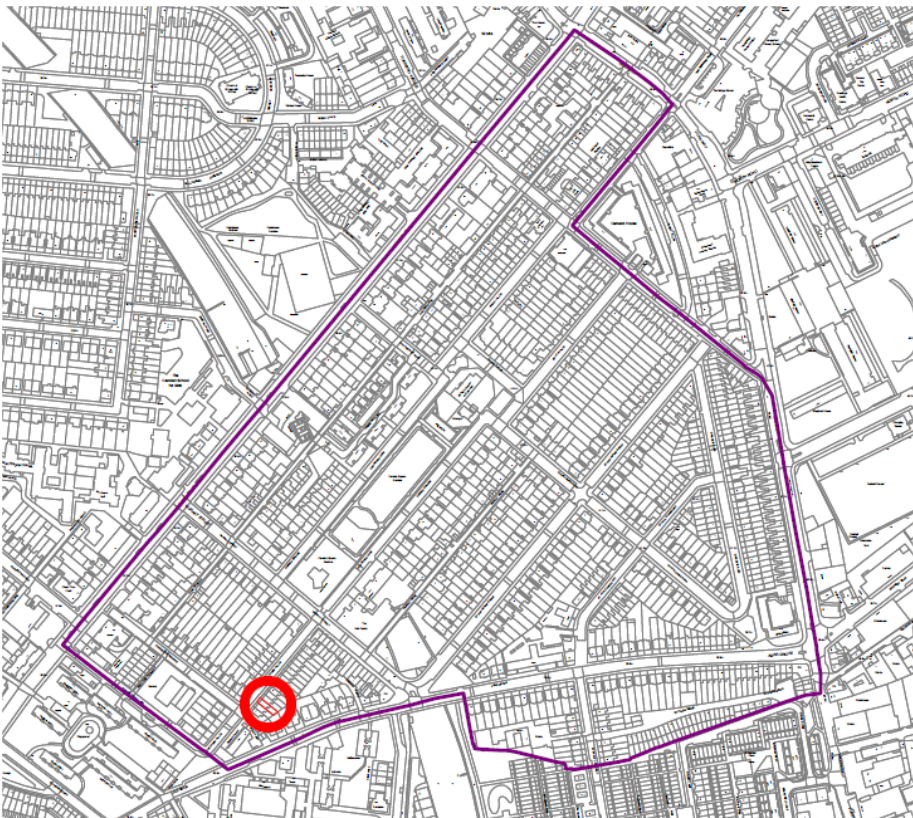
2.0 LOCATION:

Stratford Villas is located in the London Borough of Camden. The street is on the eastern edge of the borough and is situated within the Camden Square Conservation Area. Designated a conservation area in 1974 and extended in 1980 (which included Stratford Villas) and then further again in 2002.

Stratford Villas is to the south-western part of the conservation area, south of Camden Square itself. There are very good public transport links via rail, underground and bus with the property lying between Camden tube station

and Caledonian Road tube station and there is also Camden

Road overground station. Local Buses travel along Camden Road and Agar Grove. It is also close to shops and amenities on Camden High Street.



Map of Camden Square Conservation Area (application property circled red)

3.0 EXISTING PROPERTY:

All properties along the terrace fronting Stratford Villas are uniform in their appearance and detailing. The properties were originally single household dwellings with small front gardens, with semi-basements and steep stairs up to the front doors. Over the years some of these properties have extended into the roof space and many have been divided into separate self-contained flats.

The rear of the terrace is fair-faced London stock brick with traditional timber framed sliding sash windows. Majority of the properties have rear extensions with roof terraces of varying sizes and heights, but generally of similar projection depth. The outlook from the rear of the property is over the small private gardens of Stratford Villas and those towards the rear of Agar Grove. There are many mature trees and shrubbery within these gardens offering a visual screen between properties.

There is no front garden and instead, there is access to the lower ground floor level. In 1977, planning permission (ref: 24503) was granted to divide the building into one self-contained flat and one maisonette. Then at some point between then and 2005, the flats were combined into a single-family dwelling and then was re-divided in 2005 as planning permission (ref: 2005/1345/P) was granted to recreate the lower ground floor self-contained flat.

The erection of a mansard roof extension was granted in 2008 (ref: 2008/2484/P).

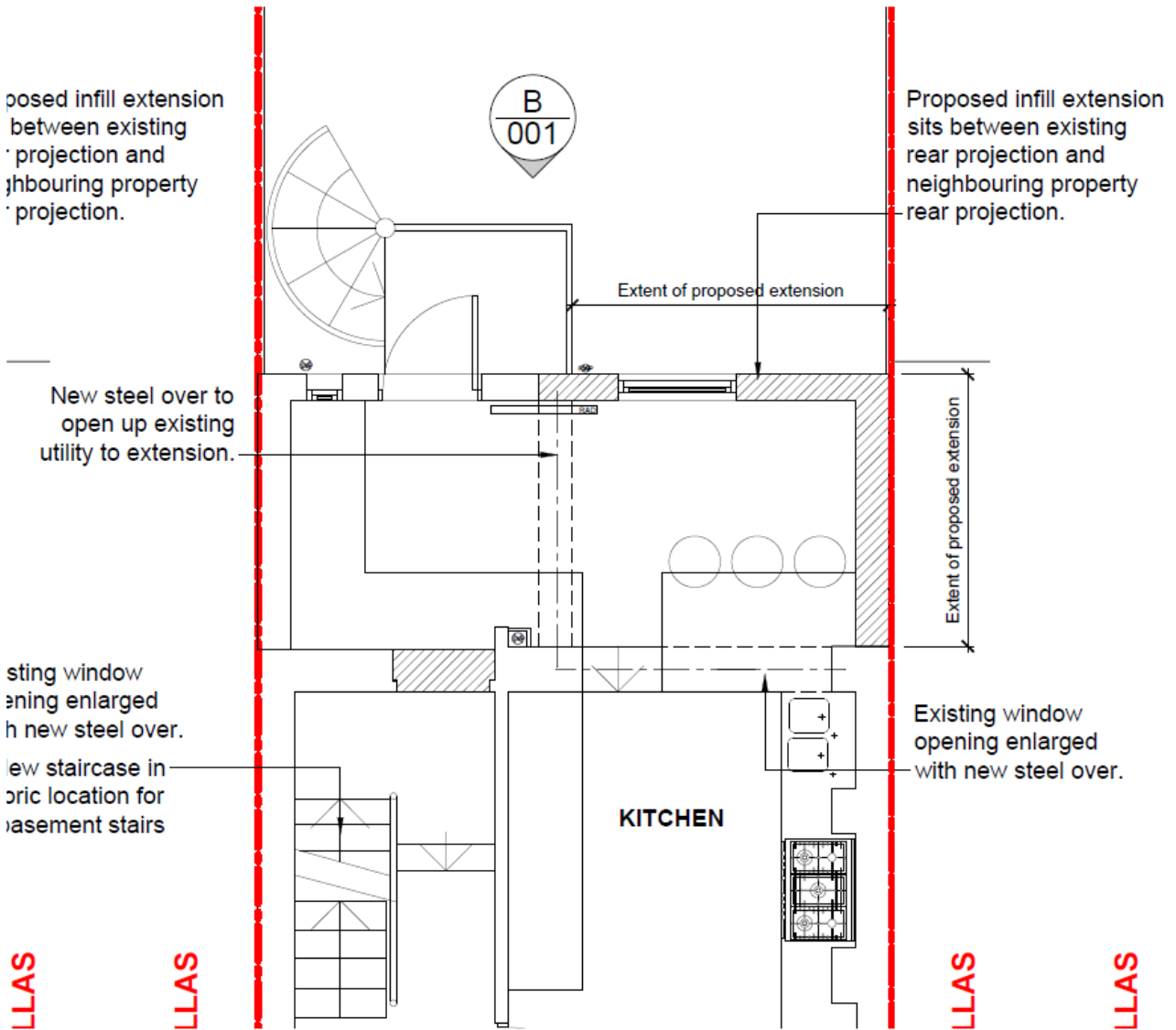


View of existing property from junction with Rochester Square

4.0 PROPOSALS:

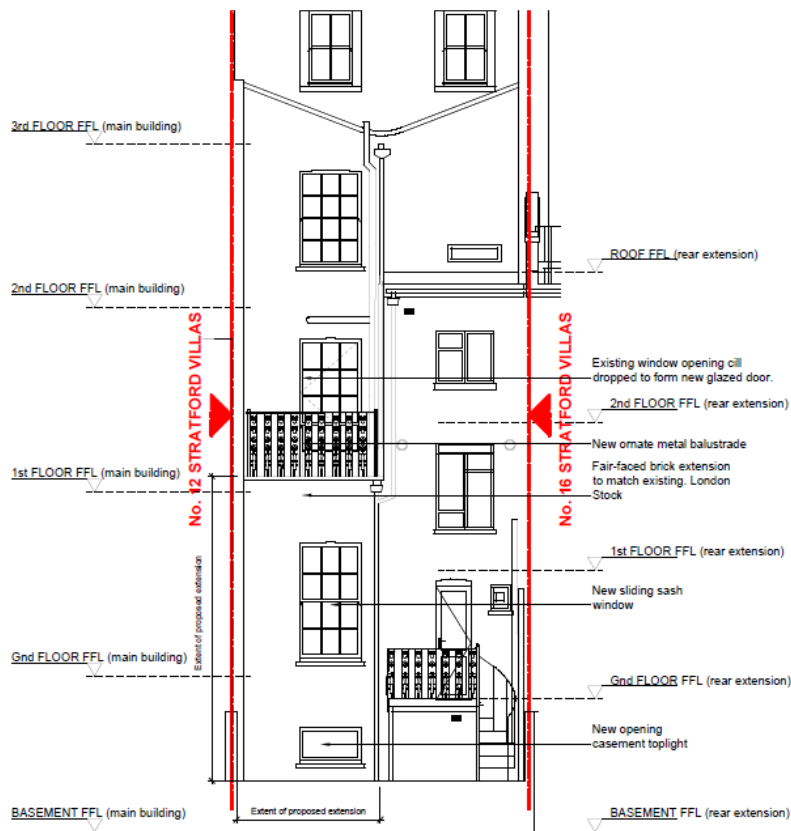
The proposed design approach is to provide a simple and sympathetic small rear infill extension in matching materials, finishes and construction techniques.

The proposed infill extension will sit neatly between the existing 4-storey rear extension / protrusion to the application property and the similarly heighted neighbouring property at 12 Stratford Villas. The proposed extension will align with these two existing projections forming an infill structure to allow the internal space at lower ground and ground floor to become more usable.



Extract of proposed ground floor plan showing extent of proposed extension.

The extension is therefore a two-storey extension with one of the stories being to the semi-basement therefore presenting the extension as a single storey infill above ground floor level being subservient to the existing building projections either side and maintaining the rhythm of the rear of the terrace.



Extract of proposed ground floor plan showing extent of proposed extension.

This has approach been achieved on adjacent properties along Stratford Villas. Proposed new brick detailing and pointing will match the existing and the proposed new painted timber sash window will match the existing rear window in its appearance, detailing and construction.



View of the existing rear of the property

5.0 APPEARANCE:

The property sits centrally within a set-piece terrace of houses and within the Camden Square Conservation Area and therefore the modest proposals have been sensitively designed to minimise any impact on the existing building and its setting and all proposed materials and detailing have been selected to match the existing building to seamlessly integrate the rear extension into the existing façade.

There are no proposed changes to the front elevation fronting onto Stratford Villas and other than the amalgamation of the semi-basement self-contained flat with the upper levels maisonette to form a single-family home, this application only really affects the rear semi-basement and ground floor levels which as can be seen in the above photo are not really visible from the surrounding streets.

6.0 ACCESS:

The main access to the property will remain unaltered, and both the existing front door at raised ground level and the secondary door at semi-basement level are retained. Access to the property is via steep steps from pavement level.

Internally the semi-basement level will be reconnected with the upper parts through a new staircase in its historic location and aiding the flow through the building. The proposed new rear extension at basement and ground floor level will open up the rear space internally and make the space more family-friendly and in keeping with modern standards and requirements while maintaining the historic character of the property.

7.0 CONCLUSION:

These proposals will create a single-family dwelling by combining the existing semi-basement self-contained apartment with the upper floors linked with the reinstated traditional staircase and restoring the property to its original state as a single family home.

There are no proposed external alterations within the public realm and therefore there will be little if no impact on the conservation area.

There are no original features remaining within the semi-basement flat and therefore the proposed incorporation of this into the house along with the modest rear extension will not have an impact on the property at this level. At the ground floor level the impact to the internal finishes fabric will be minimal given the modest size of the proposed extension and all the existing traditional features and finishes will be extended into the new space to create a seamless transition.