

Daylight and sunlight impact assessment report for
the proposed development at:

55 Cumberland Terrace/29
Cumberland Terrace Mews
London NW1 4HJ



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Date: 20 October 2020

Reference: 87970/46/DTO/SMM

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1. Executive summary

1.1. Introduction

- 1.1.1. We have been instructed by Jonathan and Nathalie Esfandi to determine the impacts, if any, on daylight and sunlight amenity of properties neighbouring 55 Cumberland Terrace, and 29 Cumberland Terrace Mews arising from the proposed minor development work of 55 Cumberland Terrace, and 29 Cumberland Terrace Mews, London (referred to as the "Application Site" in this report).
- 1.1.2. Having reviewed the application drawings it is apparent that the only aspect of the proposed development having a bearing on daylight and sunlight is a small extension at ground floor level required to enable creation of a new family room.
- 1.1.3. The Application Site and its environs have been inspected, and research - using the planning records of the local planning authority - has been undertaken for properties neighbouring the Application Site.
- 1.1.4. From the observations made during our inspection and our research using the planning records, it is apparent that only one adjoining property is likely to be affected by the proposed extension. The property concerned is 54 Cumberland Terrace/28 Cumberland Terrace Mews to the south of the Application Site. This property forms part of the Georgian terrace comprising Cumberland Terrace and it has its own mews building to the rear. Only a small number of windows and rooms serving 54 Cumberland Terrace/28 Cumberland Terrace Mews are close enough to the proposed extension to warrant detailed analysis.

1.2. Assessment approach

- 1.2.1. To ensure that the proposed development can be evaluated objectively against the planning policy of the London Borough of Camden, standard daylight and sunlight calculations have been undertaken in accordance with the procedures, methodologies and targets set out in the Building Research Establishment Report entitled '*Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice*' 2nd Edition, 2011 (the "BRE guide")
- 1.2.2. The BRE guide's assessment procedures, methodologies and targets are briefly described in Appendix A.

1.3. Summary of effect on 54 Cumberland Terrace/28 Cumberland Terrace Mews.

Daylight

- 1.3.1. Daylight amenity is assessed for windows, and the rooms they serve, using the Vertical Sky Component (VSC) metric for windows and the Daylight Distribution (DD) metric for rooms. 54 Cumberland Terrace/28 Cumberland Terrace Mews has windows and rooflights at lower ground and ground floor levels, which serve the main house, the smaller mews building and the link construction between the two. These are the windows and rooflight that have been assessed.
- 1.3.2. All windows assessed satisfy the BRE guide's requirements for VSC values and all rooms satisfy the values for Daylight Distribution.

- 1.3.3. The proposed development complies with the recommendations in the BRE guide. It is not expected to affect the daylight amenity of 54 Cumberland Terrace/28 Cumberland Terrace Mews at all.

Sunlight

- 1.3.4. Sunlight amenity is assessed for windows and rooflights only (not rooms) and is measured in Probable Sunlight Hours (PSH) both annually and during the winter period. Only those windows facing within 90 degrees of due south require assessment because only these windows are orientated in a direction that provides access to significant sunlight.
- 1.3.5. One window and two large roof lights - serving the mews building and the link area respectively at 54 Cumberland Terrace/28 Cumberland Terrace Mews – are orientated within 90 degrees of due south. Only these require assessment.
- 1.3.6. The assessed window and rooflights will not experience changes to their sunlight amenity once the proposed extension is complete. Thus, the proposed development is not expected to affect the sunlight amenity of any parts of 54 Cumberland Terrace/28 Cumberland Terrace Mews and it complies with the recommendations in the BRE guide.

Overshadowing

- 1.3.7. At 54 Cumberland Terrace/28 Cumberland Terrace Mews does not have any external open amenity spaces for which an overshadowing study is relevant.

1.4. Conclusion

- 1.4.1. The proposed extension complies with the recommendations in the BRE guide and will not have any detrimental impact on the daylight or sunlight amenity of 54 Cumberland Terrace/28 Cumberland Terrace Mews.

2. Introduction

2.1. Instructions and brief

- 2.1.1. We have been instructed by Jonathan and Nathalie Esfandi to determine the impacts, if any, on daylight and sunlight amenity of relevant properties neighbouring 55 Cumberland Terrace, and 29 Cumberland Terrace Mews, London arising from the works they propose to extend 55 Cumberland Terrace, and 29 Cumberland Terrace Mews (referred to as the "Application Site" in this report).

2.2. Site inspection and research

- 2.2.1. The Application Site and its environs were inspected in May 2020; it lies in a residential area and forms part of a Grade 1 historic Georgian terrace.
- 2.2.2. Lying to the immediately north of the Application Site is 56 Cumberland Terrace/30 Cumberland Terrace Mews and to the south is 54 Cumberland Terrace/28 Cumberland Terrace Mews – both Georgian villas in the terrace of similar design and configuration to the Application Site.
- 2.2.3. There are no relevant properties to the east or west of the Application Site.
- 2.2.4. Research using the planning records of the local planning authority, has subsequently been undertaken for buildings adjoining the development Site. Information relating to the internal arrangement of 54 Cumberland Terrace/28 Cumberland Terrace Mews is available and copies of the information obtained are contained in Appendix B to this report.
- 2.2.5. An internal inspection of adjoining properties has not been undertaken as there is sufficient information available from planning records showing internal arrangements, room sizes and room uses. It is also unusual to seek, or obtain, access to adjoining properties when preparing daylight and sunlight amenity reports; planning policy and technical guides do not require this.

2.3. The application site

- 2.3.1. The Application Site comprises a Grade I listed Georgian villa sitting in a terrace of similar properties on the east side of Cumberland Terrace. It comprises a five-storey main villa building fronting Cumberland Terrace and a smaller two-storey mews building to the rear (east). Between the main villa and the mews building, the original yard has, at some time in the past, been infilled with accommodation at lower ground floor level and ground floor level.
- 2.3.2. The Application Site has no significant external areas apart from a small open well area, descending to lower ground floor level, sitting immediately to the rear of the main house.

2.4. The development proposed

2.4.1. Design information concerning the works proposed has been reviewed and takes the form of the following drawings produced by architects, Collett-Zarzycki:

2001-E-001 Rev / - Existing lower ground floor and ground floor plan
 2001-E-002 Rev / - Existing first floor and second floor plan
 2001-E-003 Rev / - Existing third floor and roof plan
 2001-E-004 Rev / - Existing elevations
 2001-E-005 Rev / - Existing section A-A
 2001-E-006 Rev / - Existing section B-B
 2001-P-001 Rev E Proposed lower ground floor and ground floor plan
 2001-P-002 Rev C Proposed first floor and second floor plan
 2001-P-003 Rev C Proposed third floor and roof plan
 2001-P-004 Rev C Proposed Elevations
 2001-P-005 Rev E - Proposed section A-A
 2001-P-006 Rev E - Proposed section B-B
 2001-P-007 Rev E - Proposed section C and D

2.4.2. These drawings indicate that the only proposed change in the external envelope of 55 Cumberland Terrace/29 Cumberland Terrace Mews concerns a section of the property at ground floor level which links the original villa to the mews building to the rear. At this floor level, it is proposed to extend the existing accommodation out, over an existing flat roof, to its southern boundary with 54 Cumberland Terrace/28 Cumberland Terrace Mews to enable creation of a new single storey family room. The extension will have a flat roof and shallow parapet. Drawings 2001-P-001 and 2001-P-005 show the extension proposed.

2.5. Neighbouring properties

2.5.1. From the observations made during the site inspection, and research using the planning records, it is apparent that only one adjoining property is likely to be affected by the proposed extension. The property concerned is 54 Cumberland Terrace/28 Cumberland Terrace Mews to the south of the Application Site.

2.5.2. The proposed extension will not affect the daylight or sunlight of any of the windows serving 56 Cumberland Terrace/30 Cumberland Terrace Mews because the proposed additional massing is located on the southern side of the Application Site and will be concealed behind existing massing already built on the Application Site at ground floor level.

2.5.3. 54 Cumberland Terrace/28 Cumberland Terrace Mews forms part of the period terrace comprising Cumberland Terrace and has its own two-storey mews building to the rear, a main, five-storey, villa to the front and an infill link building between the two.

2.5.4. The site inspection has confirmed that only a small number of windows and rooms serving 54 Cumberland Terrace/28 Cumberland Terrace Mews are close enough to the proposed extension to warrant detailed technical analysis.

2.5.5. Our technical analysis has been undertaken using a 3D CAD model of the proposed development, its surroundings and the adjoining building comprising 54 Cumberland Terrace/28 Cumberland Terrace Mews. Specialist analytical software has then been used in conjunction with the 3D model to calculate the daylight and sunlight metrics recommended in the BRE guide.

2.6. Planning policy

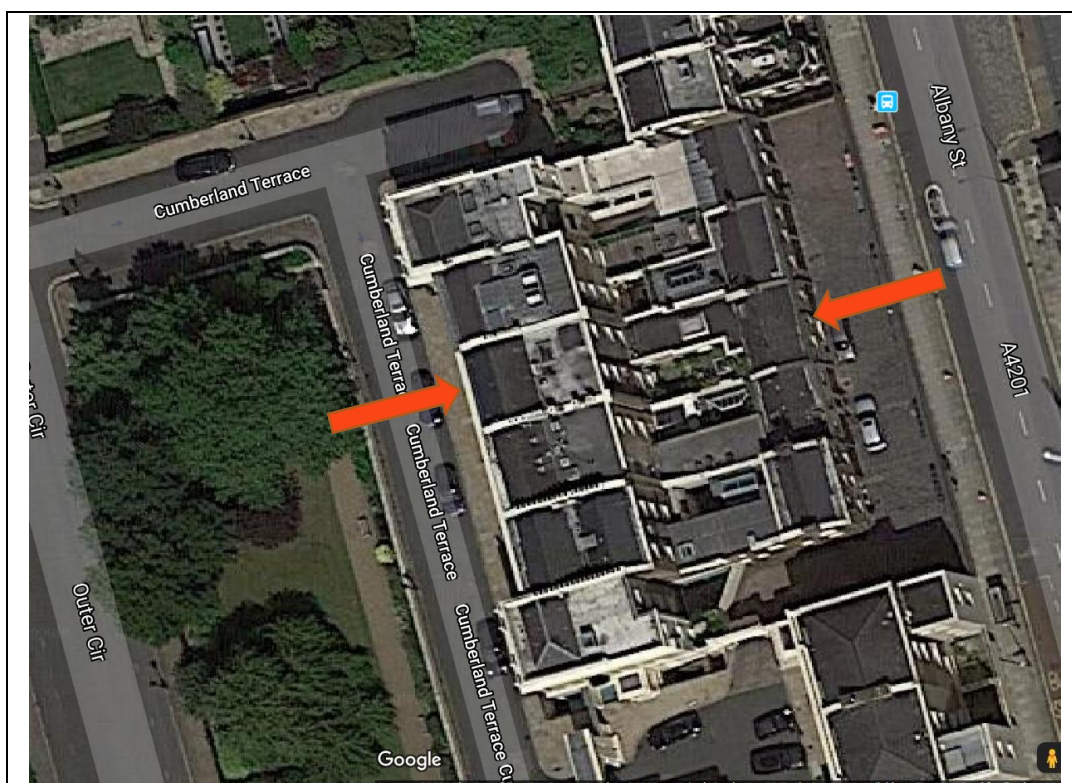
2.6.1. London Borough of Camden's Local Plan contains the following policy guidance under Policy A1: Managing the impact of development:

"Sunlight, daylight and overshadowing

6.5 *Loss of daylight and sunlight can be caused if spaces are overshadowed by development. To assess whether acceptable levels of daylight and sunlight are available to habitable, outdoor amenity and open spaces, the Council will take into account the most recent guidance published by the Building Research Establishment (currently the Building Research Establishment's Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice 2011)."*

2.6.2. Pursuant to the policy cited above, a daylight and sunlight amenity assessment has been undertaken in accordance with the procedures and methodologies recommended in the guidance document published by Building Research Establishment BRE called "Site Layout Planning for Daylight and Sunlight – a guide to good practice, 2nd Edition, 2011" ("the BRE guide"). This enables impacts on daylight and sunlight amenity to be calculated and reviewed objectively against recommended targets. The procedures and methodologies applied are explained in Appendix A.

2.6.3. The Application Site is shown arrowed orange on the aerial image that follows. 54 Cumberland Terrace/28 Cumberland Terrace Mews lies immediately to the south.



2.7. Assembly of 3D model

- 2.7.1. Our assessment is based on the comprehensive set of scheme drawings provided to us by architects, Collett-Zarzycki, in both .pdf and .dwg file formats, as listed in section 2.4 preceding. This includes a set of measured survey drawings for the Application Site in its current form.
- 2.7.2. We have also obtained 3D solid model information from an independent supplier to provide wider context massing for the built environment around the Application Site.
- 2.7.3. The 3D solid model information, measured survey drawings, archive planning information obtained and drawing data available for the proposed development have enabled the production of an accurate 3D CAD model of both the Application Site, in its current form, and also 54 Cumberland Terrace/28 Cumberland Terrace Mews building relative to the Application Site.
- 2.7.4. Basic views in 3D of the context model prepared for the technical analysis are contained in the drawings forming Appendix C.

3. Assessment– 54 Cumberland Terrace/28 Cumberland Terrace Mews

3.1. Daylight amenity

3.1.1. In accordance with the BRE guide, VSC values and DD values have been calculated for windows and rooflights of 54 Cumberland Terrace/28 Cumberland Terrace Mews which overlook the proposed extension and their associated rooms. The rooms concerned comprise:

Ground floor:

- A bedroom in the mews building.
- A kitchen in the central link building.
- A toilet in the central link building.
- A study in the main villa.

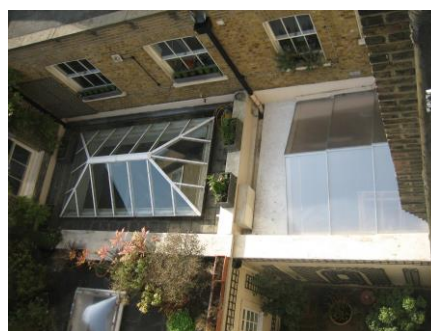
Lower ground floor:

- A gym.
- An enclosed patio area.
- A playroom.

3.1.2. The photographs below contain images of the relevant windows and rooflight to 54 Cumberland Terrace/28 Cumberland Terrace Mews and were taken from 55 Cumberland Terrace, and 29 Cumberland Terrace Mews.



Above: Main lower ground floor rooflight with kitchen windows to righthand side and bedroom window to rear.



Above: Second rooflight to right of main rooflight with all 3 windows serving kitchen visible.



Above: Higher level view of infill link area to 54 Cumberland Terrace/28 Cumberland Terrace Mews.



Above: View at ground floor level across rooflight towards kitchen windows of 54 Cumberland Terrace/28 Cumberland Terrace Mews.

3.1.3. Drawings 87970MD_DD_01; 87970MD_DD_02; 87970MD_WR_01 and 87970MD_WR_02 attached at Appendix D, identify the windows, rooflights and rooms in the photographs above using number references. The windows, rooflights and room reference numbers that appear in the table below relate to the reference numbers in these drawings.

3.1.4. The results for VSC and DD values calculated for the relevant rooms and spaces in 54 Cumberland Terrace/28 Cumberland Terrace Mews are set out in the table that follows. Please note that Room R3 at ground floor level is believed to be a toilet area and light to a room with such a use does not require assessment, if the recommendations of the BRE guide are applied. Therefore, the table below omits commentary on room R3.

Floor	Room	Window	Vertical Sky Component				Daylight Distribution			
			Existing Window VSC (%)	Proposed Window VSC (%)	Times Former Value	VSC BRE Compliant ?	Existing Room DD (sq.m.)	Proposed Room DD (sq.m.)	Times Former Value	DD BRE Compliant ?
Lower Ground	R1	W1	45.49	43.86	0.96	Yes	34.5	31.7	0.92	Yes
Lower Ground	R2	W2	42.03	41.40	0.99	Yes	10.7	10.7	1.00	Yes
		W3	0.00	0.00	1.00	Yes				
		W4	5.18	5.18	1.00	Yes				
Lower Ground	R3	W5	11.46	10.87	0.95	Yes	12.0	12.0	1.00	Yes
Ground	R1	W1	11.03	10.96	0.99	Yes	2.7	2.7	1.00	Yes
Ground	R2	W2	21.30	20.97	0.98	Yes	24.1	24.1	1.00	Yes
		W3	20.99	20.65	0.98	Yes				
		W4	18.71	18.52	0.99	Yes				
Ground	R4	W6	29.24	29.05	0.99	Yes	14.8	14.8	1.00	Yes

3.1.5. The daylight amenity results above confirm that all rooms/spaces in 54 Cumberland Terrace/28 Cumberland Terrace Mews will retain sufficient light to their windows and sufficient distribution of light in each room / space because there is either no change at all in the VSC or DD metric, or the change in the existing VSC value and DD value does not exceed 0.8 times of the existing value.

3.1.6. In conclusion, the proposed extension is compliant with the recommendations of the BRE guide concerning the daylight amenity of neighbouring properties.

3.2. Sunlight amenity

3.2.1. The BRE guide explains that material quantities of sunlight will be enjoyed by only those windows that face within 90 degrees of due south. It also states that sunlight to windows serving circulation areas, bathrooms, toilets, store rooms and garages need **not** be considered. Furthermore, the BRE guide states that sunlight to bedrooms may be assessed but is less important to rooms with such a use.

3.2.2. In accordance with the BRE guide, PSH (Probable Sunlight Hours) values have been calculated for only those apertures of 54 Cumberland Terrace/28 Cumberland Terrace Mews orientated in the relevant direction. There are only four relevant apertures – one is a window at ground floor level (serving a bedroom in the mews building) and the other apertures are actually rooflights serving lower ground floor spaces.

3.2.3. The table below summarises the results of the PSH assessment.

Floor	Room	Window / Rooflight	Existing PSH		Proposed PSH		Times Former Value		Window BRE Compliant ?
			Winter PSH (%)	Annual PSH (%)	Winter PSH (%)	Annual PSH (%)	Winter	Annual	
Lower Ground	R1	W1	0	1	0	1	1.00	1.00	Yes
Lower Ground	R2	W2	0	1	0	1	1.00	1.00	Yes
		W3	0	0	0	0	1.00	1.00	Yes
Ground	R1	W1	1	7	1	7	1.00	1.00	Yes

3.2.4. The BRE guide advises, in a summary at the end of section 3.2, that the sunlight amenity of an existing building neighbouring a development may be adversely affected if it is found that the centre of a relevant window:

"enjoys less than 25% of the annual probable sunlight hours, or less than 5% of the sunlight hours over the winter period;

and

receives less than 0.8 times the former value of annual probable sunlight hours or less than 0.8 times the former value of winter sunlight hours;

and

experiences a reduction in sunlight hours received over the whole year greater than 4% of annual probable sunlight hours."

3.2.5. Strict application of the criteria set out above implies that if only one or two of them apply to a window, there remains the potential for adequate sunlight amenity to that window. All three criteria have to be triggered for there to be a detrimental impact. For example, a particular window might not attain 25% PSH in the annual period or 5% PSH in the winter period, but sunlight amenity would not be affected adversely if the PSH values attained after completion of a development are still 0.8 times its former value or more - or if the reduction in sunlight received over the whole year is less than 4%.

3.2.6. When the targets described above are considered, of the 4 apertures to 54 Cumberland Terrace/28 Cumberland Terrace Mews assessed, all (100%) will continue to meet the target values as set out in the BRE guide. Because of their location, the massing of 54 Cumberland Terrace/28 Cumberland Terrace Mews itself obstructs the access of virtually all sunlight to the window and rooflights and, therefore, the proposed development does not worsen the position.

3.2.7. In conclusion, the proposed development is not expected to compromise the sunlight amenity of any of the windows and rooflights to 54 Cumberland Terrace/28 Cumberland Terrace Mews and is compliant with the recommendations of the BRE guide concerning the sunlight.

3.3. Overshadowing of external amenity space

3.3.1. 54 Cumberland Terrace/28 Cumberland Terrace Mews does not have any external gardens, patios or roof terraces. Accordingly, the proposed development will not have an overshadowing effect on external open amenity spaces. A technical assessment of overshadowing in accordance with the BRE guide is not required.

4. Conclusion

- 4.1.1. A detailed technical analysis has been undertaken for 54 Cumberland Terrace/28 Cumberland Terrace Mews only. No other neighbouring properties in residential use lie within relevant proximity of the development work proposed.
- 4.1.2. The technical analysis has been conducted in accordance with the recommended methodologies and procedures set out in the BRE guide entitled, '*Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice*' 2nd Edition, 2011 and is based on a 3D computer model assembled for the purpose of such analysis.
- 4.1.3. The findings of the detailed technical analysis confirm that none of windows and rooms in the external envelope of 54 Cumberland Terrace/28 Cumberland Terrace Mews will be impacted by a material change in the amount of daylight or sunlight amenity they enjoy.
- 4.1.4. In conclusion, the proposed extension on the Application Site is expected to be fully compliant with the recommendations of the BRE guide in relation to its impacts on neighbouring properties.

Appendix A

Assessments applied

Introduction

The main purpose of the guidelines in the Building Research Establishment Report "Site Layout Planning for Daylight and Sunlight – a guide to good practice 2011, 2nd Edition" ("the BRE guide") is to assist in the consideration of the relationship of new and existing buildings to ensure that each retains a potential to achieve good daylighting and sunlighting levels. That is, by following and satisfying the tests contained in the guidelines, new and existing buildings should be sufficiently spaced apart in relation to their relative heights so that both have the potential to achieve good levels of daylight and sunlight. The guidelines have been drafted primarily for use with low density suburban developments and should therefore be used flexibly when dealing with dense urban sites and extensions to existing buildings, a fact recognised by the BRE Report's author in the Introduction where Dr Paul Littlefair says:

'The Guide is intended for building designers and their clients, consultants and planning officials. The advice given here is not mandatory and the guide should not be seen as an instrument of planning policy; its aim is to help rather than constrain the designer. Although it gives numerical guidelines, these should be interpreted flexibly since natural lighting is only one of many factors in site layout design..... In special circumstances the developer or planning authority may wish to use different target values. For example, in a historic city centre, or in an area with modern high rise buildings, a higher degree of obstruction may be unavoidable if new developments are to match the height and proportions of existing buildings.....'

In many cases in low-rise housing, meeting the criteria for daylight and sunlight may mean that the BRE criteria for other amenity considerations such as *privacy* and *sense of enclosure* are also satisfied.

The BRE guide states that recommended minimum privacy distances (in cases where windows of habitable rooms face each other in low-rise residential property), as defined by each individual Local Authority's policies, vary widely, from 18-35m¹. For two-storey properties a spacing within this range would almost certainly also satisfy the BRE guide's daylighting requirements as it complies with the 25° rule and will almost certainly satisfy the 'Three times height' test too (as discussed more fully below). However, the specific context of each development will be taken into account and Local Authorities may relax the stated minimum, for instance, in built-up areas where this would lead to an inefficient use of land. Conversely, greater distances may be required between higher buildings, in order to satisfy daylighting and sunlighting requirements. It is important to recognize also that privacy can also be achieved by other means: design, orientation and screening can all play a key role and may also contribute towards reducing the theoretical 'minimum' distance.

A sense of enclosure is also important as the perceived quality of an outdoor space may be reduced if it is too large in the context of the surrounding buildings. In urban settings the BRE guide suggests a spacing-to-height ratio of 2.5:1 would provide a comfortable environment, whilst not obstructing too much natural light: this ratio also approximates the 25° rule.

¹ The commonest minimum privacy distance is 21m (Householder Development Consents Review: Implementation of Recommendations – Department for Communities and Local Government – May 2007)

Daylight

The criteria for protecting daylight to existing buildings are contained in Section 2.2 and Appendix C of the BRE guide. There are various methods of measuring and assessing daylight and the choice of test depends on the circumstances of each particular window. For example, greater protection should be afforded to windows which serve habitable dwellings and, in particular, those serving living rooms and family kitchens, with a lower requirement required for bedrooms. The BRE guide states that circulation spaces and bathrooms need not be tested as they are not considered to require good levels of daylight. In addition, for rooms with more than one window, secondary windows do not require assessment if it is established that the room is already sufficiently lit through the principal window.

The tests should also be applied to non-domestic uses such as offices and workplaces where such uses will ordinarily have a reasonable expectation of daylight and where the areas may be considered a principal workplace.

The BRE has developed a series of tests to determine whether daylighting levels within new developments and rooms within existing buildings surrounding new developments will satisfy or continue to satisfy a range of daylighting criteria

Note: Not every single window is assessed separately, only a representative sample, from which conclusions may be drawn regarding other nearby dwellings.

Daylighting Tests

'Three times height' test - If the distance of each part of the new development from the existing windows is three or more times its height above the centre of the existing window then loss of light to the existing windows need not be analysed. If the proposed development is taller or closer than this then the 25° test will need to be carried out.

25° test – a very simple test that should only be used where the proposed development is of a reasonably uniform profile and is directly opposite the existing building. Its use is most appropriate for low density well-spaced developments such as new sub-urban housing schemes and often it is not a particularly useful tool for assessing urban and in-fill sites. In brief, where the new development subtends to an angle of less than 25° to the centre of the lowest window of an existing neighbouring building, it is unlikely to have a substantial effect on the diffuse skylight enjoyed by the existing building. Equally, the new development itself is also likely to have the potential for good daylighting. If the angle is more than 25° then more detailed tests are required, as outlined below.

VSC Test - the VSC is a unit of measurement that represents the amount of available daylight from the sky, received at a particular window. It is measured on the outside face of the window. The 'unit' is expressed as a percentage as it is the ratio between the amount of sky visible at the given reference point compared to the amount of light that would be available from a totally unobstructed hemisphere of sky. To put this unit of measurement into perspective, the maximum percentage value for a window with a completely unobstructed outlook (i.e. with a totally unobstructed view through 90° in every direction) is 40%.

The target figure for VSC recommended by the BRE is 27%. A VSC of 27% is a relatively good level of daylight and the level we would expect to find for habitable rooms with windows on principal elevations. However, this level is often difficult to achieve on secondary elevations and in built-up urban environments. For comparison, a window receiving 27% VSC is approximately equivalent to a window that would have a continuous obstruction opposite it which subtends an angle of 25° (i.e. the same results as would be found utilising the 25° Test). Where tests show that the new development itself meets the 27% VSC target this is a good indication that the development will enjoy good daylighting and further tests can then be carried out to corroborate this (see under).

Through research the BRE have determined that in existing buildings daylight (and sunlight levels) can be reduced by approximately 20% of their original value before the loss is materially noticeable. It is for this reason that they consider that a 20% reduction is permissible in circumstances where the existing VSC value is below the 27% threshold. For existing buildings once this has been established it is then necessary to determine whether the distribution of daylight inside each room meets the required standards (see under).

Daylight Distribution (DD) Test – This test looks at the position of the "No-Sky Line" (NSL) – that is, the line that divides the points on the working plane (0.7m from floor level in offices and 0.85m in dwellings and industrial spaces) which can and cannot see the sky. The BRE guide suggests that areas beyond the NSL may look dark and gloomy compared with the rest of the room and BS8206 states that electric lighting is likely to be needed if a significant part of the working plane (normally no more than 20%) lies beyond it.

In new developments no more than 20% of a room's area should be beyond the NSL. For existing buildings the BRE guide states that if, following the construction of a new development, the NSL moves so that the area beyond the NSL increases by more than 20%, then daylighting is likely to be seriously affected.

The guide suggests that in houses, living rooms, dining rooms and kitchens should be tested: bedrooms are deemed less important, although should nevertheless be analysed. In other buildings each main room where daylight is expected should be investigated.

ADF Test – The ADF (Average Daylight Factor) test takes account of the interior dimensions and surface reflectance within the room being tested as well as the amount of sky visible from the window. For this reason it is considered a more-detailed and representative measure of the adequacy of light. The minimum ADF values recommended in BS8206 Part 2 are: 2% for family kitchens (and rooms containing kitchens); 1.5% for living rooms; and 1% for bedrooms. This is a test used in assessing new developments, although, in certain circumstances, it may be used as a supplementary test in the assessment of daylighting in existing buildings, particularly where more than one window serves a room.

Room depth ratio test - This is a test for new developments looking at the relative dimensions of each room (principally its depth) and its window(s) to ensure that the rear half of a room will receive sufficient daylight so as not to appear gloomy.

Sunlight

Sunlight is an important 'amenity' in both domestic and non-domestic settings. The way in which a building's windows are orientated and the overall position of a building on a site will have an impact on the sunlight it receives but, importantly, will also have an effect on the sunlight neighbouring buildings receive. Unlike daylight, which is non-directional and assumes that light from the sky is uniform, the availability of sunlight is dependent on direction. That is, as the United Kingdom is in the northern hemisphere, we receive virtually all of our sunlight from the south. The availability of sunlight is therefore dependent on the orientation of the window or area of ground being assessed relative to the position of due south.

In new developments the BRE guide suggests that dwellings should aim to have at least one main living room which faces the southern or western parts of the sky so as to ensure that it receives a reasonable amount of sunlight. Where groups of dwellings are planned the Guide states that site layout design should aim to maximise the number of dwellings with a main living room that meet sunlight criteria. Where a window wall faces within 90° of due south and no obstruction subtends to angle of more than 25° to the horizontal or where the window wall faces within 20° of due south and the reference point has a VSC of at least 27% then sunlighting will meet the required standards: failing that the Annual Probable Sunlight Hours (APSH) need to be analysed. APSH means the total number of hours in the year that the sun is expected to shine on unobstructed ground, allowing for average levels of cloud for the location in question. If the APSH tests reveal that the new development will receive at least one quarter of the available APSH, including at least 5% of APSH during the winter months (from 21 September to 21 March), then the requirements are satisfied. It should be noted that if a room has two windows on opposite walls, the APSH due to each can be added together.

The availability of sunlight is also an important factor when looking at the impact of a proposed development on the existing surrounding buildings. APSH tests will be required where one or more of the following are true:

- The 'Three times height' test is failed (see 'Daylight' above);
- The proposed development is situated within 90° of due south of an existing building's main window wall and the new building subtends to angle of more than 25° to the horizontal;
- The window wall faces within 20° of due south and a point at the centre of the window on the outside face of the window wall (the reference point) has a VSC of less than 27%.

Where APSH testing is required it is similar to the test for the proposed development. That is to say that compliance will be demonstrated where a room receives:

- At least 25% of the APSH (including at least 5% in the winter months), or
- At least 0.8 times its former sunlight hours during either period, or
- A reduction of no more than 4% APSH over the year.

The Guide stresses that the target values it gives are purely advisory, especially in circumstances such as: the presence of balconies (which can overhang windows, obstructing light); when an existing building stands unusually close to the common boundary with the new development and; where the new development needs to match the height and proportion of existing nearby buildings. In circumstances like these a larger reduction in sunlight may be necessary.

The sunlight criteria in the BRE guide primarily apply to windows serving living rooms of an existing dwelling. This is in contrast to the daylight criteria which apply to kitchens and bedrooms as well as living rooms. Having said that, the guide goes on to say that care should be taken not to block too much sun from kitchens and bedrooms. Non-domestic buildings which are deemed to have a requirement for sunlight should also be checked.

Sunlight – Gardens and open spaces

As well as ensuring buildings receive a good level of sunlight to their interior spaces, it is also important to ensure that the open spaces between buildings are suitably lit. The recommendations as set out in the BRE guide are meant to ensure that spaces between buildings are not permanently in shade for a large part of the year. Trees and fences over 1.5m tall are also factored into the calculations.

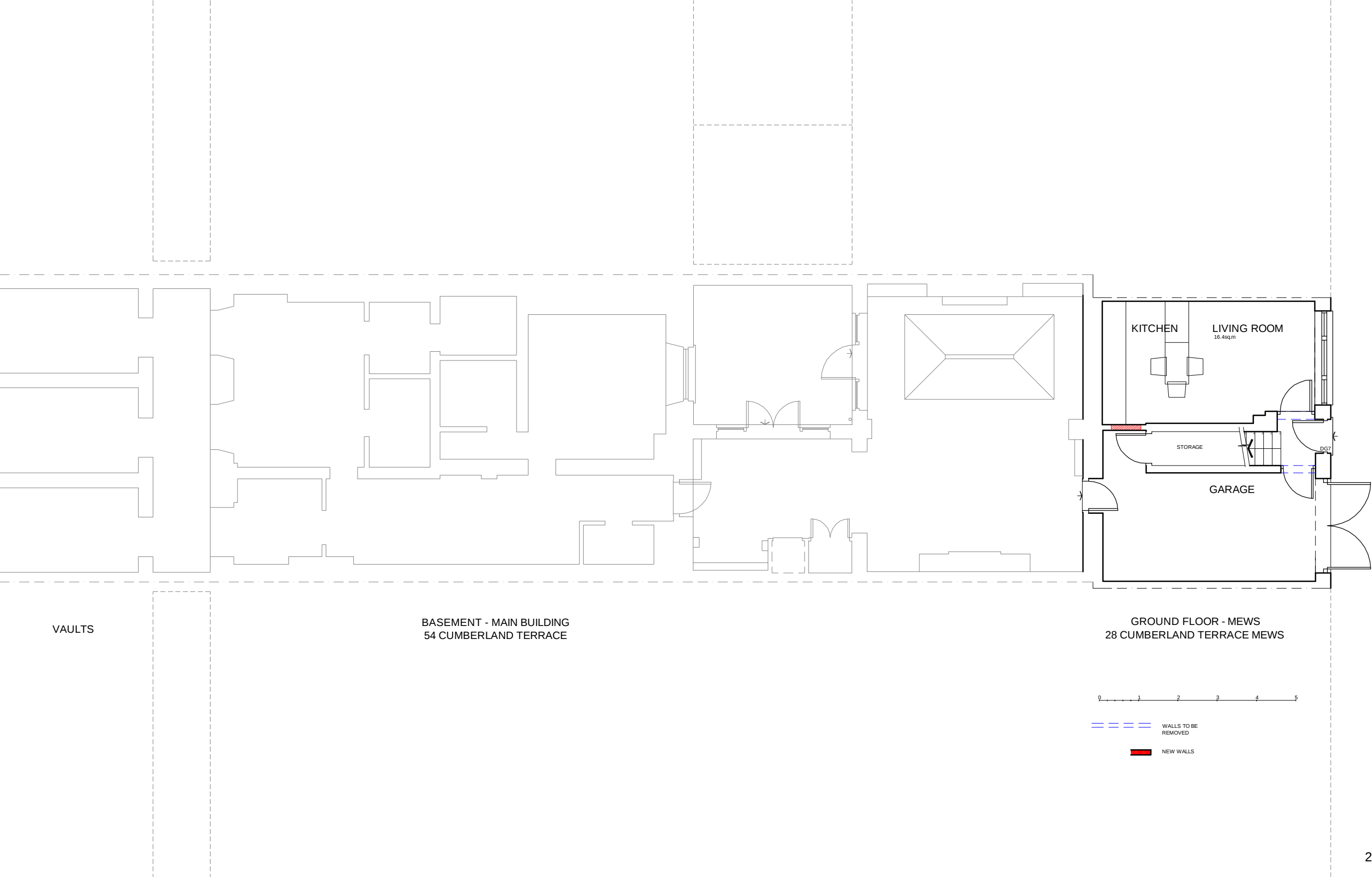
The BRE guidelines state that:

- For a garden or amenity area to appear adequately sunlit throughout the year, at least 50% of the area should receive at least two hours of sunlight on 21 March;
- In addition, if, as result of new development, an existing garden or amenity area does not reach the area target above and the area which can receive two hours of direct sunlight on 21 March is reduced by more than 20% this loss is likely to be noticeable.

Appendix G of the BRE guidelines describes a methodology for calculating sunlight availability for amenity spaces.

Appendix B

54 Cumberland Terrace/28 Cumberland Terrace Mews plans



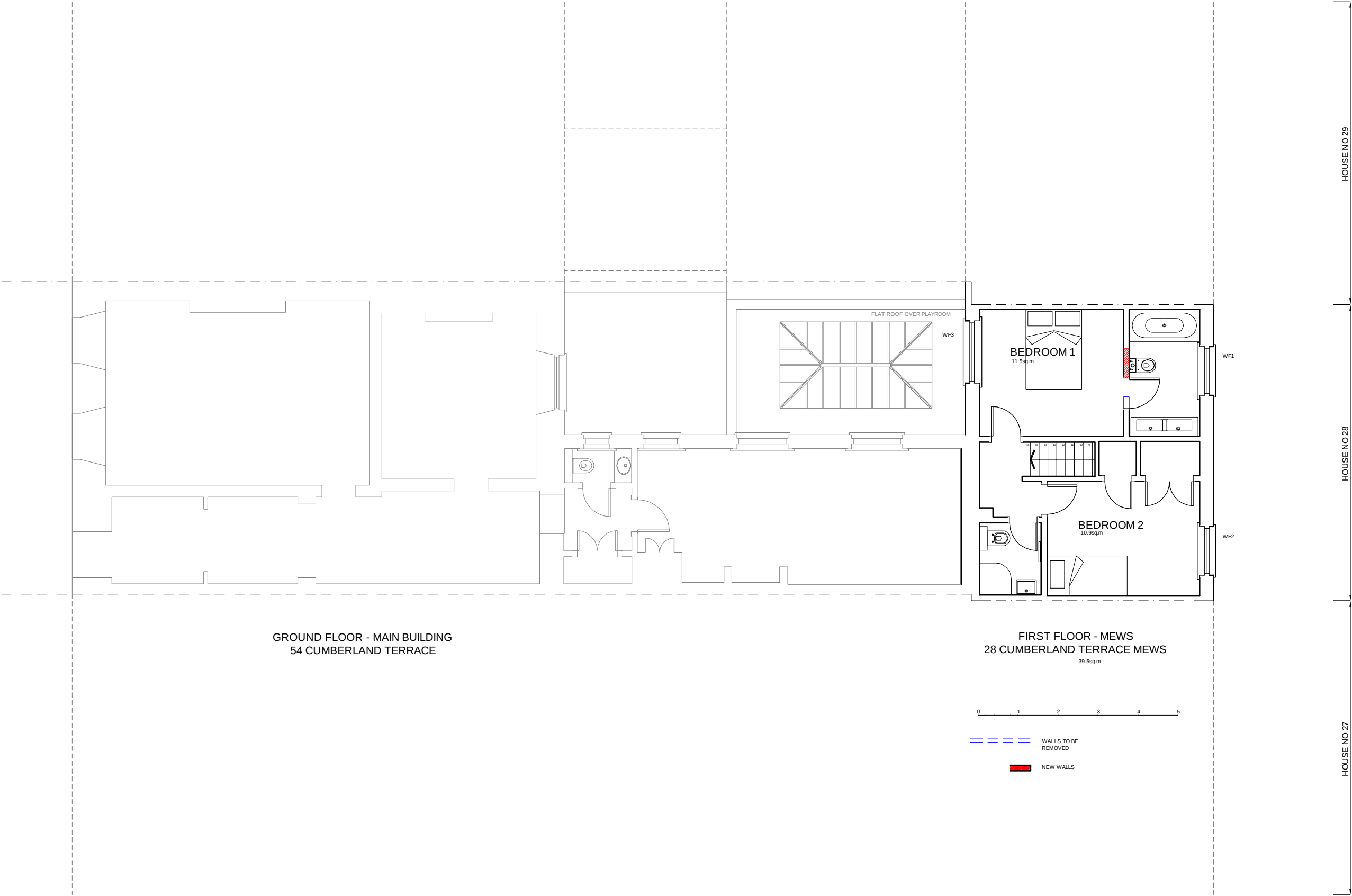
28 CUMBERLAND TERRACE MEWS
REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

GROUND FLOOR PLAN
as Proposed

1:100/A3

2016.11.08

CT2-PP1/100 rev.A



CUMBERLAND TERRACE MEWS

28 CUMBERLAND TERRACE MEWS

REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

FIRST FLOOR PLAN
as Proposed

1:100/A3

2016.08.01

CT2-PP2/100

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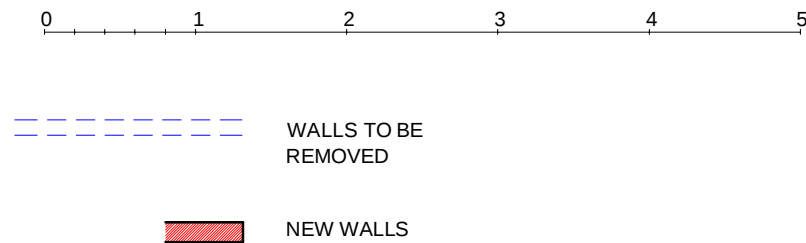
HOUSE NO 28

CUMBERLAND TERRACE MEWS

HOUSE NO 27

28 CUMBERLAND TERRACE MEWS
REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ
GROUND FLOOR PLAN
as Proposed
1:50/A3
2016.11.08
CT2-PP1/50 rev.A

GROUND FLOOR - MEWS
28 CUMBERLAND TERRACE MEWS



t 020 75869624
m 07985 035333
KasiaWhitfield@gmail.com

KASIA WHITFIELD
design consultant

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FLAT ROOF OVER PLAYROOM

WF3

BEDROOM 1
11.5sq.m

WF1

BEDROOM 2
10.9sq.m

WF2

FIRST FLOOR - MEWS
28 CUMBERLAND TERRACE MEWS
39.5sq.m

0 1 2 3 4 5



WALLS TO BE
REMOVED



NEW WALLS

HOUSE NO 28

CUMBERLAND TERRACE MEWS

HOUSE NO 27

28 CUMBERLAND TERRACE MEWS
REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ
FIRST FLOOR PLAN
as Proposed
1:50/A3
2016.08.01
CT2-PP2/50

t 020 75869624
m 07985 035333
KasiaWhitfield@gmail.com

KASIA WHITFIELD
design consultant



0 1 2 3 4 5

28 CUMBERLAND TERRACE MEWS

REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

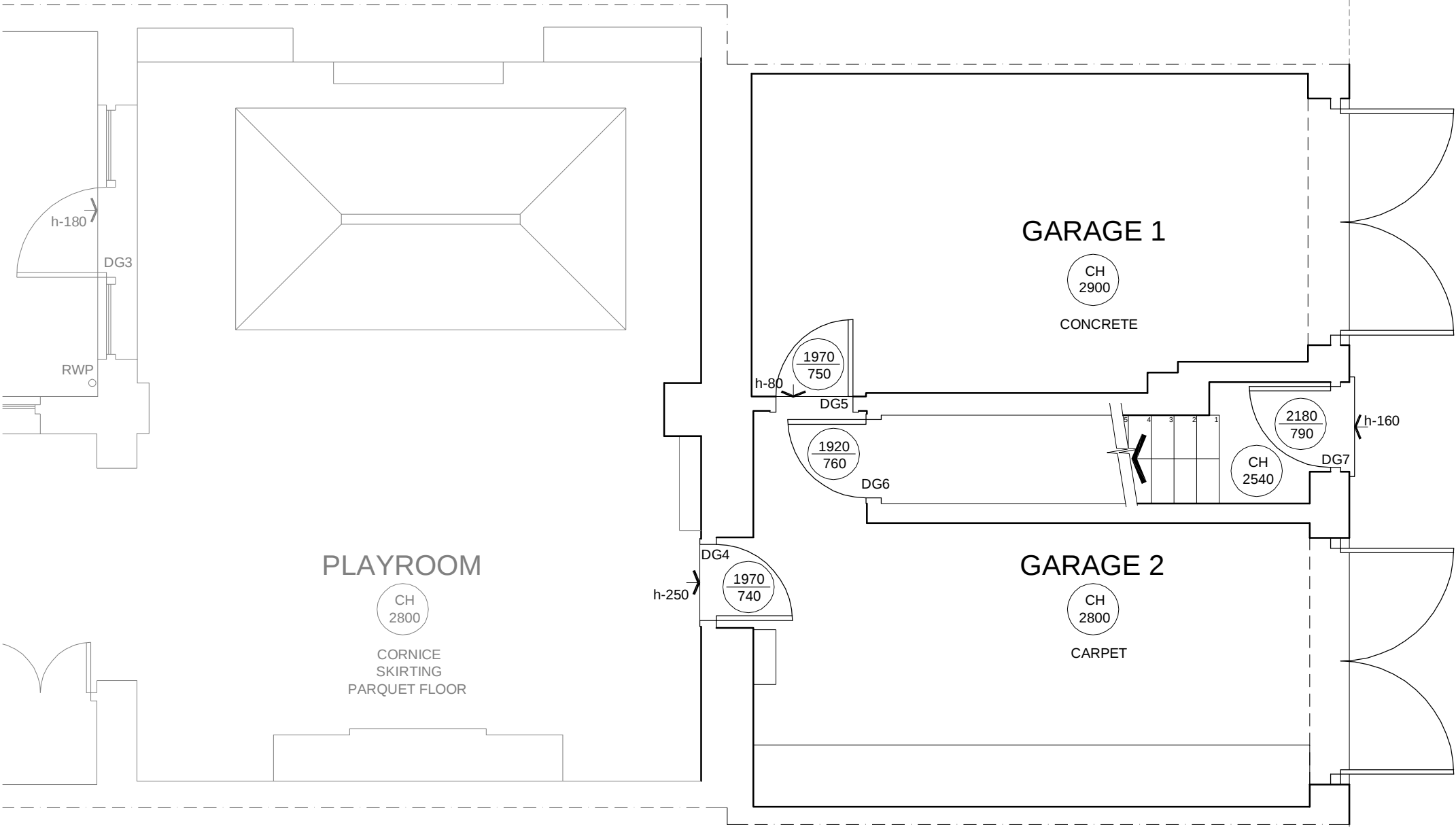
ELEVATION
as Proposed

1:100/A3

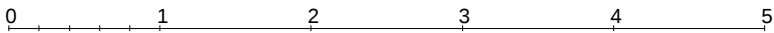
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GROUND FLOOR - MEWS
28 CUMBERLAND TERRACE MEWS



HOUSE NO 28

CUMBERLAND TERRACE MEWS

HOUSE NO 27

28 CUMBERLAND TERRACE MEWS

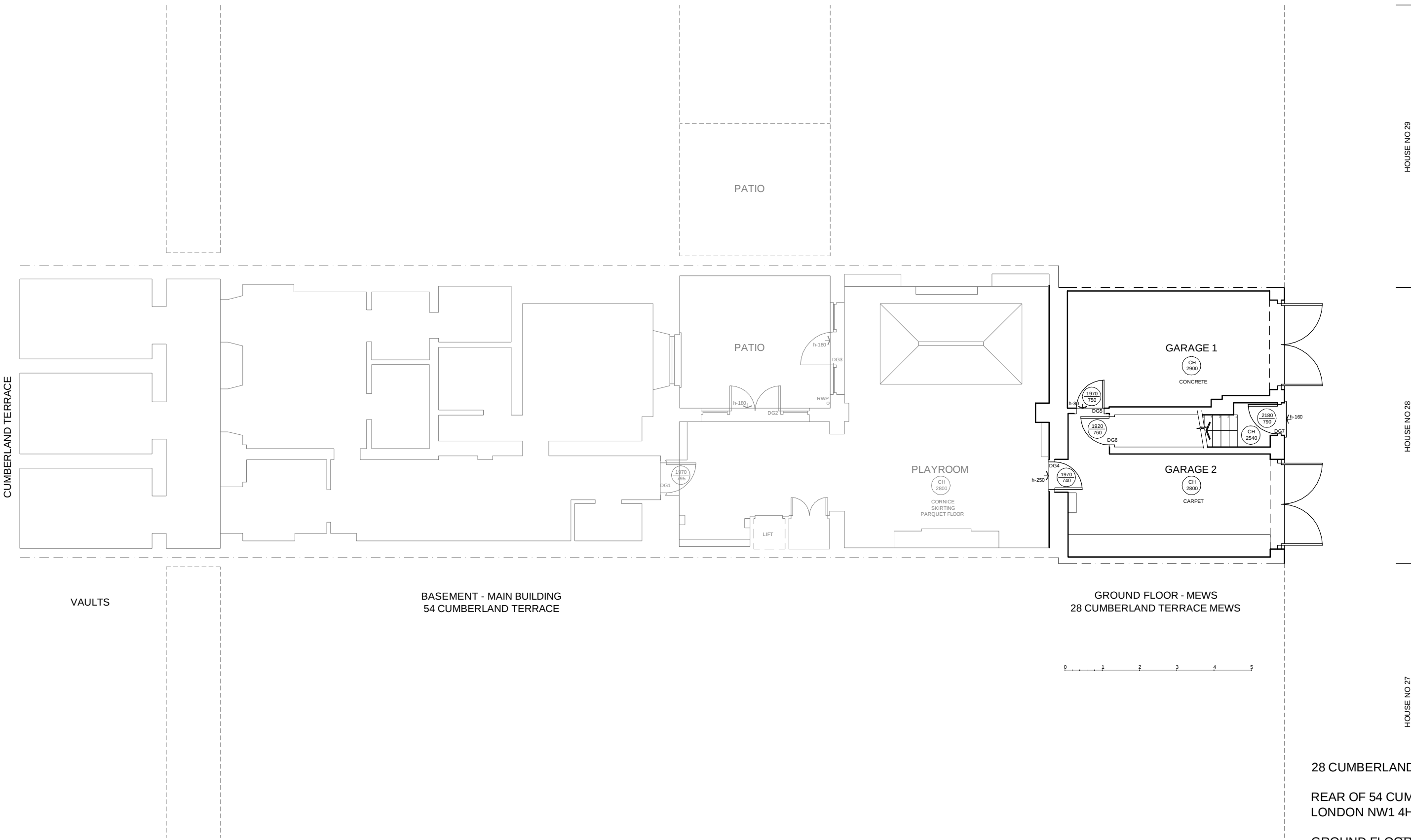
REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

GROUND FLOOR PLAN
as EXISTING

1:50/A3

2016.08.01

CT2-EX1/50



28 CUMBERLAND TERRACE MEWS

REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

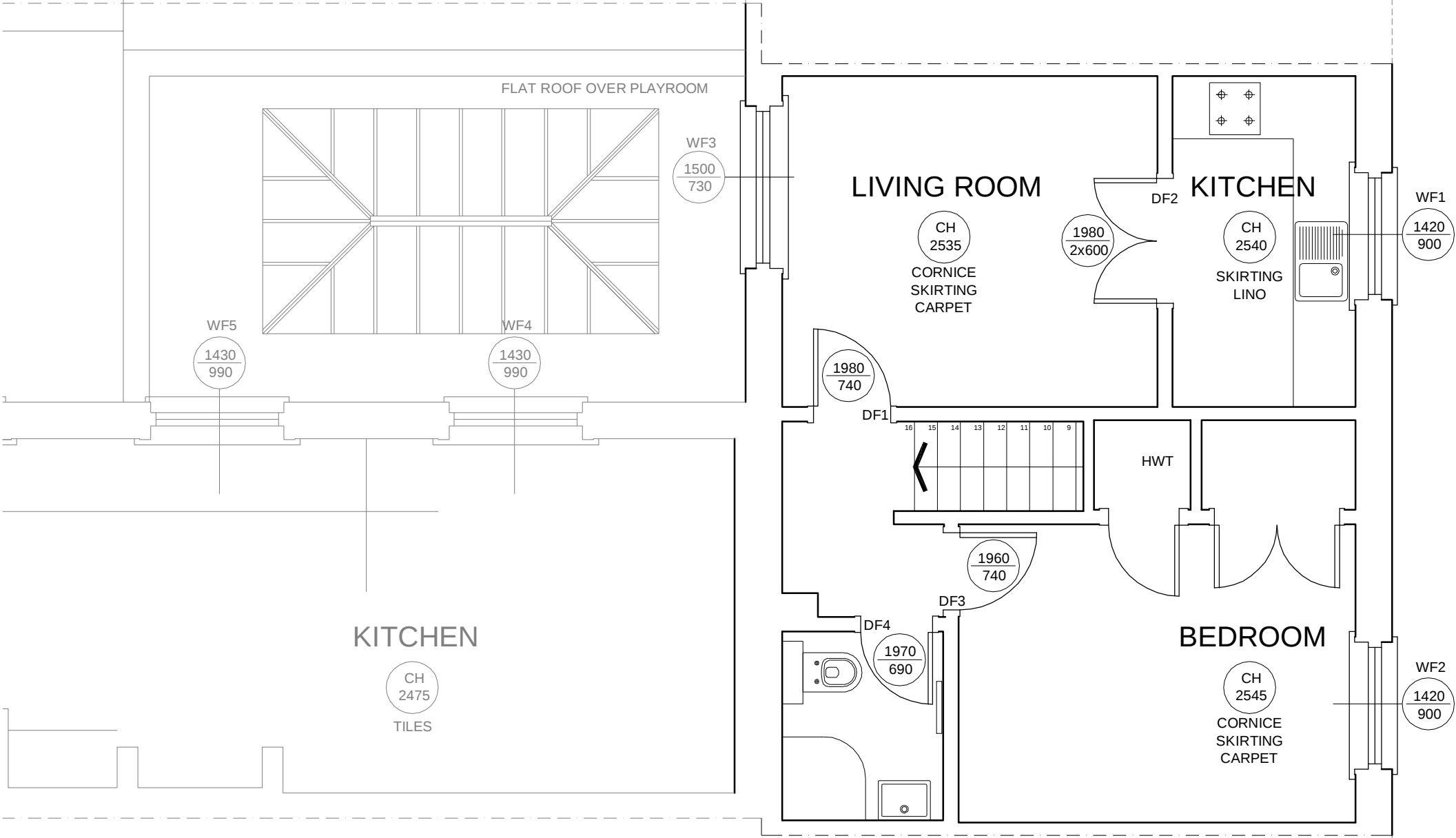
GROUND FLOOR PLAN
as EXISTING

1:100/A3

2016.08.01

CT2-EX1/100

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FIRST FLOOR - MEWS
28 CUMBERLAND TERRACE MEWS



HOUSE NO 28

CUMBERLAND TERRACE MEWS

HOUSE NO 27

28 CUMBERLAND TERRACE MEWS

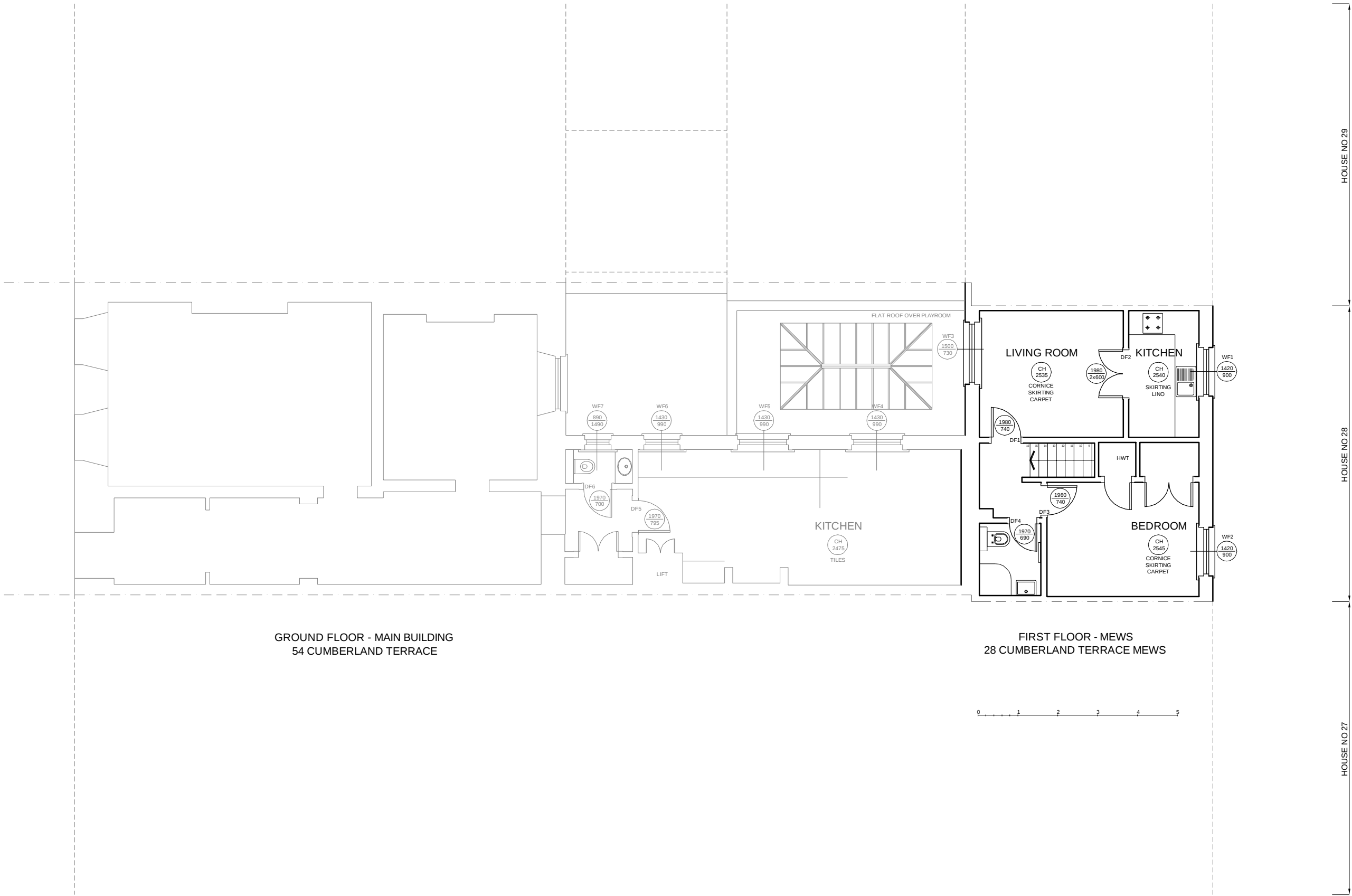
REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

FIRST FLOOR PLAN
as Existing

1:50/A3

2016.08.01

CT2-EX2/50



CUMBERLAND TERRACE MEWS

28 CUMBERLAND TERRACE MEWS

REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

FIRST FLOOR PLAN
as Existing

1:100/A3

2016.08.01

CT2-EX2/100



0 1 2 3 4 5

28 CUMBERLAND TERRACE MEWS

REAR OF 54 CUMBERLAND TERRACE
LONDON NW1 4HJ

ELEVATION
as Existing

1:100/A3

2016.08.01

CT2-EX3



MEWS ELEVATIONS

↑ FRONT PORTION REMOVED. NEW DOOR OVER WALL REMAINING. NEW GARAGE DOOR. TRADITIONAL SHUTTER DOORS ON COLLAGE HOUSES TO DETAIL. RETAIN EXISTING BLIND WINDOW. BACK UP BATHROOM WINDOW. REMOVE WASTE & SINK STACKS & RELOCATE INSIDE.

↑ NEW FRENCH WINDOWS



SIDE ELEVATION

TO BACK ADDITION: - REMOVE EX. CONCRETE LINDS. REPAIR BANK WITH NEW R.C. LINDS. AND GRASS PLANTS TO MATCH EXISTING.

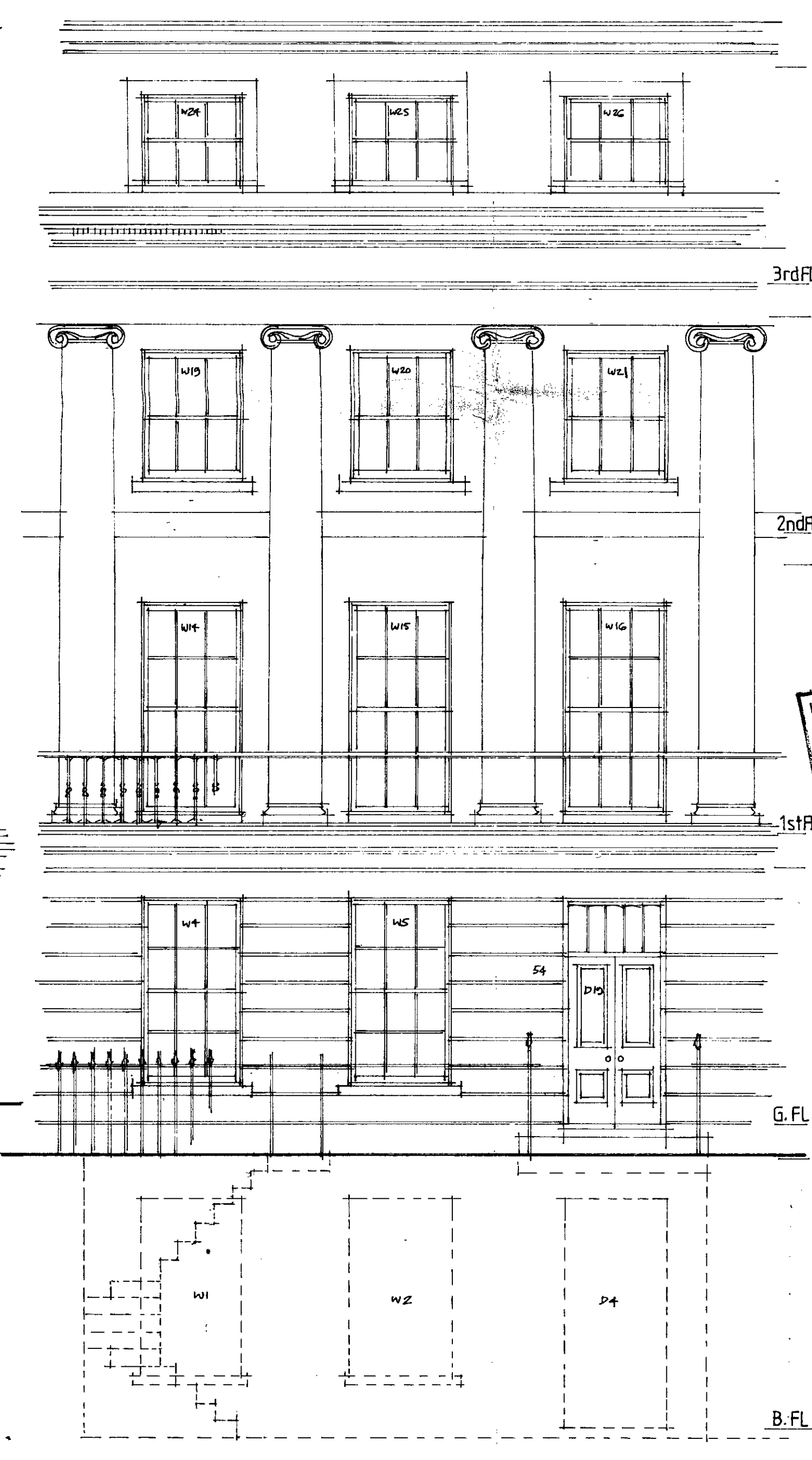
↑ NEW FRENCH WINDOWS



REAR ELEVATION

GENERALLY: REMOVE EXISTING BRICKWORK. MAINTAIN GARDEN. RETAIN BRICKWORK. WINDOWS AND DOORS TO DETAIL.

↑ TO FOURTH FLOOR FROM UNDER ROOF. E. FRONT WHITE UP TO CORNER LEVEL. FRONT STAIRS CASE AT TOP. RUSTICATE ROOFLINE TO DETAIL.



FRONT ELEVATION

REV.
A. FEB 88. CONSENTS REMOVED. MEWS DOORS REVISED. BLIND WINDOW SHOWN. WINDOWS & DOOR NOT AS SHOWN W22 REPOSITIONED AS EXISTING.

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DEPARTMENT
15 FEB 1989
RECEIVED

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ON BEHALF OF THE COUNCIL
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Kerr Parker Associates
Architects

46 Cissbury Ring South, Woodside Park, London N12 7BE
TEL. NO. 01-445-6970
134 High Street, Ponders End, Enfield EN3 4ET
TEL. NO. 01-805-7400

CONTRACT
54 Cumberland Terrace

DRAWING
ELEVATIONS AS PROPOSED

SCALE 1: 50 DATE Nov. 88

DRAWN CHECKED

DRAWING NO. K-8824 - 8 A

TAKE OFF EXISTING STONE CORNICES.
RE-NEW RENDER FACE OF PARAPET
RE-DO CORNICES ON SPEC

TAKE OFF EXISTING ASPHALTE ROOF
COVERING. FROM DRAWINGS FOR
REINFORCEMENT. CARRY OUT STRUCTURAL
REPAIRS TO ENGINEER'S DETAILS.
RECOVER ROOF WITH 10mm WIRE PLY
TIMBER UPWARD KERBS, 50mm
CORK INSULATION AND 20mm ASPHALTE
ROOF COVERING TO DETAIL SPEC.
DECK CAGE G LEAD FLASHING OVER
TIMBER KERB AND TUCK INTO CHASE
IN PARAPET WALLS.

RENEW HOISTER HEAD'S RAIL IN
CAGE (RAN) & REPAIR OUTLET IN
CAGE 7 LEAD.

O/H & REPAIR EXISTING
LANTERN LIGHT & ACCESS
HATCH. CARRY OUT STRUCTURAL
CAGE 7 LEAD. INSULATE
AND RE-FINISH INTERIORS
TO DETAIL

ASPHALTE FLAT ROOF

PAR 1 IN 60 MIN.

NEW REDFLIGHTS TO BE
600 X 600mm CONCRETE 200
IN POLYMERBETTER WITH
INSULATED KERBS

STEEL PITCHED
ROOF

WACK OFF RENDER TO CHANGE STAGES
CARRY OUT REINFORCEMENT REPAIRS
RESTATE RENDER
BY NEW CONCRETE PATTS TO APPROVED
REGENCY PATTERN.

TAKE OFF EXISTING SLATE ROOF
CARRY OUT STRUCTURAL REPAIRS T.
ENGINEER'S DETAILS.
RESTATE ROOF IN WISE BLUE SLATES
VENTILATE ROOF SPACE AS NOTED.
REPAIR 100mm GLASS FIBRE INSULATION

O/H & REPAIR GUTTER. REPAIR LEAD
IN CAGE 7 LEAD. LENGTHY TEST TO
EXCEED 25mm WITH 50mm MIN. DRAIN
& CAGE G LEAD COVER FLASHING
RECOVER CORNER IN CAGE 7 LEAD.
FROM NEW R.W. OUTLET

ROOF PLAN

O/H & REPAIR SASH WINDOWS. REPAIR
CASEMENTS WITH CORRECT PATTERN
REGENCY GLAZING BARS

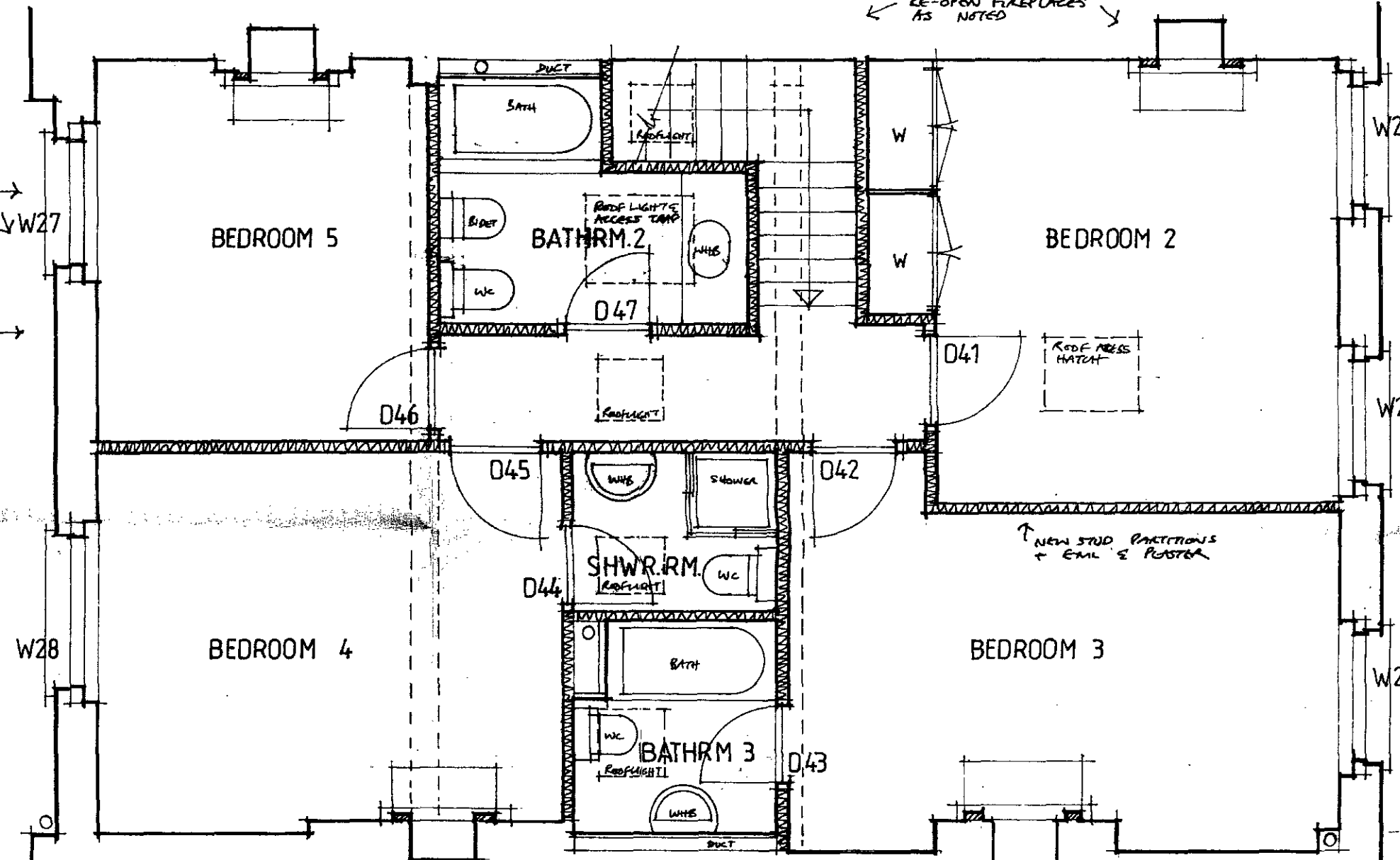
REMOVE EX. HOIST & MAKE GOOD
FLOOR TO DETAIL

O/H & REPAIR SASH WINDOWS. REPAIR
CASEMENTS WITH CORRECT PATTERN
REGENCY GLAZING BARS

GENERALLY: REPAIR CEILING WITH
PLASTER ON E.M.L. TO DETAIL SPEC.
REMOVE WALL PLASTER & REPLASTER
TO APPROVED SPEC.

REPAIR DOORS. ARCHITECTURES &
SKIRTINGS TO CORRECT REGENCY PATTERN
TO DETAIL

PROVIDE NEW STUD PARTITIONS TO NEW
LAYOUT



THIRD FLOOR PLAN

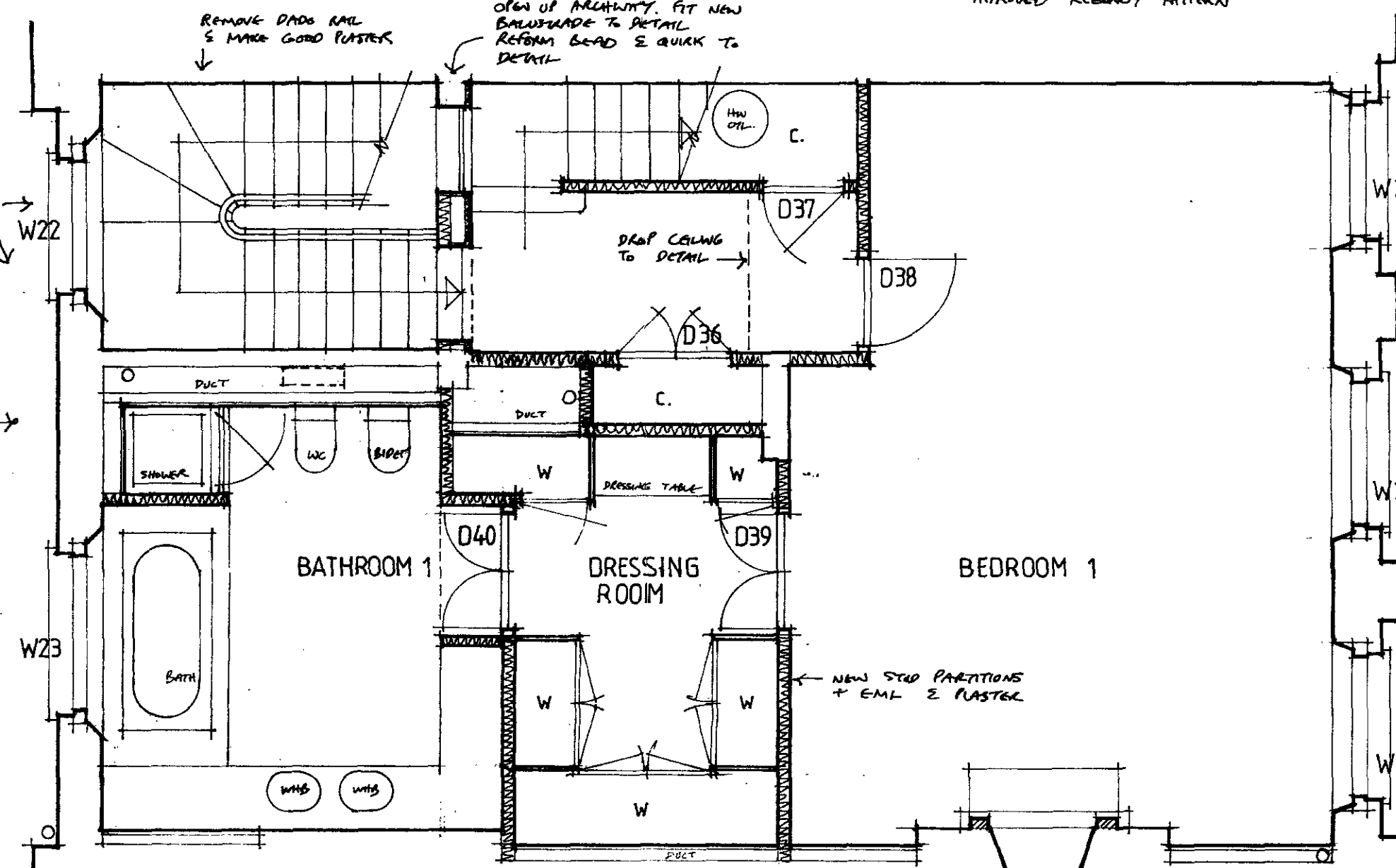
O/H & REPAIR SASH WINDOWS. REPAIR
CASEMENTS WITH CORRECT PATTERN
REGENCY GLAZING BARS

REMOVE EX. HOIST & MAKE GOOD
FLOOR TO DETAIL

O/H & REPAIR SASH WINDOWS. REPAIR
CASEMENTS WITH CORRECT PATTERN
REGENCY GLAZING BARS

GENERALLY: REPAIR CEILING WITH
PLASTER ON E.M.L. TO DETAIL SPEC.
REMOVE WALL PLASTER & REPLASTER
TO APPROVED SPEC.

REPAIR DOORS. ARCHITECTURES &
SKIRTINGS TO CORRECT REGENCY PATTERN
TO DETAIL



SECOND FLOOR PLAN

RE-OPEN EXISTING FIREPLACES
REPAIR NEW SURROUND, CUT
IRON GRATE & REGISTER TO
APPROVED REGENCY PATTERN

REV.
A. FEB 88. MINOR CHANGES TO PLAN TO SHOW EXISTING
PICKS & WALL LINES REVEALED AFTER STRIPPING OUT RUF
TO FRONT GUTTER. RECALCULATED
LONDON BOROUGH OF CANNON
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134 High Street, Ponders End, Enfield EN3 4ET
TEL. NO. 01-805-7400

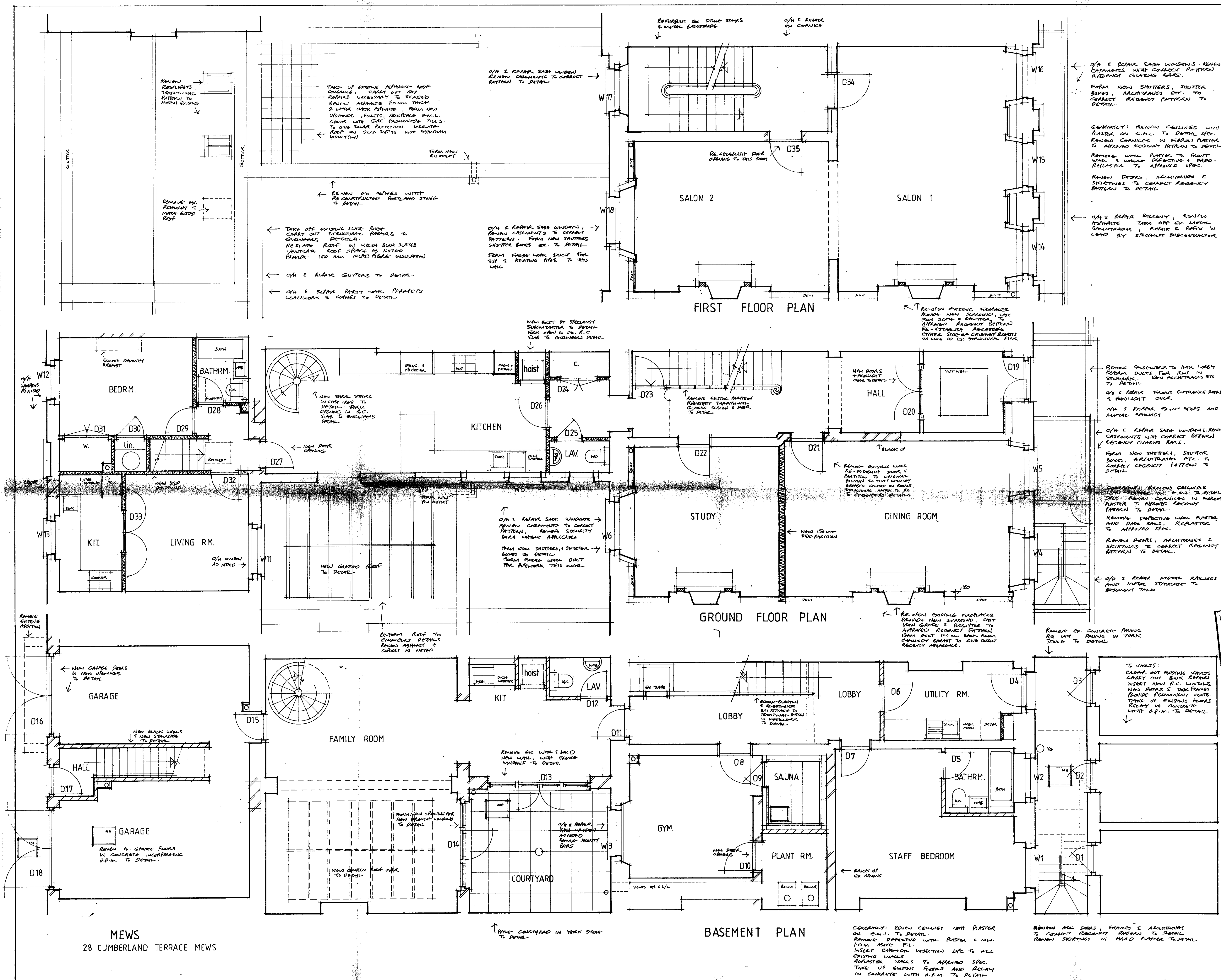
CONTRACT
54 Cumberland Terrace

DRAWING
Second - Third Floors + Roof
PLANS AS PROPOSED

SCALE 1: 50 DATE Nov. 88

DRAWN CHECKED

DRAWING NO.
K - 8824 - 7 A



REV. A. 15 FEB 1989
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Kerr Parker Associates Architects

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TEL. NO. 01-445-6970
134 High Street, Ponders End, Enfield EN3 4ET
TEL. NO. 01-805-7400

CONTRACT
54 Cumberland Terrace
AND 28 CUMBERLAND TERRACE MEWS

DRAWING
Basement-Ground-First Floors
PLANS AS PROPOSED

SCALE 1:50 DATE Nov. 88
DRAWN CHECKED
DRAWING NO. **K-8824-6A**

Appendix C

Context drawings





Existing Site Plan

SOURCES OF INFORMATION:
COLLETT ZARZYCKI ARCHITECTS

55CT - GA - Gutter.dwg
Received 07 October 2020

VuCity

High Detail 3d Map:
200171_55_Cumberland_Terrace_MASTER.dwg
Received 10 June 2020

- Key:
- Existing
 - Proposed
 - 54 Cumberland Terrace

Rev.	Date	Amendments	Initial
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ALL DIMENSIONS ARE IN METERS ONLY

TITLE
Existing Site Plan

CLIENT
Jonathon and Nathalie Esfandi

PROJECT
**55 Cumberland Terrace & 29
Cumberland Mews
London, NW1 4HJ**

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LT/OW	PL
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Proposed Site Plan

SOURCES OF INFORMATION:
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VuCity
High Detail 3d Map:
200171_55_Cumberland_Terrace_MASTER.dwg
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 - 54 Cumberland Terrace

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TITLE
Proposed Site Plan

CLIENT
Jonathon and Nathalie Esfandi

PROJECT
**55 Cumberland Terrace & 29
Cumberland Mews
London, NW1 4HJ**

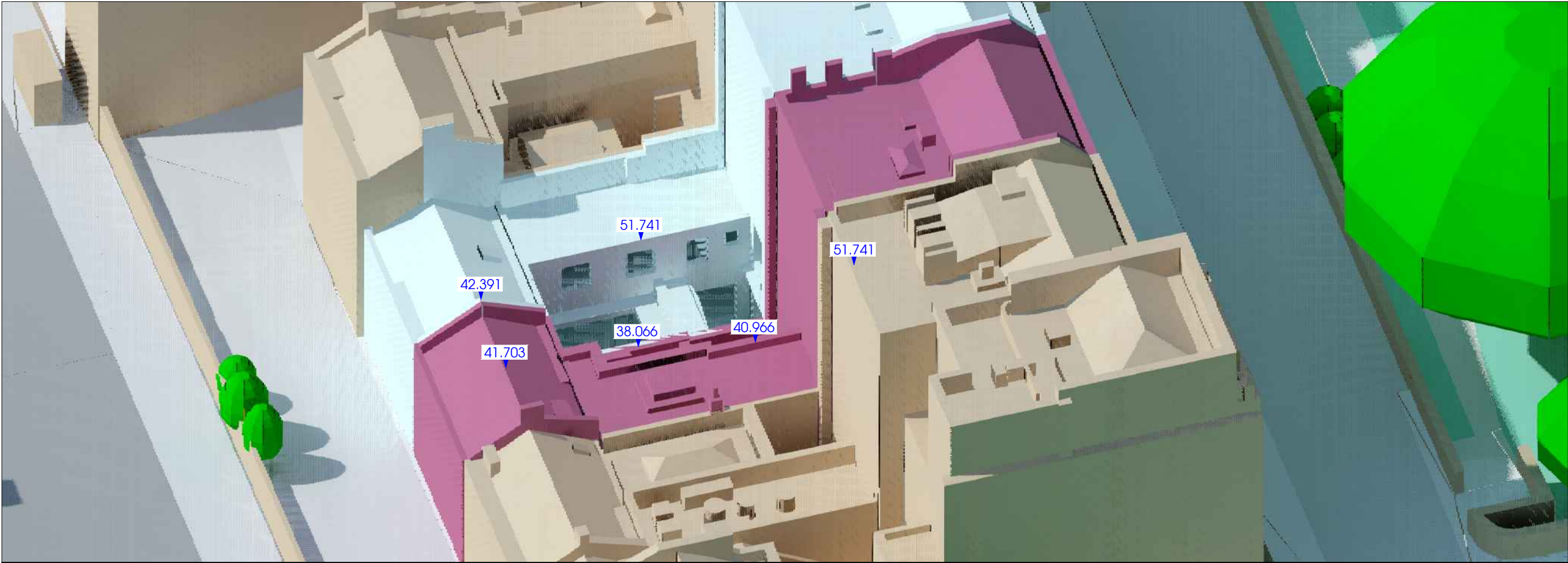
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SOURCES OF INFORMATION:
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200171_55_Cumberland_Terrace_MASTER.dwg
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Key:
Existing
Proposed
54 Cumberland Terrace

3D Context View - View from North (Existing)

ALL HEIGHTS IN METERS AOD



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TITLE

3D Views
Existing Site

CLIENT

Jonathon and Nathalie Esfandi

PROJECT

55 Cumberland Terrace & 29
Cumberland Mews
London, NW1 4HJ

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SCALE	DATE
NTS	October 2020

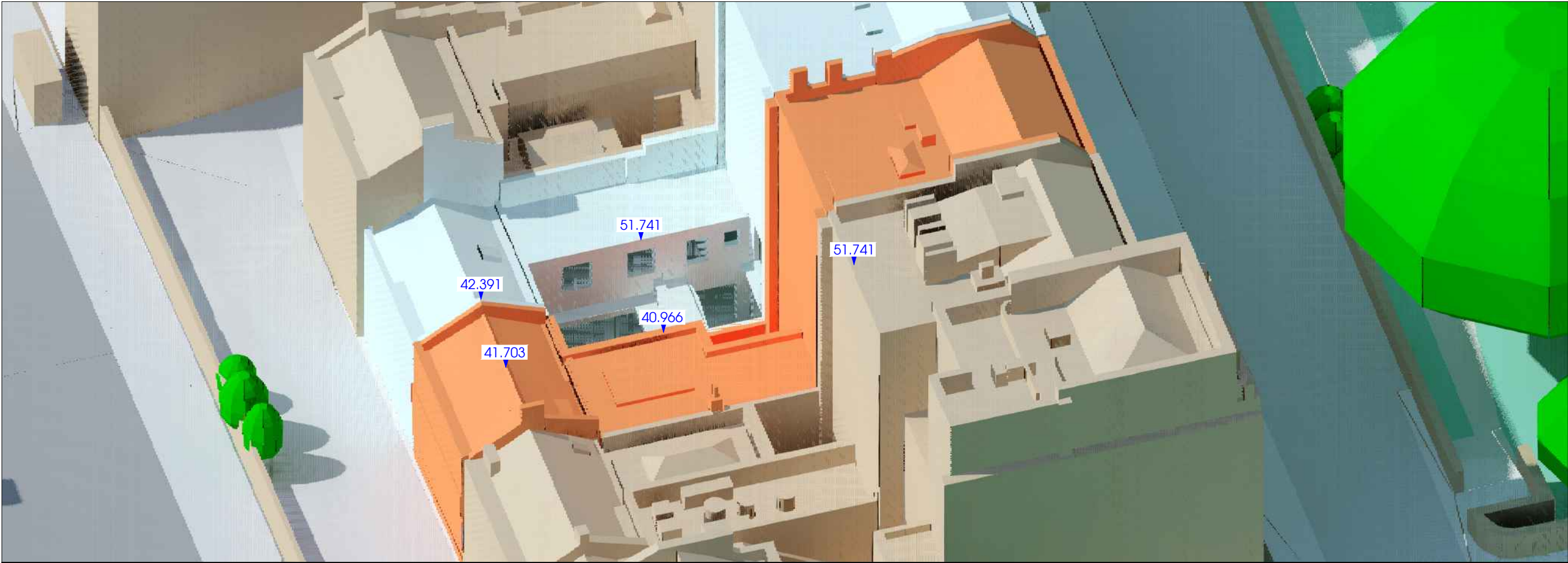
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3D Context View - View from South (Existing)



3D Context View - View from North (Proposed)

SOURCES OF INFORMATION:
COLLETT ZARZYCKI ARCHITECTS

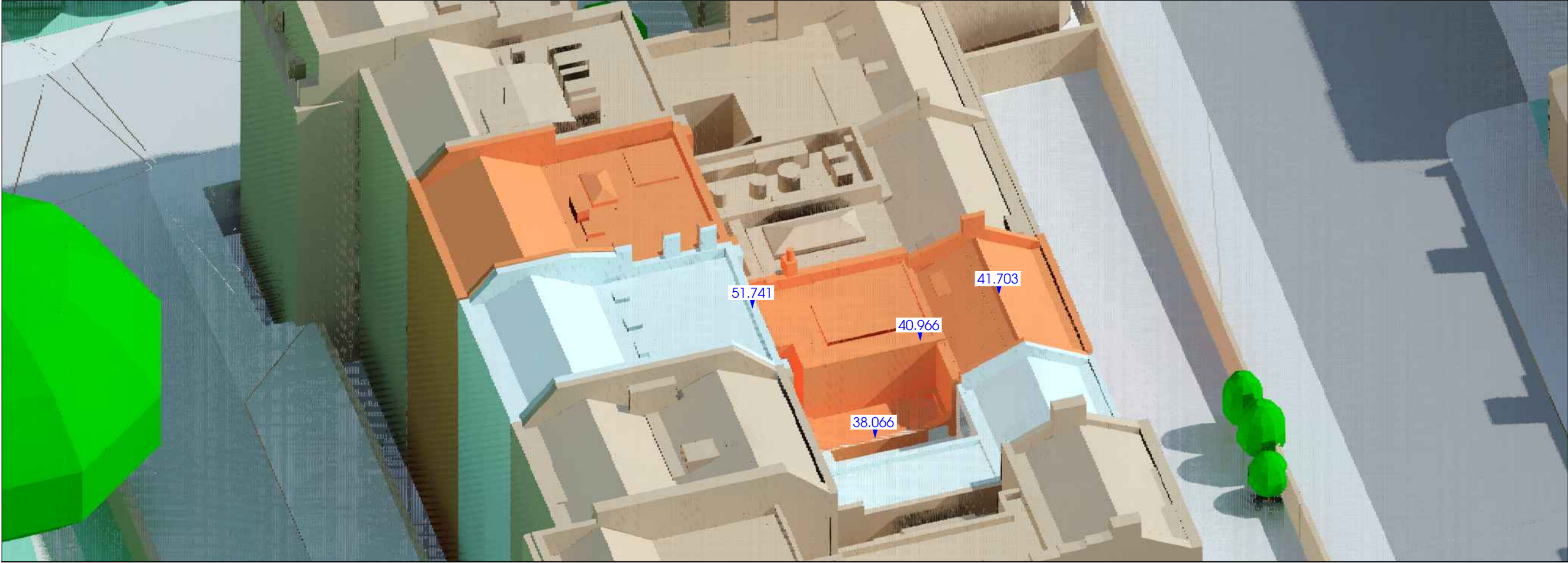
55CT - GA - Gutter.dwg
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VuCity

High Detail 3d Map:
200171_55_Cumberland_Terrace_MASTER.dwg
Received 10 June 2020

Key:
Existing
Proposed
54 Cumberland Terrace

ALL HEIGHTS IN METERS AOD



3D Context View - View from South (Proposed)

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TITLE

3D Views
Proposed Site

CLIENT

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PROJECT

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Cumberland Mews
London, NW1 4HJ

DRAWN BY	CHECKED
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Appendix D

Window/room reference drawings

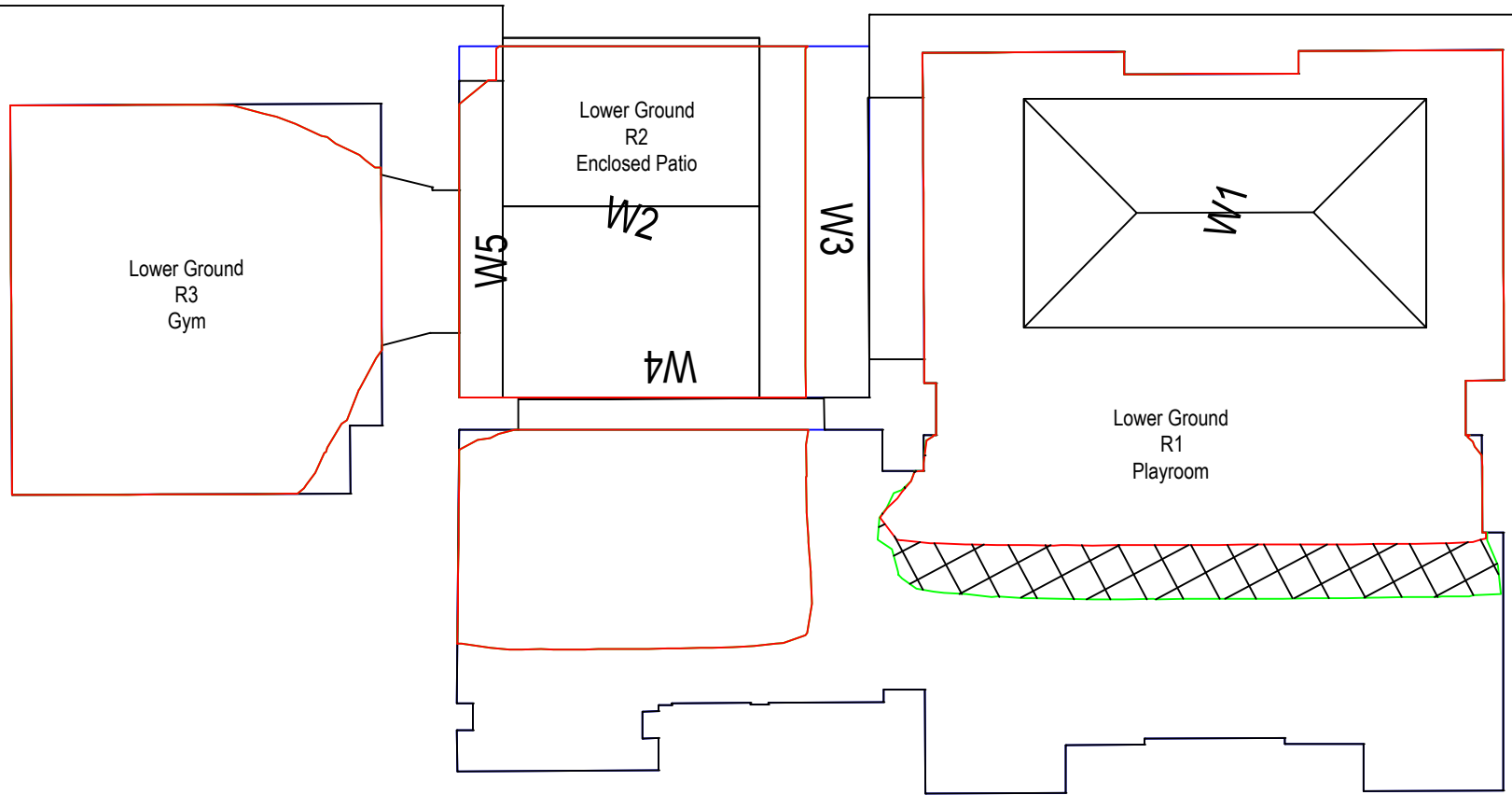


SOURCES OF INFORMATION:
COLLETT ZARZYCKI ARCHITECTS

55CT - GA - Gutter.dwg
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High Detail 3d Map:
200171_55_Cumberland_Terrace_MASTER.dwg
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TITLE
**Daylight Distribution
Contours/Referencing Plans
Property Address**

CLIENT
Jonathon and Nathalie Esfandi

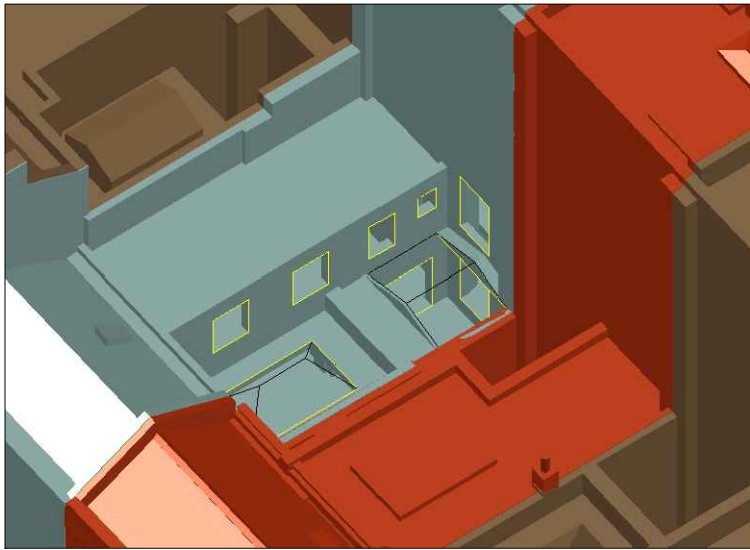
PROJECT
**55 Cumberland Terrace & 29
Cumberland Mews
London, NW1 4HJ**

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SCALE NTS	DATE October 2020

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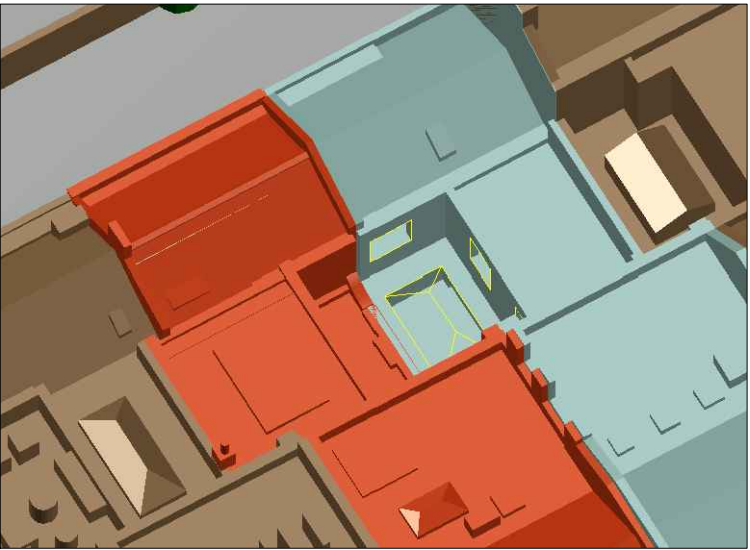
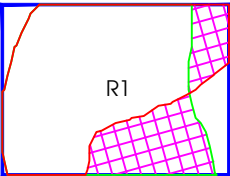
54 Cumberland Terrace, Lower Ground Floor



3D Context View - North Facing Elevation

KEY

-  Existing contour
-  Proposed contour
-  Area of loss/gain
-  Subject room



3D Context View - Mews Building

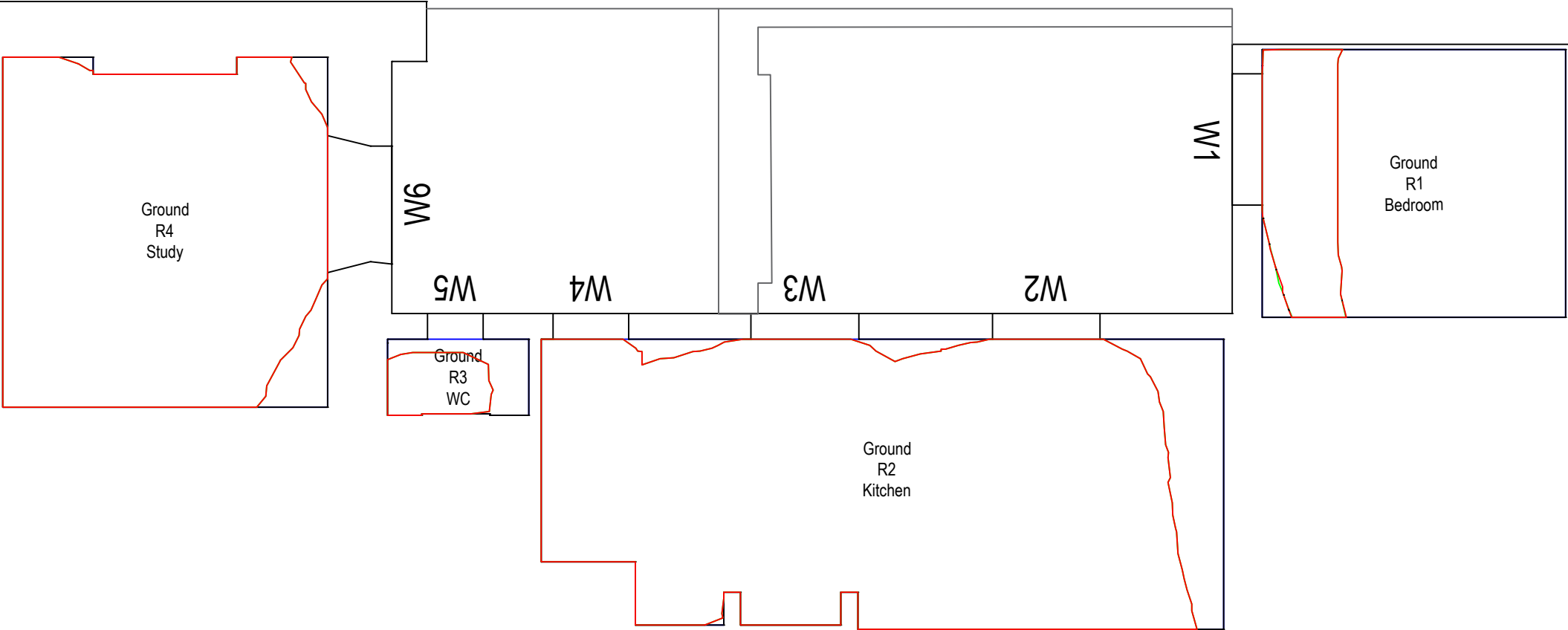


SOURCES OF INFORMATION:
COLLETT ZARZYCKI ARCHITECTS

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Received 07 October 2020

VuCity

High Detail 3d Map:
200171_55_Cumberland_Terrace_MASTER.dwg
Received 10 June 2020



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ALL DIMENSIONS ARE IN METERS ONLY

TITLE
**Daylight Distribution
Contours/Referencing Plans
Property Address**

CLIENT
Jonathon and Nathalie Esfandi

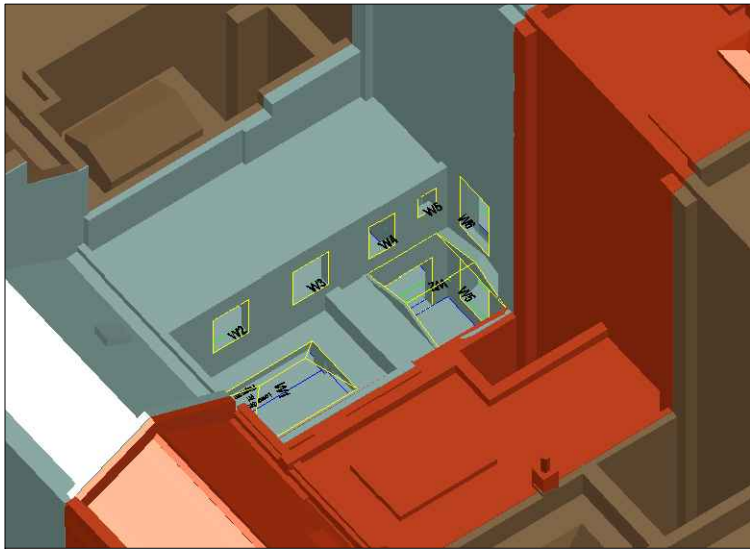
PROJECT
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Cumberland Mews
London, NW1 4HJ**

DRAWN BY LT/OW	CHECKED PL
SCALE NTS	DATE October 2020

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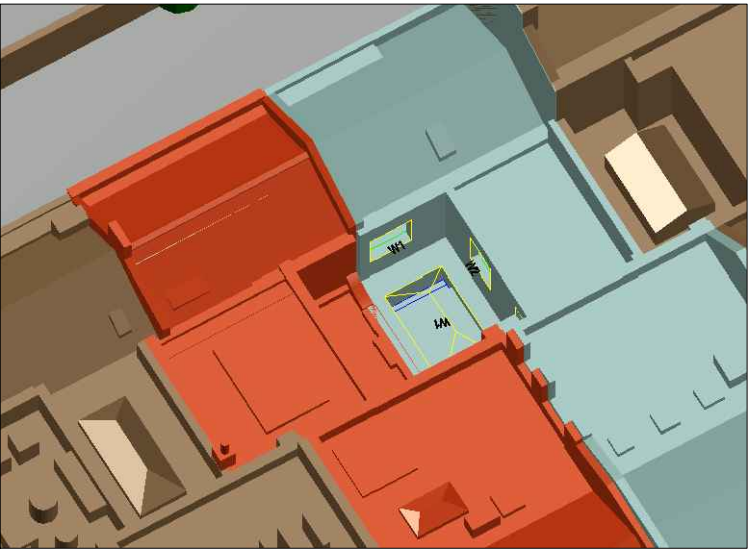
54 Cumberland Terrace, Ground Floor



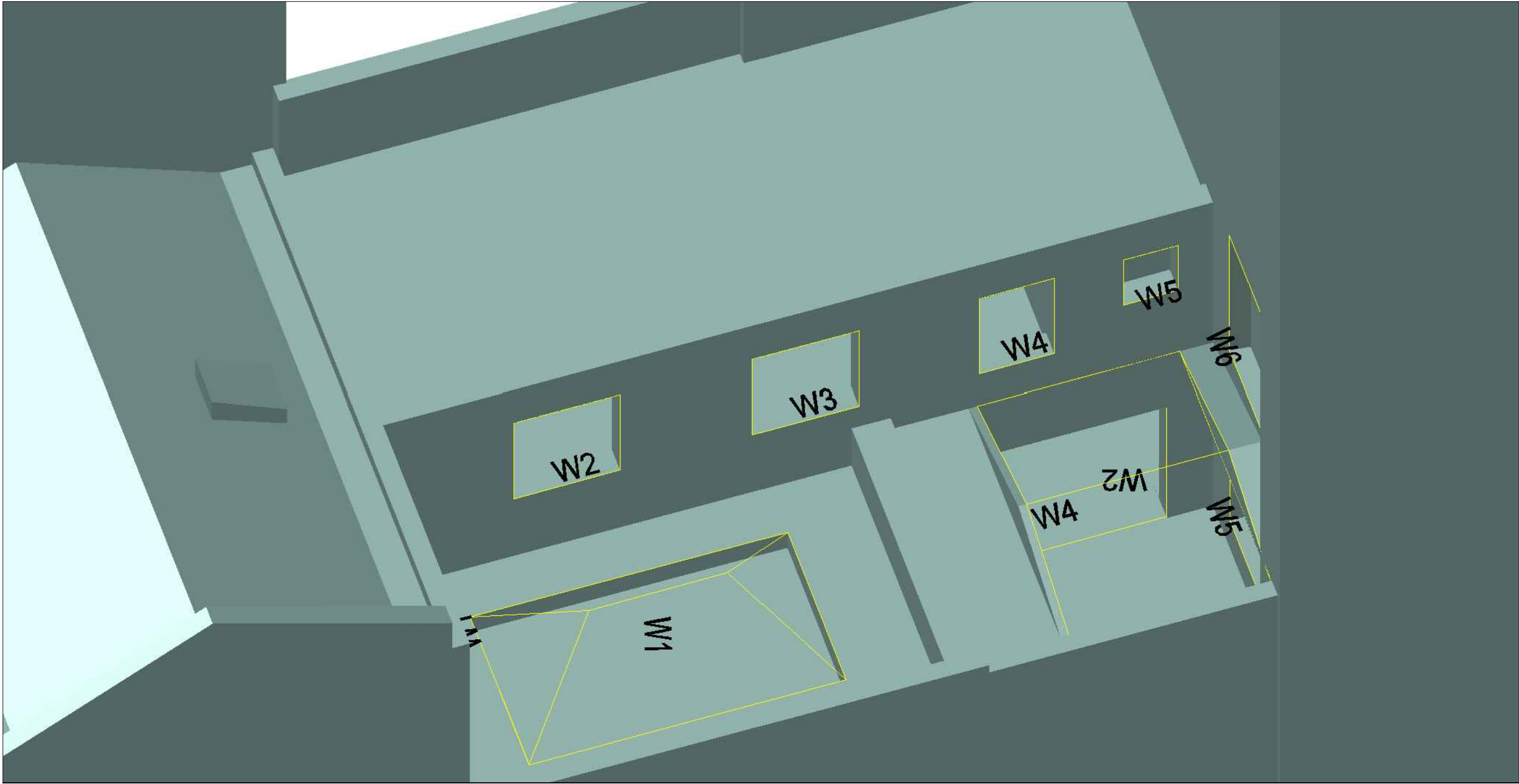
3D Context View - North Facing Elevation

KEY

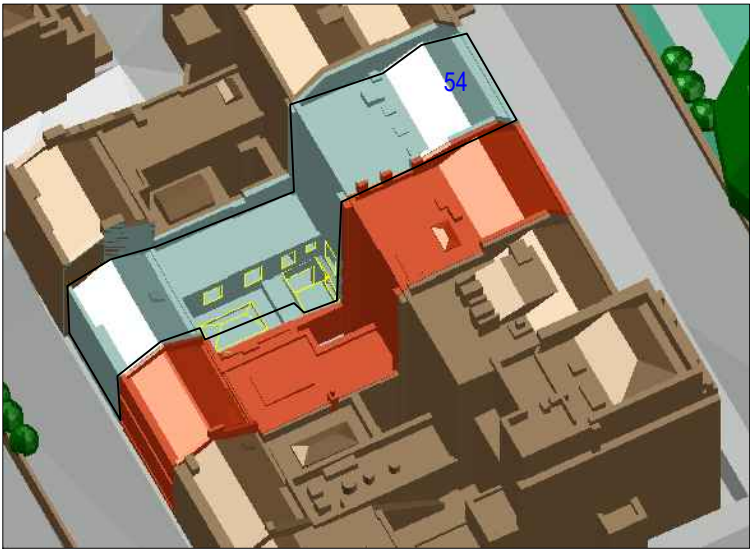
- Existing contour
- Proposed contour
- Area of loss/gain
- Subject room



3D Context View - Mews Building



54 Cumberland Terrace - Rear of Main House and Link



3D Context View - 54 Cumberland Terrace



Plan View - 54 Cumberland Terrace

SOURCES OF INFORMATION:
COLLETT ZARZYCKI ARCHITECTS

55CT - GA - Gutter.dwg
Received 07 October 2020

VuCity

High Detail 3d Map:
200171_55_Cumberland_Terrace_MASTER.dwg
Received 10 June 2020

Rev.	Date	Amendments	Initial
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HOLLIS SHALL BE INFORMED IN WRITING OF ANY DISCREPANCIES.
ALL DIMENSIONS ARE IN METERS ONLY

TITLE
**Window Referencing Diagrams
54 Cumberland Terrace and
28 Cumberland Terrace Mews**

CLIENT
Jonathon and Nathalie Esfandi

PROJECT
**55 Cumberland Terrace & 29
Cumberland Mews
London, NW1 4HJ**

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28 Cumberland Terrace Mews - Rear of Mews House and Link



3D Context View - 54 Cumberland Terrace



Plan View - 54 Cumberland Terrace

SOURCES OF INFORMATION:
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