

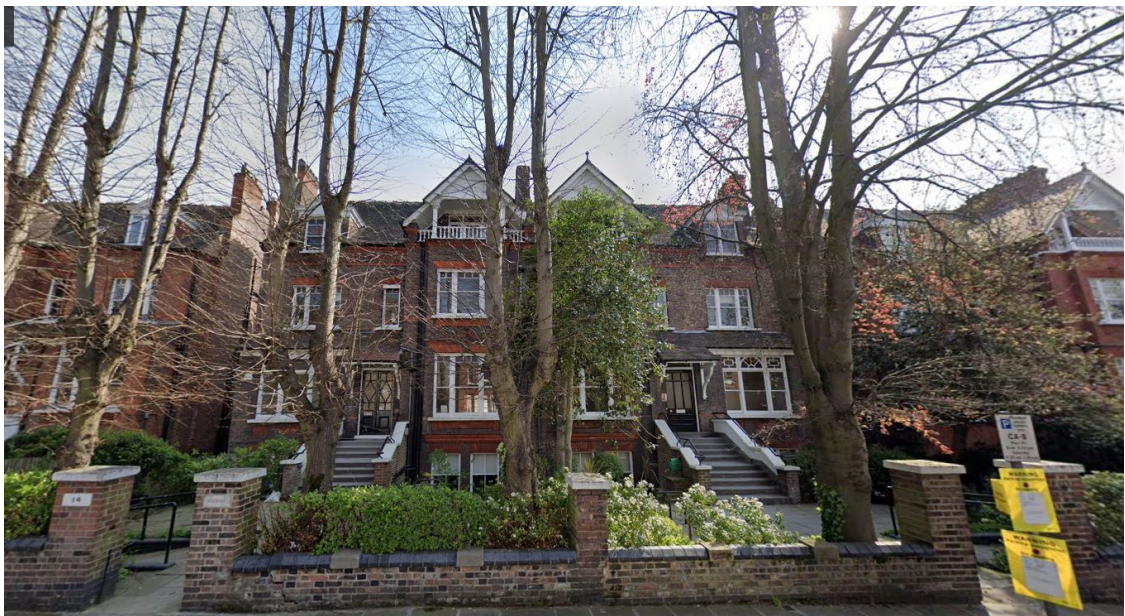


SHHARCHITECTS|INTERIORDESIGNERS

Design & Access Statement

In Support of a Minor material amendment application

Property	12 & 14 Maresfield Gardens, London, NW3 5SU
Project Reference	923
Prepared for	Private Client
Date	23rd March 2021
For Proposed	Installation of wrought iron gate and railings on top of front brick wall. Existing front brick wall to be rebuilt. Installation of bin stores.
Issue Reference	PL01



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1 Introduction

1.1 Purpose

This design and access statement has been developed in support of this joint application to rebuild the existing front brick wall and piers – with coping stone, to install wrought iron gate and railings on top of front brick wall. Installation of new bin stores with green roof.

1.2 Pre-application Advice

Due to the nature of the works, no pre-application advice has been sought on this submittal (refer to conclusion).

2 Property Information

2.1 Property Particulars

Authority	Camden
Heritage	Unlisted
Conservation Area	Fitzjohns and Netherall

2.2 Current Relevant Planning Consents

2019/2820/P - Aug 22 2019 - Approved

Certificate of Lawfulness (Existing)

Existing use of the site as a dwelling house (Class C3) following the vacation of the occupier Anna Freud Centre as per planning permission G6/9/B/27665.

2019/4354/P - Sep 4 2019 - Approved

Certificate of Lawfulness (Existing)

Existing use of the site as a dwelling house (Class C3) following the vacation of the occupier The Anna Freud Centre as per planning permission G6/9/B/27666

2020/0899/P - Jun 6 2020 - Approved

Erection of rear extension with glazed doors at upper ground floor; rebuild rear extension at lower ground floor including alteration to fenestration to rear and addition of windows to side elevations; alteration to fenestration at rear first floor level; insertion of rooflights to rear roof; creation of roof terrace at upper ground floor level; all works to both properties.

2020/2990/P - Jan 1 2021 - Withdrawn

New 2 x air conditioning units, one at each no. 12 & 14 Maresfield Gardens

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3 Proposal

3.1 General Description

Rebuild the existing front brick wall and piers – with coping stone, to install wrought iron gate and railings on top of front brick wall. Installation of new bin stores with green roof.

3.2 Design Proposal

The following SHH drawings have been submitted in support of this proposal and should be reviewed in conjunction with this Design and Access Statement.

Approved Plan:
(923)002_PL WIP Proposed Site Plan

Amended Plan:
(923)002_PL02 Proposed Site Plan

Additional Layouts:
(923)460_PL01 Front Wall - Existing
(923)461_PL01 Front Wall - Proposed
(923)462_PL01 Front Wall and Bin Store - Details
(923)463_PL01 Front Wall - Existing Photos and Examples 206 – Side Elevations – Demolition

3.3 Design Principles

3.3.1 Concept

The existing wall has been badly repaired over the years, with poor quality both in aesthetic and durability terms. This wall shows a number of cracks, potential instability and areas that have been patched up over the course of its existence. The rebuilding of the front wall provides the opportunity to improve on the quality and aesthetic of the property and streetscape, as well as safety in the long run. Installation of the metal railing and gate have security and aesthetic reason and is in keeping with the precedents existing within other Maresfield Gardens properties. Bins will be hidden in an inconspicuous feature boxing out, blending in with its surroundings and concealed from the street with planting (e.g. hedging on the boundary wall and railing in line with other properties at Maresfield Gardens approach); this will be covered by timber slats around the sides and green roof on the top. Please refer to drawings for reference image.

3.3.2 Amount

There is no significant difference between existing and proposed design; the general functionality, size as well as aesthetic and stylistic character of the wall is being reinstated. Side access to no12 to be omitted and a new end brick pier to be introduced at the right-hand side. Refer to drawings for details.

3.3.3 Layout

Refer to attached drawings.

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3.3.4 Scale

The overall height of the brick piers will remain as existing. The proposed gates and railings will be no higher than the coping stone at the top of the piers.

3.3.5 Landscaping

Amount of hard surface to be reduced, plants, grass and hedges to be planted. This will be minimal and sympathetic to the reinstated residential character of the property.

3.3.6 Appearance and Materials

The proposed design doesn't change the general appearance of the original front wall, it just makes it more elegant with all the new elements, and of higher quality including in relation to stability and safety.

Brickwork will be to match existing. New railing will be in black wrought iron to match the character of the property and railings present at other properties in the vicinity.

The bin enclosure will be with natural timber cladding and green roof to blend in. Refer to reference image on attached drawings.

3.3.7 Use

As existing.

3.4 Access

Access to the property remains unaffected. The properties are being reverted to residential use, single dwelling per plot. Pedestrian side access in boundary wall to be omitted at 12 Maresfield Gardens. The 2no main entrances to be kept as existing.

3.5 Transport & Parking

No amendments to the existing transport and parking facilities are proposed.

3.6 Sustainability

Not applicable.

3.7 Conclusion

Works are of remedial, improvement and necessary nature with positive impact on the property and wider neighbourhood such as streetscape. These are minor and localised works.

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4 Other

4.1 Copyright

Copyright in all documentation and drawings, reports, specifications and calculations produced by SHH contained in this submission is the sole property of SHH and may not be copied or distributed in any way other than for the purpose of the determination of this submission.

4.2 Confidentiality Statement

Save as may be necessary for the determination of this submission, or as SHH may allow in writing, all information is to be treated as confidential.