

# Vine Hill

DESIGN AND ACCESS STATEMENT - 10.03.21

# Introduction

*This Design and Access Statement is submitted as part of a planning application for the external alterations and improvements to the existing offices at 22-26 Vine Hill, 14 Rosebery Avenue and 7 Warner Yard.*

*The design principles on which the proposal is based have been informed and defined by close consideration of the London Borough of Camden planning policy requirements, the local context, the existing architecture and the aspiration to achieve development of the highest architectural merit.*

*The application seeks permission to create: a new grade level entrance on Vine Hill; refurbish the existing facade with modification to the existing openings; and erect a new external enclosure for cycle storage, refuse storage and plant.*

# The Design Team

**OWNER** Vine 1 & Vine 2 Limited

**PROJECT MANAGER** Storey

**ARCHITECT** BuckeyGrayYeoman

**PLANNING CONSULTANT** Spring Planning

**STRUCTURAL ENGINEER** Heyne Tillet Steel

**SERVICES ENGINEER** GDM Partnership

**APPROVED INSPECTOR** Shore

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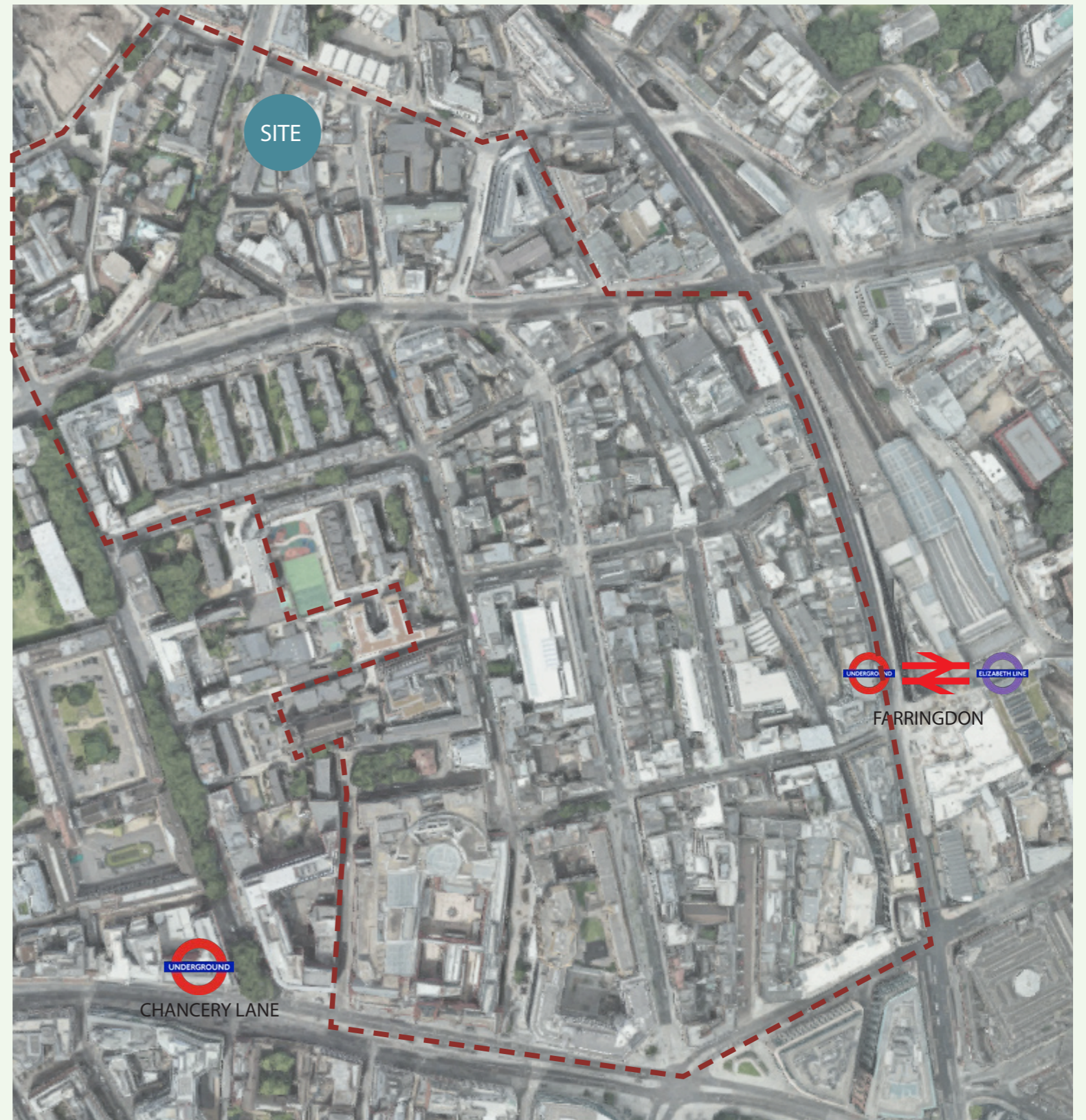
# The Site and Context


1.1

## The Site

The site is located towards the southern boundary of the London Borough of Camden; it is bounded by Vine Hill to the South, Rosebery Avenue to the West, Warner Yard to the North and the Ragged School to the East. The site is approximately 500m North of Chancery Lane and Farringdon Tube and Train Stations and also benefits from a bus stop on Rosebery Avenue.

The site sits within the Hatton Garden Conservation Area. The building is not listed, but the residential block above is noted as a “*Building that makes a positive contribution to the area*” in the Hatton Garden Conservation Area Appraisal and Management Strategy.



 HATTON GARDEN CONSERVATION AREA

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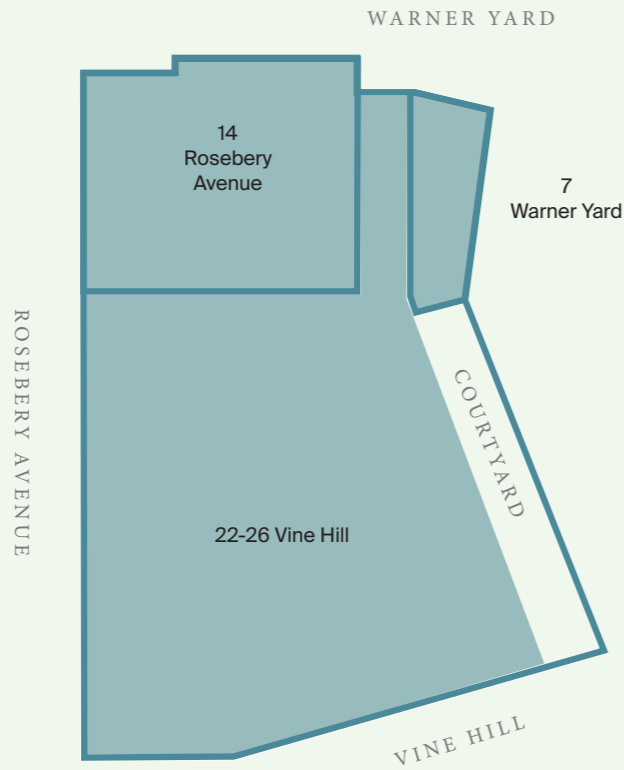
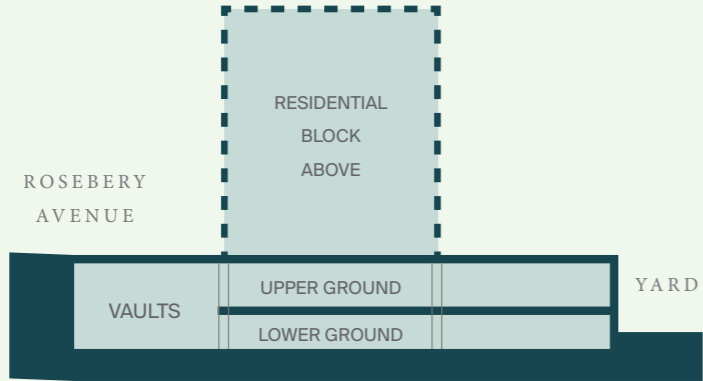
# **The Existing Building**

## SECTION 2

# The Existing Building

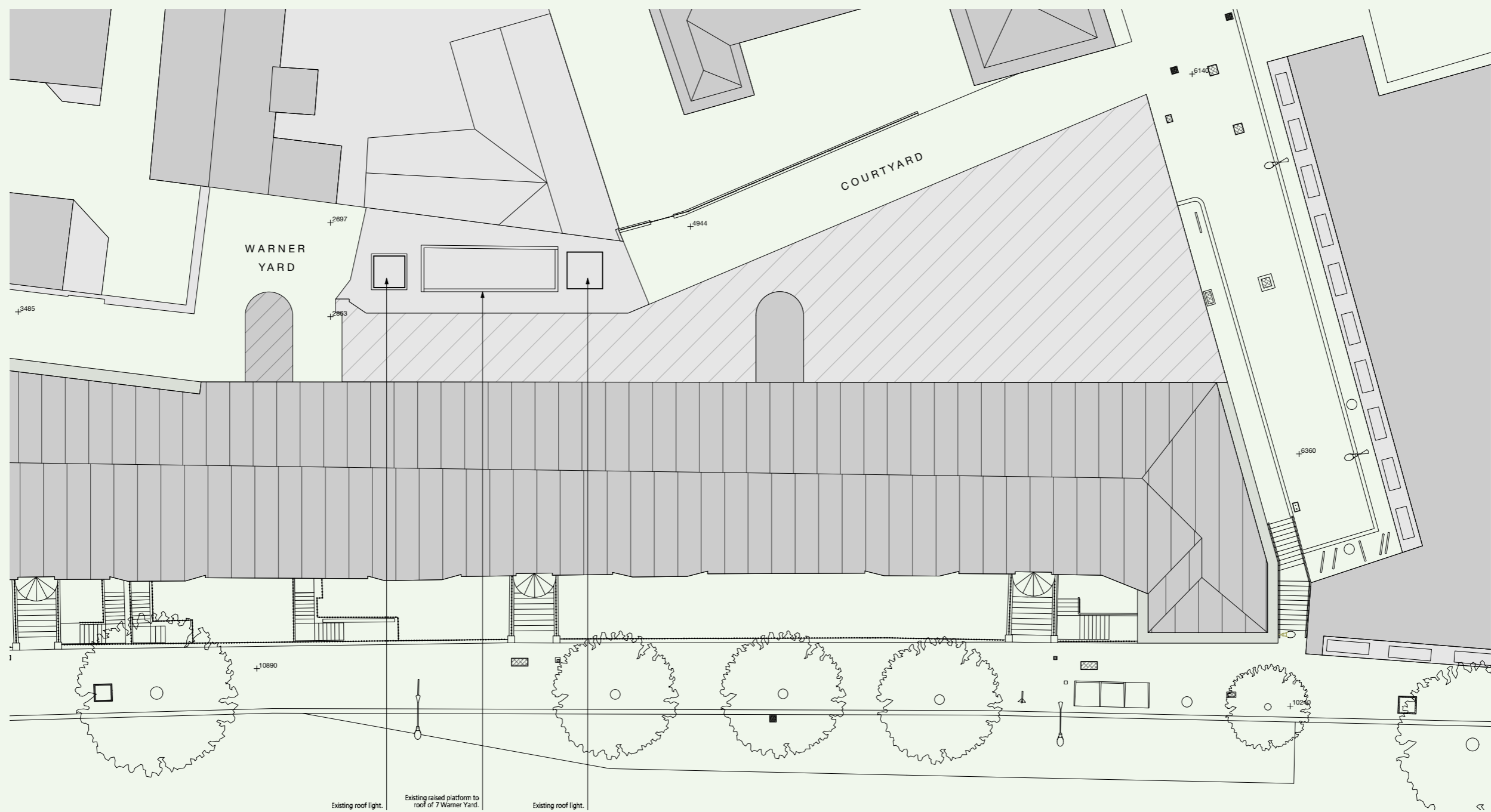
## 2.1 The Existing Arrangement

The existing office units occupy the two basement levels of an existing purpose-built residential block. The site also extends into the the brick vaults underneath Rosebery Avenue and the more recent addition on Vine Hill.



# The Existing Building

## 2.2 The Existing Plan (N.T.S.)



The Existing Building

2.3 Existing Photos



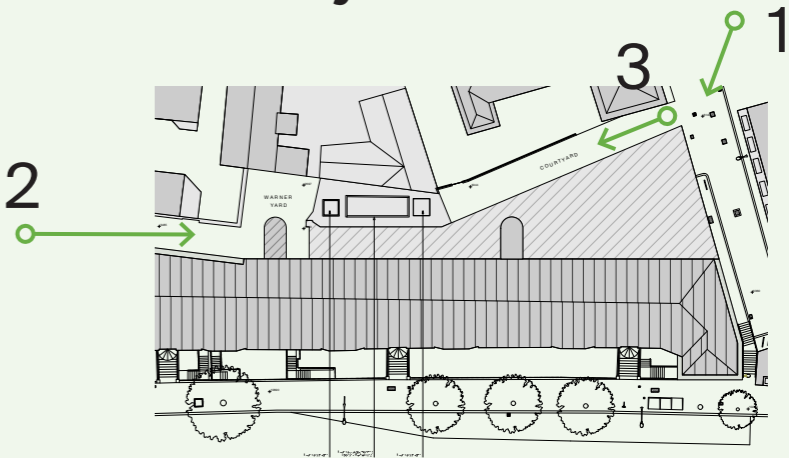
1. Approach from Vine Hill



2. Approach from Warner Street



3. Courtyard View



# The Existing Building



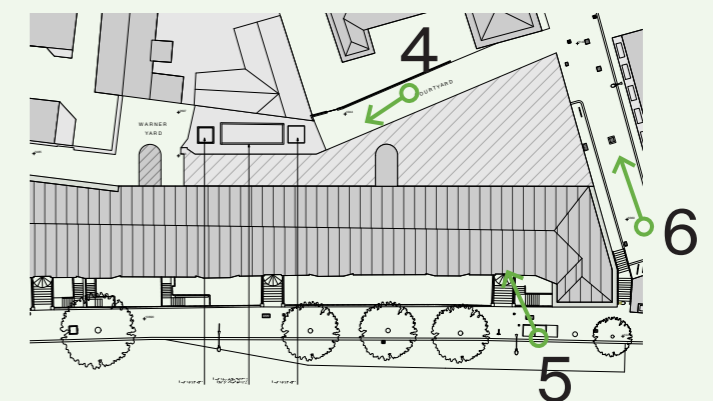
4. Inside the courtyard



5. Rosebery Avenue



6. Vine Hill looking East



**Design & Access Statement**

# **Architectural Proposals**

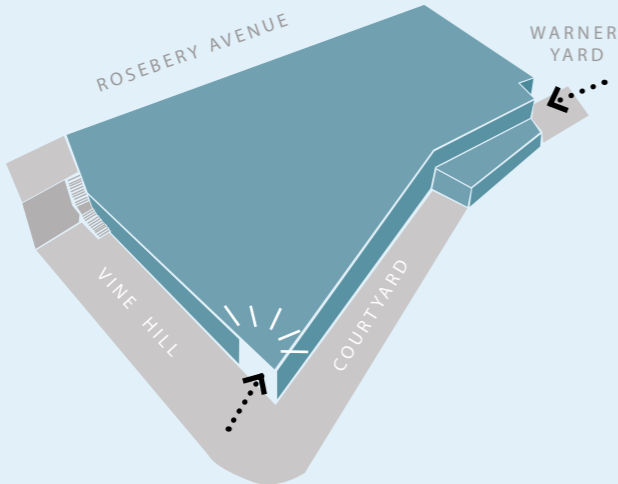
SECTION 3

BUCKLEY GRAY YEOMAN

# Architectural Proposals

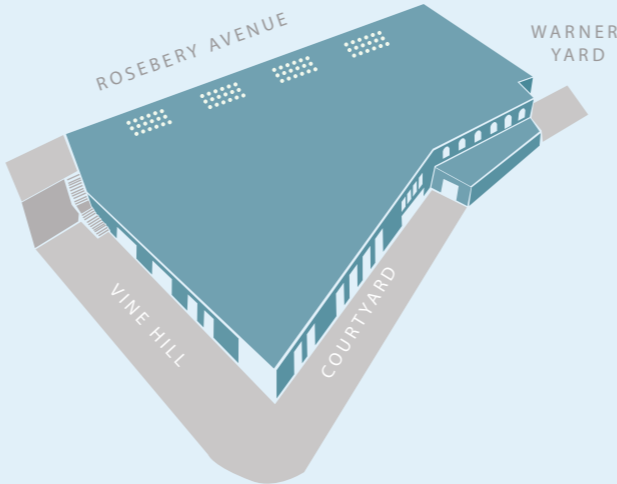
1

CREATE A NEW ENTRANCE



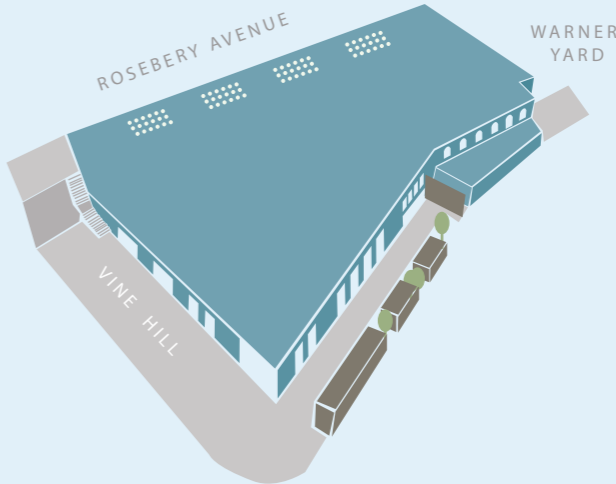
2

REFURBISH THE FACADE

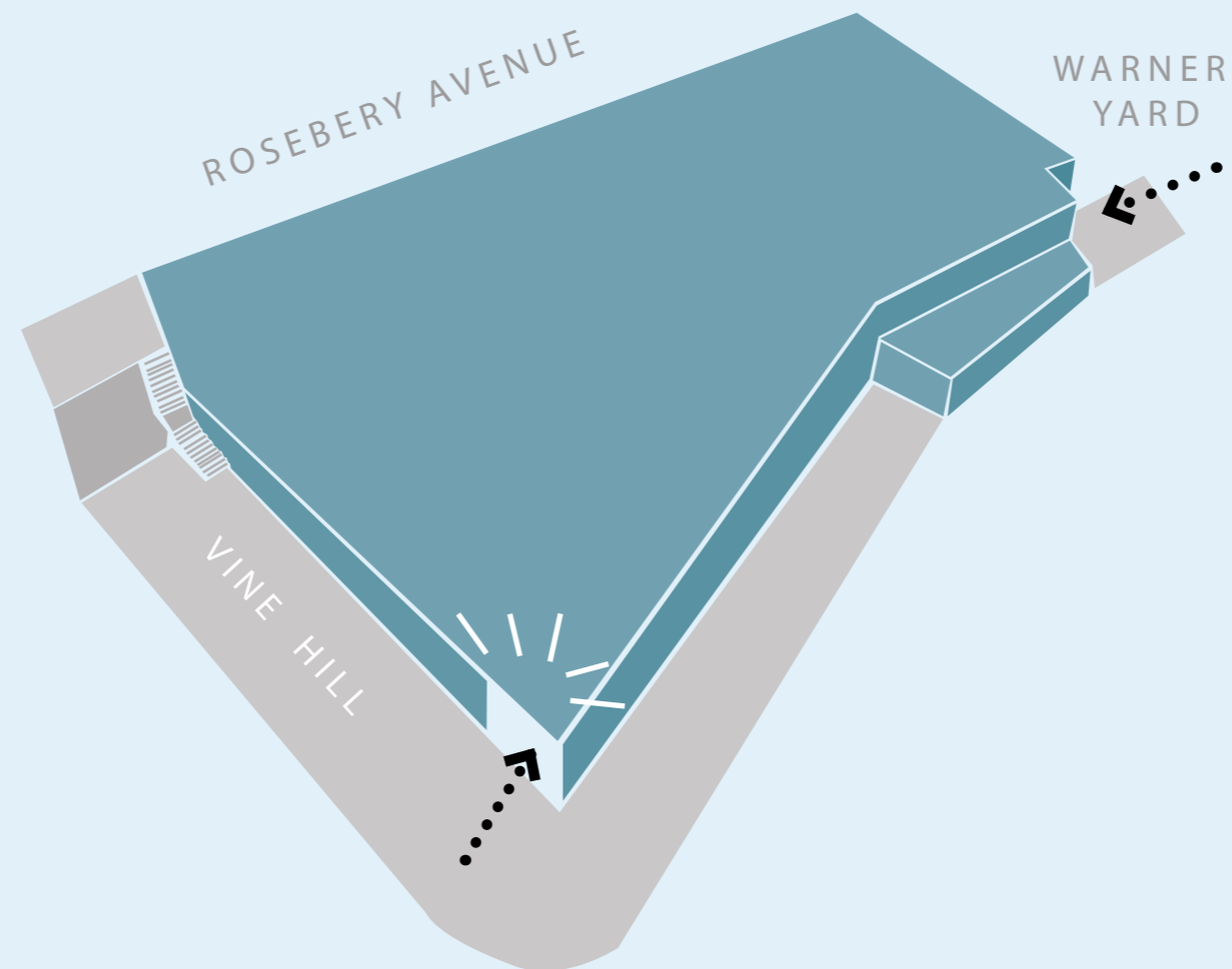


3

RE-LANDSCAPE THE COURTYARD



# 1 CREATE A NEW ENTRANCE



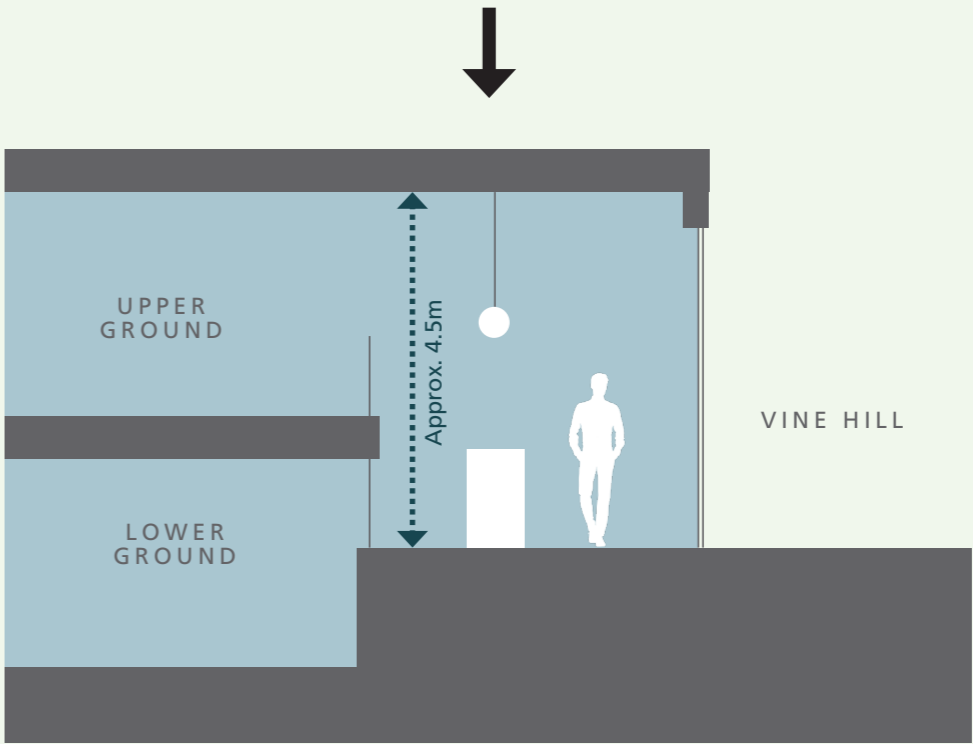
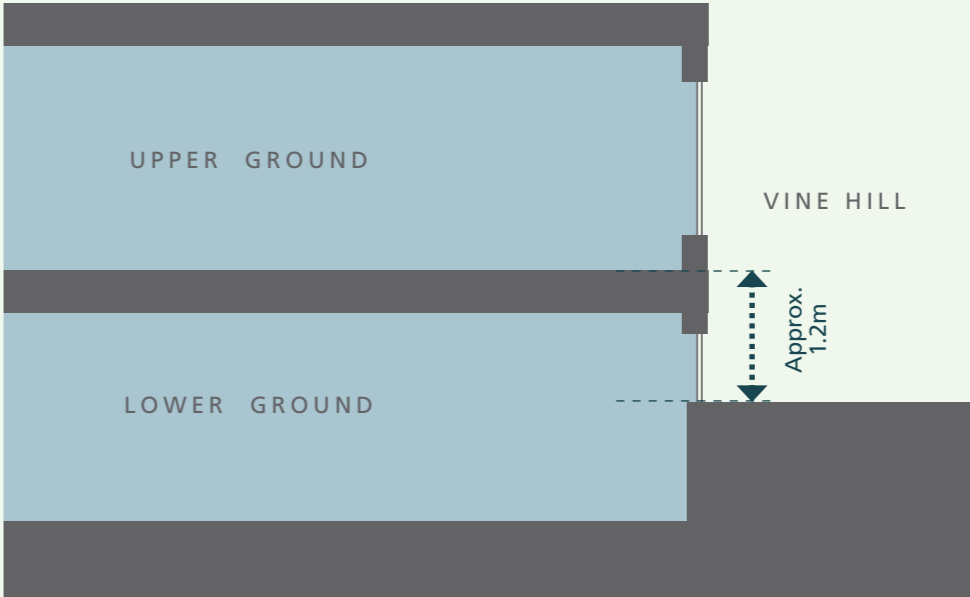
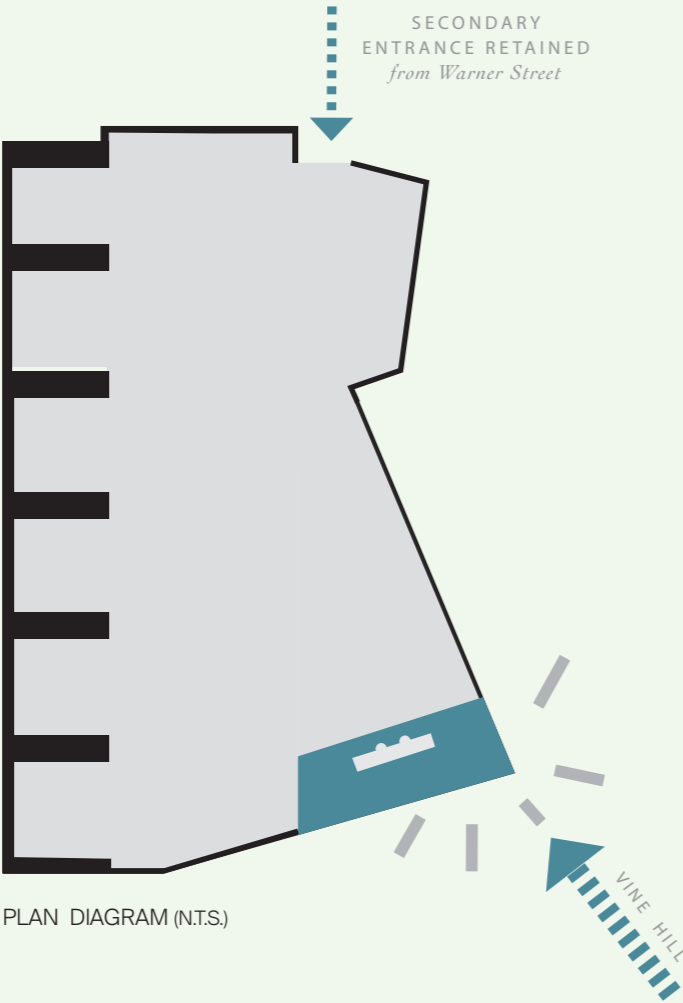
Create a new grade level entrance at Vine Hill and refurbish existing entrance to Warner Yard.

# Architectural Proposals - Create a new entrance

## 3.1 New Entrance Reception to Vine Hill

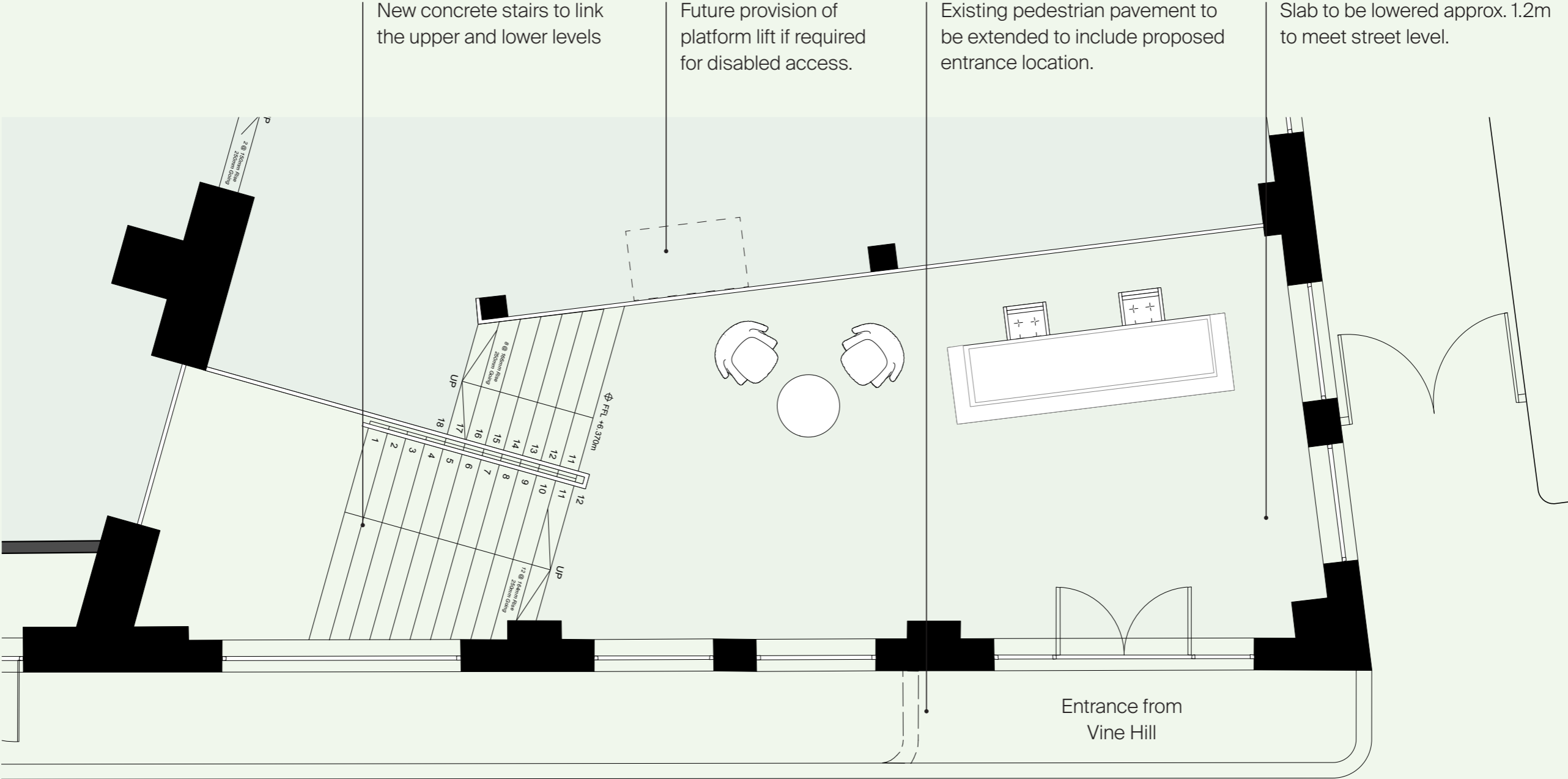
A new entrance to the development is identified at the corner of Vine Hill and the courtyard. This location provides an opportunity to create a prominent entrance and front door to the building.

To improve the entrance sequence, it is proposed that the structural slab of the upper ground floor is lowered to provide a grade level access from Vine Hill. The slab will be lowered by approx. 1.2m with a new set of stairs to link the upper and lower levels.



# Architectural Proposals - Create a new entrance

## 3.2 New Entrance Recetion to Vine Hill - Proposed Plan



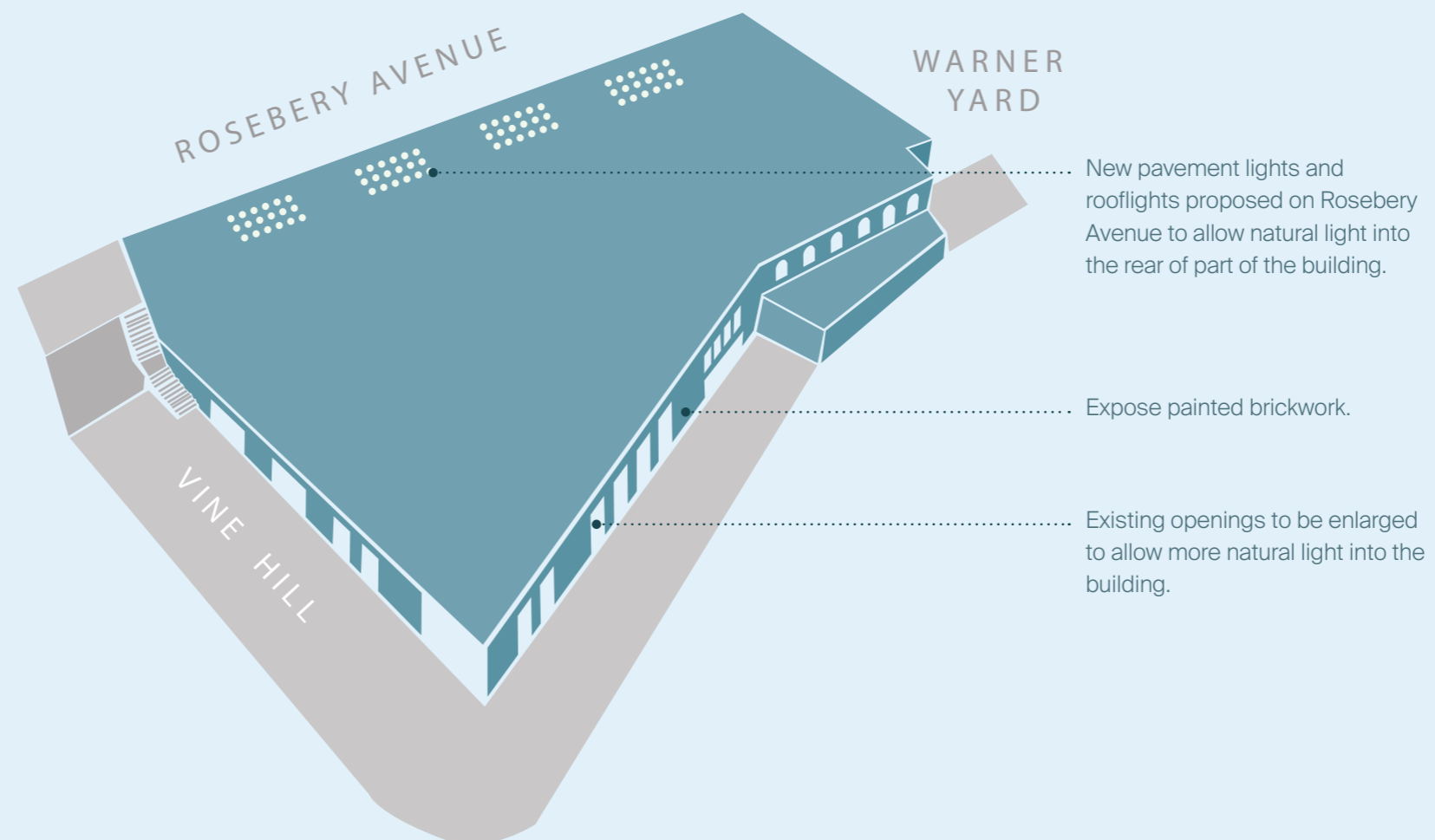
PROPOSED RECEPTION PLAN (Not to scale)

# Architectural Proposals - Create a new entrance

## 3.3 New Entrance Reception to Vine Hill - How it could look...



## 2 REFURBISH THE FACADES



Rejuvenate the exterior of the building by exposing the existing brickwork and enlarging some of the existing fenestration to increase daylight to the interior.

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# Architectural Proposals - Refurbish the Facade

3.5

## Facade Refurbishment

In conjunction with the new entrance at Vine Hill, a full facade refurbishment is proposed to uplift and enhance the overall building appearance. The refurbishment works and alterations include:

- All existing paint to the brickwork to be removed to expose the brickwork and to be refurbished where required.
- Some existing window openings to be enlarged to allow more natural light into the office space. New metal-framed windows to be installed with the “Crittall style” to maintain the character of the existing and neighbouring buildings. Colour to be ‘Cotswold Green’.
- Existing pedestrian pavement to Vine Hill to be extended across to incorporate the new entrance doors.



Example of Crittall style windows in ‘Cotswold Green’.



EXISTING VINE HILL ELEVATION (Not to scale)



PROPOSED VINE HILL ELEVATION (Not to scale)

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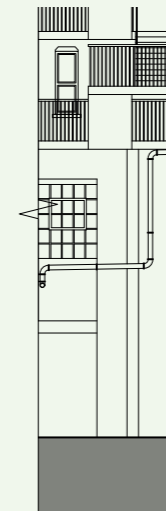
# Architectural Proposals - Refurbish the Facade

3.5

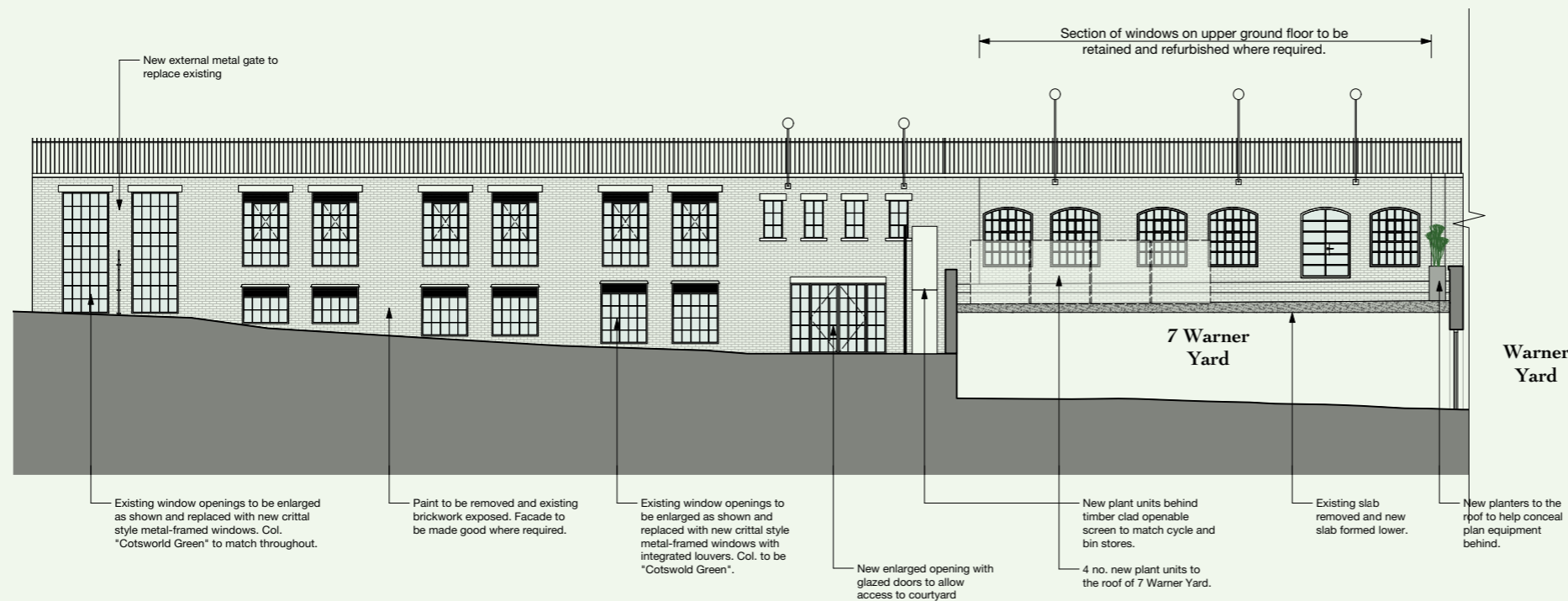
## Facade Refurbishment



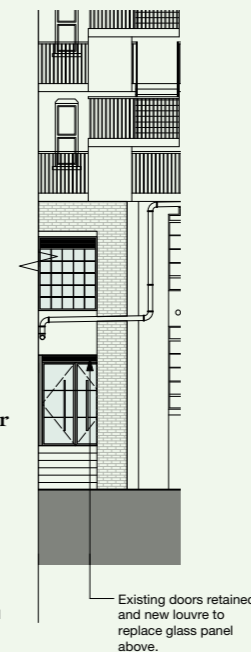
EXISTING COURTYARD ELEVATION  
(Not to scale)



EXISTING WARNER YARD ELEVATION  
(Not to scale)



PROPOSED COURTYARD ELEVATION  
(Not to scale)



PROPOSED WARNER YARD ELEVATION  
(Not to scale)

# Architectural Proposals - Refurbish the Facade

## 3.5 Facade Refurbishment - How it could look...



**Existing Approach**

from Vine Hill



**Proposed Approach**

from Vine Hill

# Architectural Proposals - Refurbish the Facade

3.6

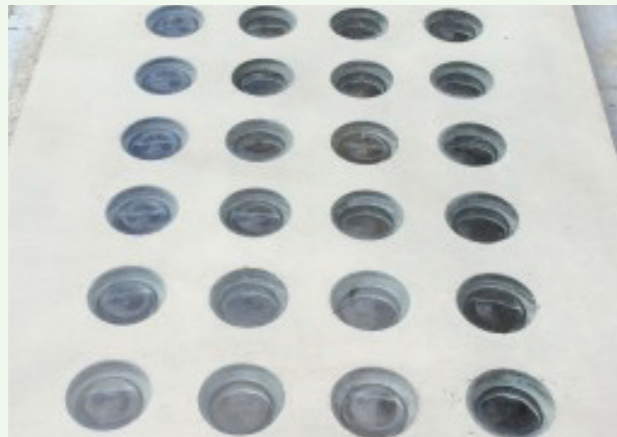
## Pavement lights to Rosebery Avenue

To further improve the natural light into the building - in particular to the rear vaulted arches - a series of pavement lights are proposed to Rosebery Avenue.

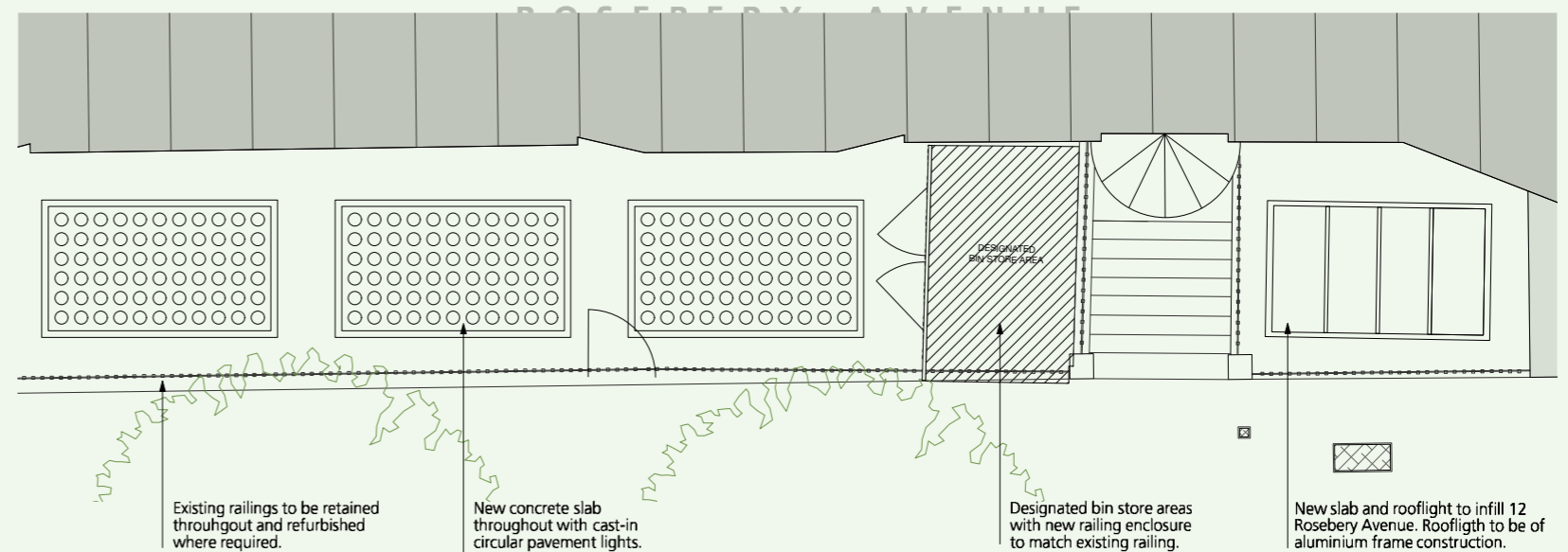
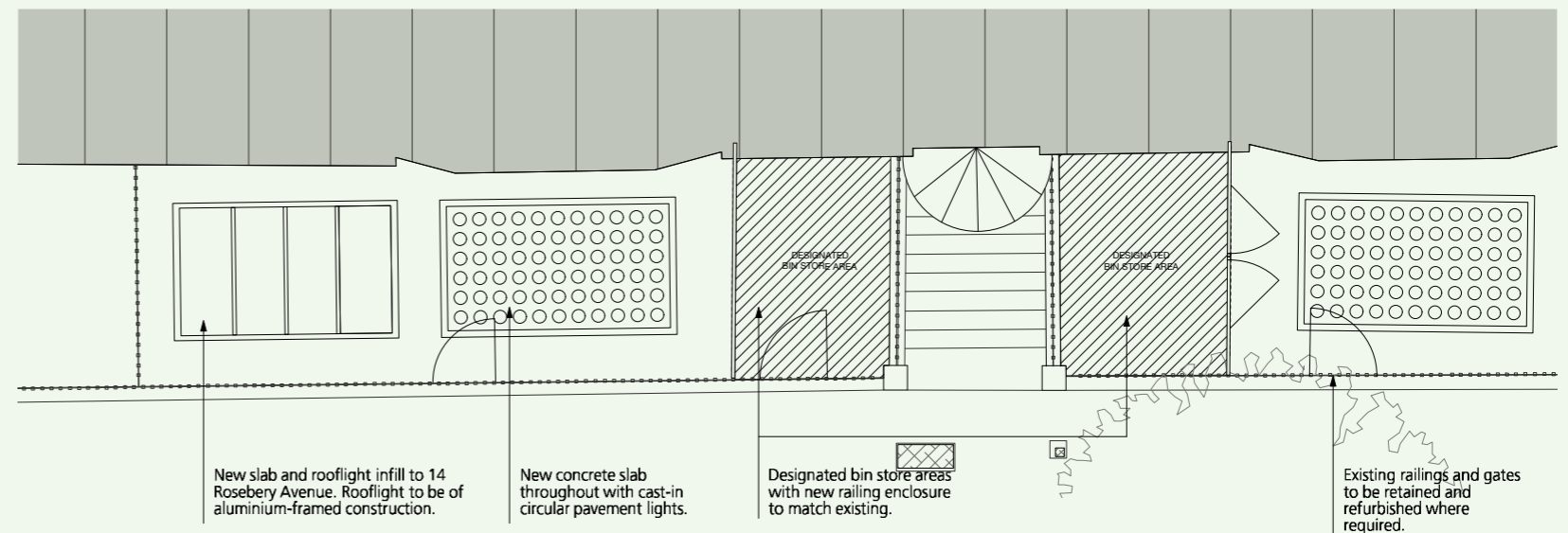
The existing slab will be demolished and replaced with a new slab with integrated circular lenses.

The existing entrances to 12 and 14 Rosebery Avenue will be infilled and replaced with glazed rooflight.

The existing metal railings from 12 to 14 Rosebery Avenue will also be refurbished and painted. New demarcated refuse store areas will be introduced for the use of the residential units above.



PROPOSED PAVEMENT LIGHT TYPE  
200mm dia. frosted lense pavement lights.

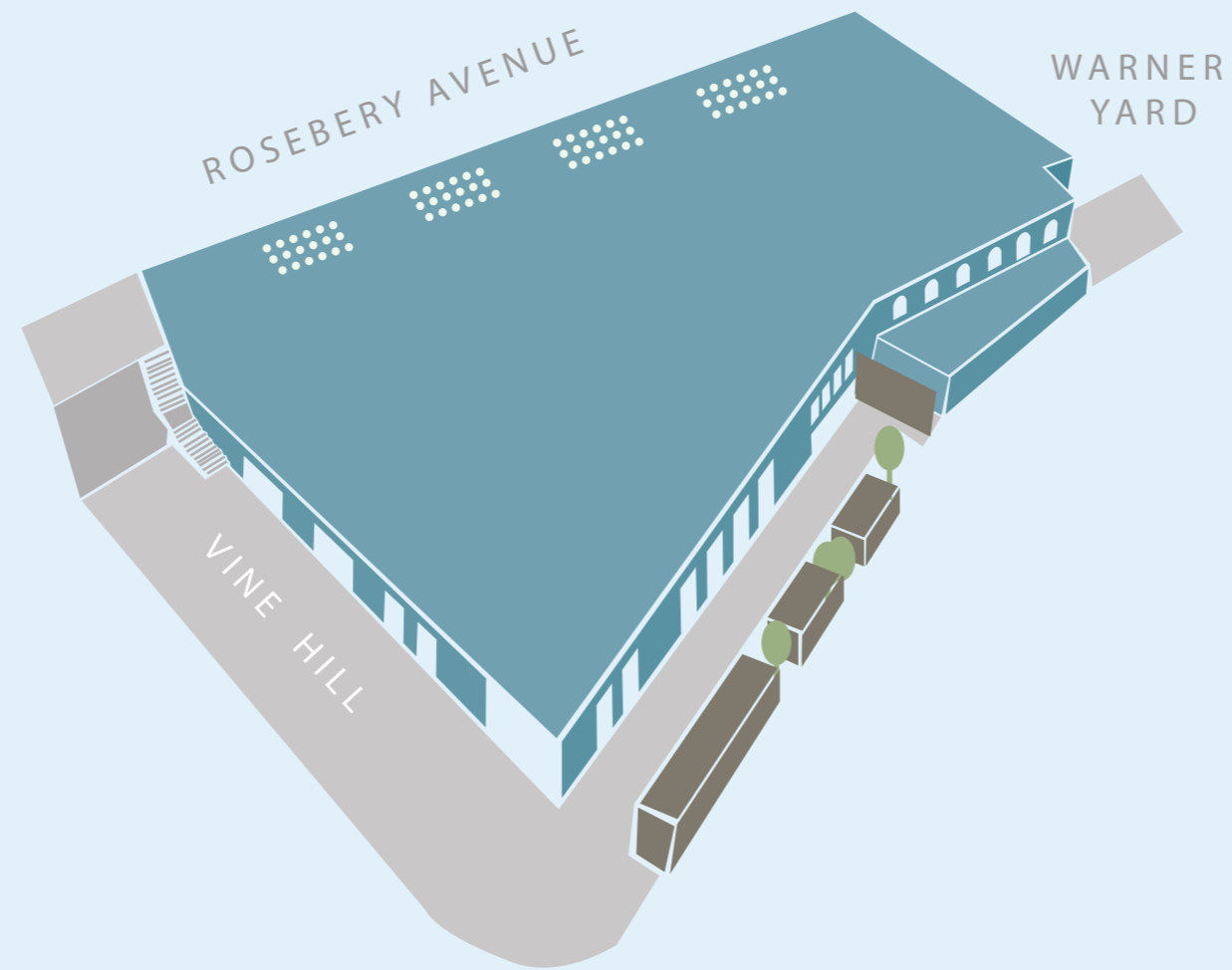


# Architectural Proposals

## 3.6 Pavement lights to Rosebery Avenue - How it could look...



### 3 RE-LANDSCAPE THE COURTYARD



Make the most of the existing courtyard by providing break-out external spaces for the office users with new landscaping and integrated seating. New enclosures for cycle store, plant and refuse store are also proposed.

# Architectural Proposals

3.7

## Courtyard

The existing courtyard will be re-paved and landscaped to provide integrated cycle store, refuse store and plant enclosures. The proposed landscaping will also offer better visual outlook for the office users.

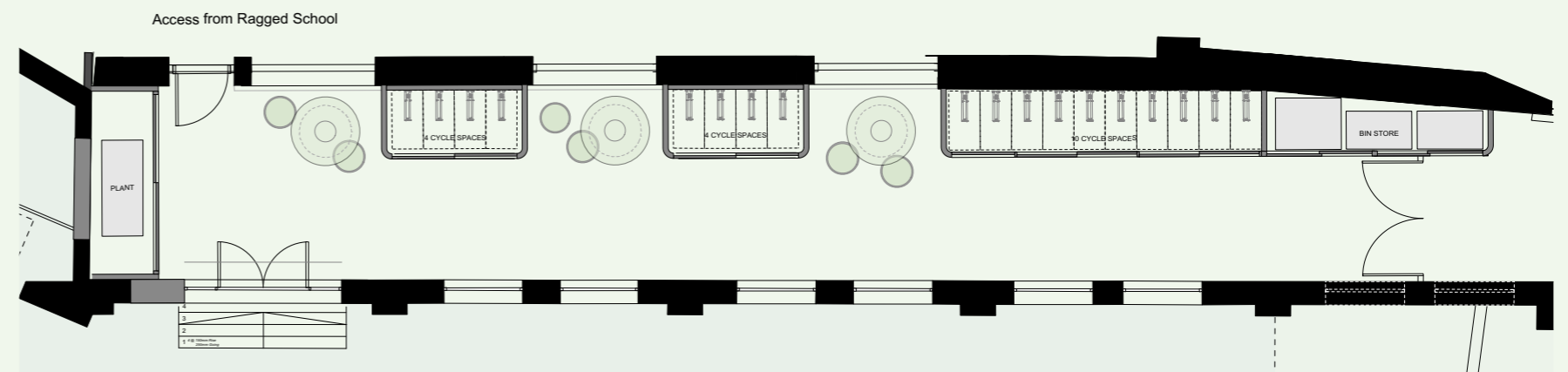
New timber enclosures are proposed to house cycle storage and refuse storage facilities and to screen condenser units. The breaks between the enclosure are designed to align with the Ragged School development (2018/6016/P) to ensure windows and access remain undisturbed.

Currently there is no dedicated cycle provision in the office space, the new cycle storage enclosures will offer 18no. dedicated and lockable cycle parking that will also offer weather protection.

Consented application (2018/6016/P) to the Ragged School development shown in the background indicating location of windows and doors - not yet built.



PROPOSED COURTYARD ELEVATION



PROPOSED COURTYARD PLAN (N.T.S.)

# Architectural Proposals

## 3.8 Courtyard Materiality

The new landscaped courtyard will be paved in new setts to replace the aging concrete. This will improve both the aesthetics as well as the ease of use of the courtyard by creating a regular, even finish.

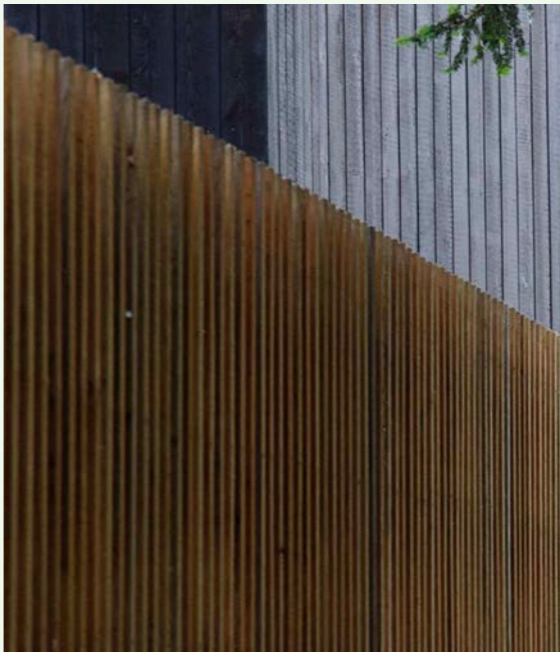
Cycle stores, bin stores and the plant screen are all clad in timber slats. Movable furniture like planters and seating will be placed in the gaps between the stores.



INDICATIVE VISUAL OF HOW IT COULD LOOK



EXAMPLE OF STONE SETTS



EXAMPLE OF TIMBER SLAT ENCLOSURE



EXAMPLE OF LANDSCAPING

# Architectural Proposals

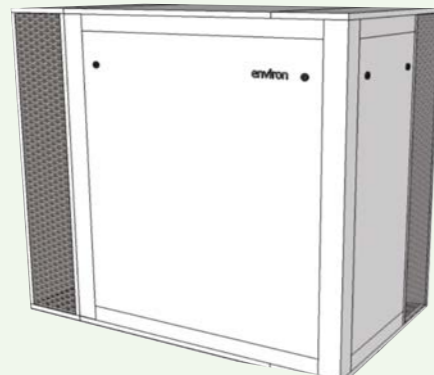
## 3.9 Plant Rationalisation

Currently, there are a number of exposed condenser units installed within the courtyard and the roof of 7 Warner Yard serving the existing office spaces.

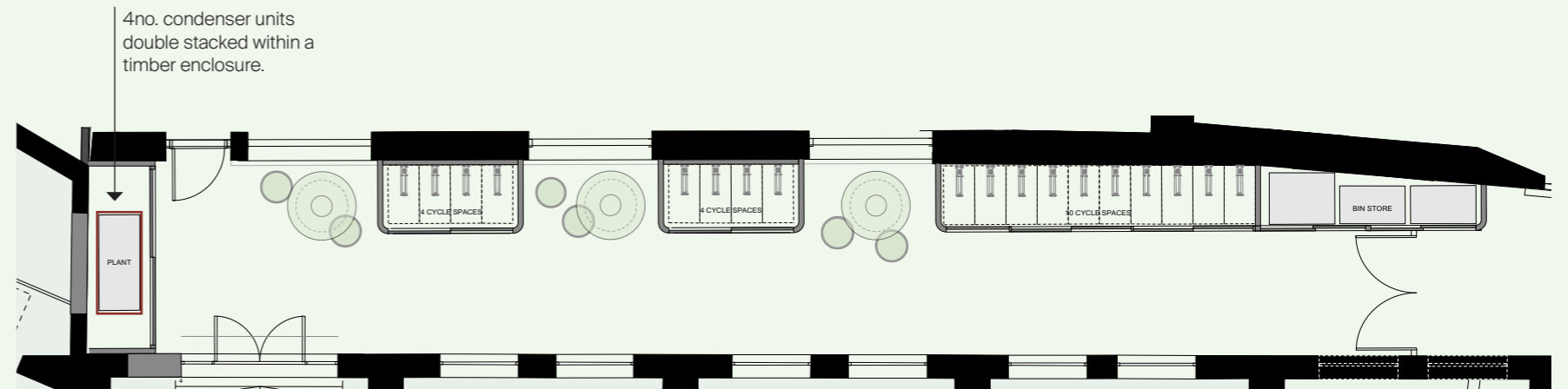
As part of these alternatives, it is proposed that these units are replaced and rationalised into more sensible locations. This results in a total of 8no. of new condenser units. These units will be individually enclosed to provide enhanced acoustic attenuation.

The units are proposed in locations similar to the existing; 4no. to the rear of the courtyard and 4no. on 7 Warner Yard roof.

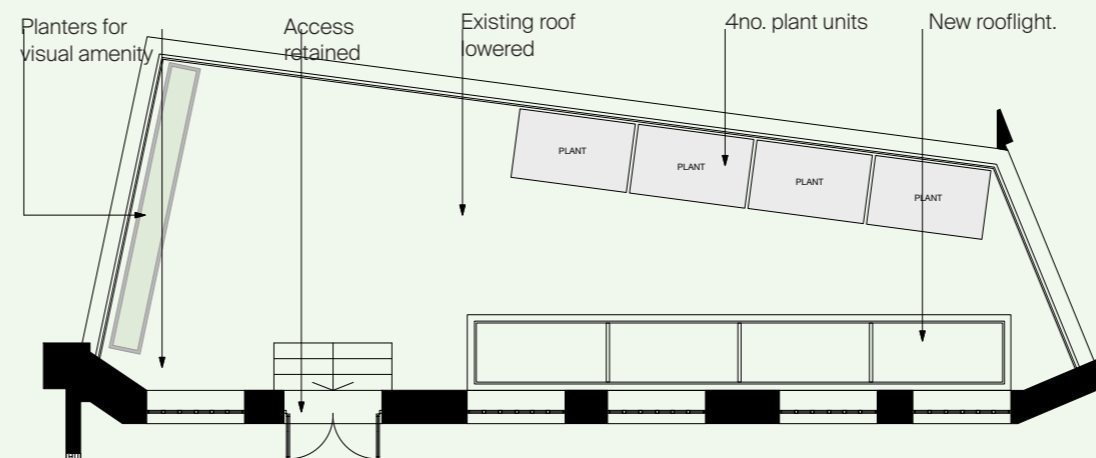
The courtyard units will be clad in a timber enclosure to match the new cycle stores whilst the units on the 7 Warner Yard roof will be lowered with a new roof slab to partly conceal them from view.



PROPOSED ACOUSTICALLY ENCLOSED CONDENSER UNIT



PROPOSED COURTYARD PLAN (N.T.S.)



PROPOSED 7 WARNER YARD ROOF PLAN (N.T.S.)



EXISTING CONDENSER UNITS TO THE REAR OF THE COURTYARD AND ROOF.

# **Access Statement**

SECTION 4

# Access Statement

## 4.1 Existing Access

The existing building is not accessible in compliance with Building Regulations part M.

There are currently no step-free entrances to the building. There is a delivery ramp that can be accessed from Warner Yard; the ramp is approximately 1:9 and over 10m in length which fails to comply with Building Regulations Part M.

There are also a number of level changes in both the Lower Ground and Upper Ground floor slab with steps required to navigate them.

## Proposed Access

The proposed renovation goes a long way in improving its accessibility. The existing Warner Yard delivery ramp will be removed and replaced with a platform lift.

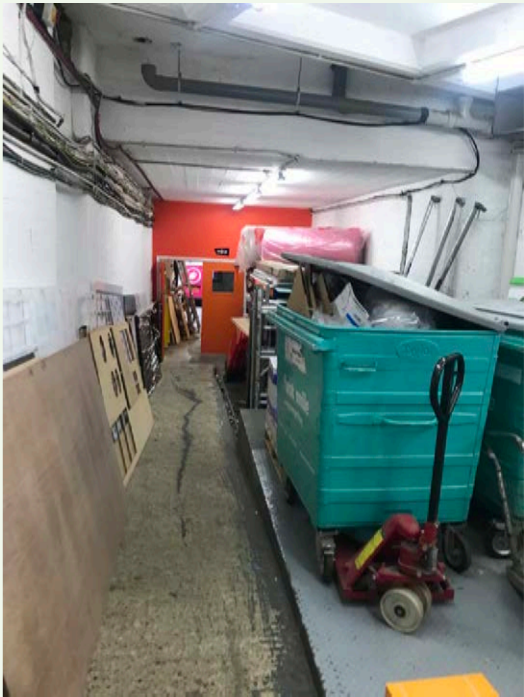
The new reception from Vine Hill will provide a level access from the street and will include a soft spot within the slab for the future installation of a platform lift.



EXISTING ENTRANCE TO 12 ROSEBERY AVE.



EXISTING ENTRANCE FROM VINE HILL



EXISTING DELIVERY RAMP FROM WARNER YARD

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**Bristol**

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