

1 March 2021

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The Savills logo consists of the word "savills" in a lowercase, red, sans-serif font, positioned within a yellow rectangular background.

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Dear Sir/Madam,

Application for garden office - Ground Floor Flat, 22 South Hill Park Gardens, NW3 2TG

This letter is written in support of an application for planning permission for the following development at 22 South Hill Park Gardens, NW3 2TG:

Erection of a garden office outbuilding

The context for this application is the COVID-19 pandemic crisis. This has had a significant on the way people work and has dramatically increased the need to work from home. It has also highlighted the need to have a suitable working environment and for separation from day to day living when working. This development therefore looks to provide a high quality office building for the use of the ground floor flat of the property.

This letter sets out the justification for this proposed development in the context of the development plan. It is supported by the following drawings:

- Site Location Plan – 1071_0001_PL1
- Existing Site Plan – 1071_1000_PL1
- Proposed Site Plan – 1071_1010_PL1
- Existing Drawings – 1071_2000_PL1
- Proposed Drawings – 1071_2010_PL1

Site background

This application relates to the ground floor flat of 22 South Hill Park Gardens, which is a large, semi-detached four storey building on the eastern side of South Hill Park Gardens. The building is not listed but is located within the South Hill Park Conservation Area, which is almost exclusively residential.

Planning permission was granted on 23 November 2018 to extend the property and convert the ground and first floor into three flats (2017/5156/P). A number of subsequent NMA's (2019/4827/P, 2019/5953/P, 2020/4377/P) have been approved which allow for minor layout and fenestration changes. This development is now at an advanced stage of implementation.



Site
Location

Site aerial

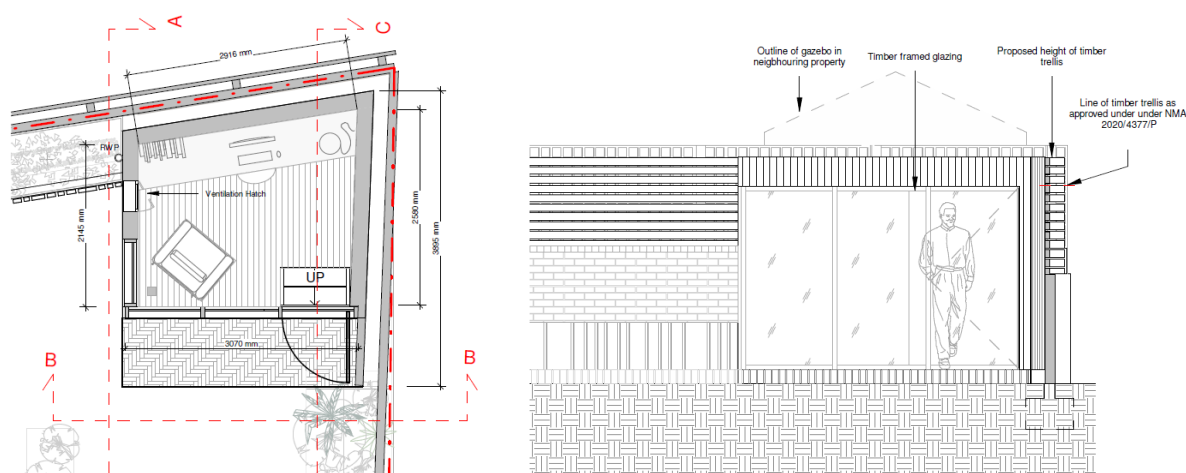


Front elevation and view of rear garden from first floor window

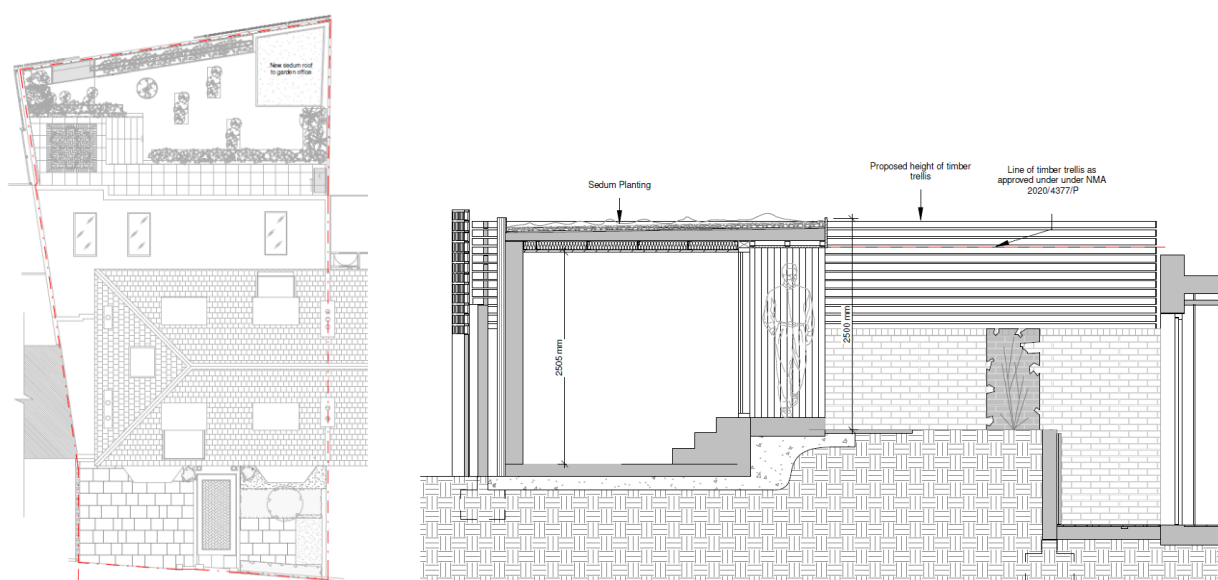
Proposed development

The proposed development is for the erection of a self-standing garden office in the rear garden of the ground floor flat. It is located in the southern corner of the rear garden and will follow the site boundary.

The office is modestly sized, being between 2m and 2.6m deep and 2.5m tall. This is only 300mm above the height of the approved garden trellis, which is proposed to be increased to match. It will be constructed with timber cladding and timber framed glazing. The roof will incorporate sedum planting, which benefits urban greening and run off rates.



Proposed plan of office and front elevation



Proposed site plan showing office location and section through the proposed office

Planning Framework

For the purpose of Section 38(6) of the Planning and Compulsory Purchase Act, the development plan comprises the London Plan (2016) and Camden Local Plan (2017). By the time this application is validated, it is anticipated that the new London Plan will be adopted (due 03 March) which will supersede the existing London Plan. The policies within this Plan can therefore be given full weight, but are not directly applicable to this application due to its small scale.

The South Hill Park Conservation Area Statement and the Design SPD are relevant material considerations.

Planning considerations

The main considerations are the design of the development and its acceptability in design and heritage terms, as well as the potential impact on neighbouring amenity.

Design and heritage

Policy D1 of the Local Plan seeks to secure high quality design in development, requiring it to respect local context and character. Policy D2 of the Local Plan seeks to preserve and where appropriate take opportunities to enhance the heritage environment of Camden.

The South Hill Park Gardens SPD also sets out development policy, though none directly relate to the proposed development. Of most relevance is SHP24, which seeks to ensure that all new development has a high standard of external space design that respects the character and appearance of the Conservation Area.

The proposed development is located in the rear garden on the ground floor flat and would therefore not be visible in any public views from within the Conservation Area. It would only be visible in private views from neighbouring windows. However, the rear of South Hill Park Gardens exhibits a large number and variety of rear outbuildings, which therefore forms part of the established character seen in these private views. The proposed outbuilding would therefore respond to its context and not look out of place. Indeed, the proposed outbuilding will immediately abut a gazebo in the rear garden of no.21 South Hill Park Gardens.



Aerial view of South Hill Park Gardens, showing some visible outbuildings (Source: Google Maps)



Aerial view of Parliament Hill and South Hill Park Gardens (Source: Bing Maps)



Aerial view of Parliament Hill and South Hill Park Gardens (Source: Bing Maps)

The detailed design of the extension is contemporary but retains a distinct garden character, utilising timber cladding, timber framed glazing and a planted sedum roof. This will help the outbuilding to embed into its garden context, appearing subtle and appropriate. The sedum roof will also benefit run-off rates and contribute to retain the urban greening benefit of the garden. The outbuilding is small in both height and depth and would extend marginally above the trellis fencing that is approved under the most recent NMA (ref: 2020/4377/P).

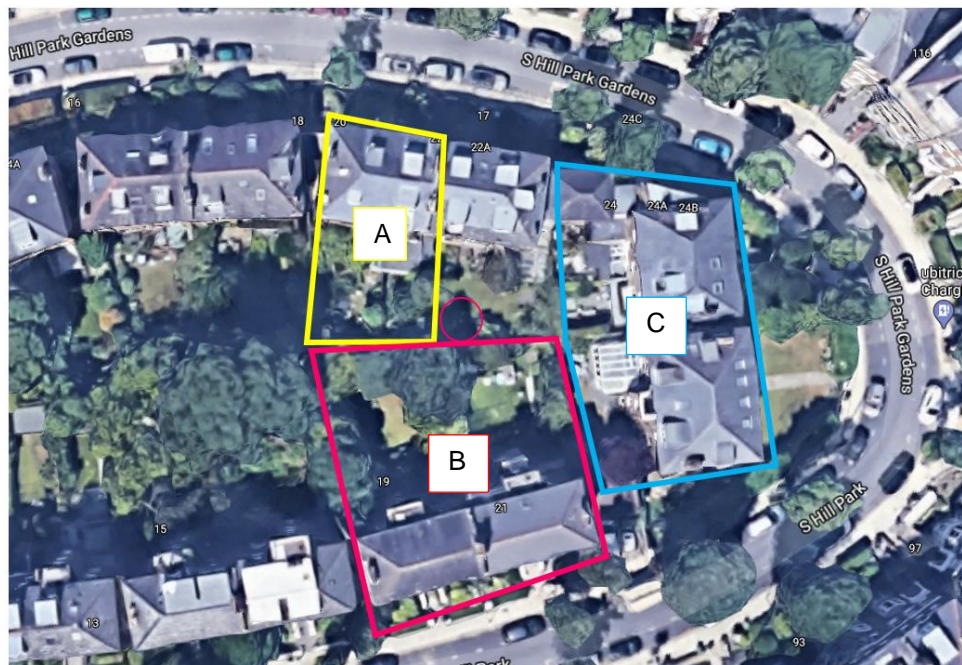
Overall, it is considered that the outbuilding responds to the local context and is of an appropriate design. It reflects the character of the area and preserves its appearance, appearing as a high quality, sensitively designed outbuilding. The development therefore accords with Policy D1 and Policy D2 of the Local Plan, as well as policy SHP24 and guidance within the South Hill Park Gardens SPD.

Amenity

Policy A1 of the Local Plan seeks to manage the impact of development, which requires an assessment of visual privacy, outlook, sunlight, daylight and overshadowing, as well as the potential impact of noise and artificial lighting.

In this instance, the main sensitive neighbours are other flats within the building, the neighbour to the south (**Group A:** No.20 South Hill Park Gardens), those immediately to the rear of the property (**Group B:** No's 19

and No.21 South Hill Park Gardens), those to the north (**Group C:** No's. 24, 24A, 24b, 25 and No.23 South Hill Park Gardens). These are shown on the map below.



Aerial view of the site showing Group A, B and C

Other flats within the building

These flats are located at first floor and above. The ground floor outbuilding will therefore clearly not impact any light or outlook to these flats. Any overlooking of the office from these flats would be limited and no different to if it were retained in garden use. Any views from the office into the first floor windows and above would be extremely oblique and limited due to the height differences. With regard to light and noise pollution, the office is small and therefore not likely to be used in a way that could lead to significant light or noise disturbance.

Group A

The proposed outbuilding will be located at the rear of the garden on this neighbouring boundary. However, it will only be 2.5m in height and will therefore sit at a height just 300mm above the approved trellis fencing. The trellis is proposed to be marginally increased in height to match this, so there will be no appreciable difference to the neighbouring occupier. The outbuilding is located to the north of this garden and will therefore not cause any overshadowing. There are also no windows facing it, so there will be no privacy or overlooking issues. There would also be no light pollution or noise disturbance due to the location of windows.

Group B

The property is screened from No.19 by a large mature tree and this property also does not have any windows directly overlooking the application site, which is only visible in limited and oblique views. No.21 has a deep garden with a gazebo at the end of it. The proposed outbuilding would be at a similar height to this gazebo. Due to the distance away and limited scale and height, the proposed outbuilding will clearly not impact this properties outlook or light. There are also no windows that could cause overlooking, light or noise disturbance.

Group C

The properties are some 18m away from the proposed outbuilding. The windows proposed on the elevation are very small and would be looking at the boundary wall, which is taller than the height of the windows. There would therefore be no impact on privacy. Similarly, due to the distance away and limited height, there would be no impact on outlook sunlight or daylight. Given the very small and limited nature of the proposed office building, it would not cause any notable light or noise pollution to the detriment of these occupiers.

Overall, it is therefore considered that the development would demonstrably preserve the amenity of all neighbours, in accordance with Policy A1 of the Local Plan.

Conclusion

In summary, the development proposes a sensitively designed rear outbuilding to provide a small work-from-home office for the ground floor flat. Given the current Covid-19 crisis and future uncertainty, this will offer essential space for the efficient working and wellbeing of the occupant. It has been demonstrated that the area is characterised by similar, small scale outbuildings in the rear garden and that due to its location and limited scale, it would not cause any harm to neighbouring properties.

As such, it is considered that the development accords with the Development Plan for the area, and it is respectfully requested that planning permission is granted accordingly.

I trust the above is clear but do not hesitate to contact me should you wish to discuss further.

Yours sincerely

A handwritten signature in grey ink, appearing to read "Savills" or "Emiliós Tsavéllas", written in a cursive, flowing style.

Emiliós Tsavéllas
Savills Planning