



Smart's Place

**Application for Discharge of
Conditions
Ref: 2019/1420/P**

Prepared by
David Kohn Architects

On behalf of
Crispin Kelly

Rev. * 17.02.21

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For any further information
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Summary

This application is for the discharge of pre commencement conditions relating to approval:

Ref: 2019/1420/P

The conditions our client wishes to discharge are:

Condition 3: Facing Materials;

Condition 8: Landscape.

Application ref: 2019/1420/P
Contact: Kate Henry
Tel: 020 7974 3794
Date: 10 March 2020

David Kohn Architects
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125-133 Camden High Street
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United Kingdom



Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk/planning

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted Subject to a Section 106 Legal Agreement

Address:
8 Smart's Place
London
WC2B 5LW

Proposal:

Erection of 3 storey roof extension to create 1x 3-bed self-contained flat with roof garden; installation of replacement plant machinery for existing four-storey office building; alterations to existing building
Drawing Nos: 221-ZZ-PL11-01; 221-ZZ-PL01-01; 221-ZZ-PL01-02; 221-ZZ-PL02-01; 221-ZZ-PL02-02; 221-ZZ-PL02-03; 221-ZZ-PL02-04; 221-ZZ-PL02-05; 221-ZZ-PL02-06; 221-ZZ-PL04-01; 221-ZZ-PL04-02; 221-ZZ-PL05-02; 221-ZZ-PL05-03; 221-ZZ-PL11-02; 221-EW-PL12-01; 221-EW-PL12-02; 221-EW-PL12-03; 221-EW-PL12-04; 221-EW-PL12-05; 221-XX-PL12-06 Rev B; 221-XX-PL12-07 Rev B; 221-XX-PL12-08 Rev B; 221-XX-PL12-10 Rev B; 221-XX-PL14-01 Rev B; 221-XX-PL14-02 Rev B; 221-XX-PL15-02 Rev C; 221-XX-PL15-03 Rev B; Design & Access Statement (dated 15/03/2019); Planning Statement Incorporating Heritage Assessment (dated March 2019); Noise Impact Assessment (dated 05/03/2019); Daylight/Sunlight Report (dated February 2019); Energy and Sustainability Strategy Assessment Report (Ref: J3386-M-RP-0001); Planning Visual Updates.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 221-ZZ-PL11-01; 221-ZZ-PL01-01; 221-ZZ-PL01-02; 221-ZZ-PL02-01; 221-ZZ-PL02-02; 221-ZZ-PL02-03; 221-ZZ-PL02-04; 221-ZZ-PL02-05; 221-ZZ-PL02-06; 221-ZZ-PL04-01; 221-ZZ-PL04-02; 221-ZZ-PL05-02; 221-ZZ-PL05-03; 221-ZZ-PL11-02; 221-EW-PL12-01; 221-EW-PL12-02; 221-EW-PL12-03; 221-EW-PL12-04; 221-EW-PL12-05; 221-XX-PL12-06 Rev B; 221-XX-PL12-07 Rev B; 221-XX-PL12-08 Rev B; 221-XX-PL12-10 Rev B; 221-XX-PL14-01 Rev B; 221-XX-PL14-02 Rev B; 221-XX-PL15-02 Rev C; 221-XX-PL15-03 Rev B; Design & Access Statement (dated 15/03/2019); Planning Statement Incorporating Heritage Assessment (dated March 2019); Noise Impact Assessment (dated 05/03/2019); Daylight/Sunlight Report (dated February 2019); Energy and Sustainability Strategy Assessment Report (Ref: J3386-M-RP-0001); Planning Visual Updates.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of Policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Before the development commences, details of secure and covered cycle storage area for 2x cycles shall be submitted to and approved by the local planning authority. The approved facility shall thereafter be provided in its entirety prior to the first occupation of any of the new units, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of Policy T1 of the London Borough of Camden Local Plan 2017.

- 5 Noise levels at a point 1 metre external to sensitive facades shall be at least 10dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the

plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 15dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of Policies G1, CC1, D1, A1 and A4 of the London Borough of Camden Local Plan 2017.

- 6 Before the use commences, machinery, plant or equipment and ducting at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of Policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 7 All non-Road mobile Machinery (any mobile machine, item of transportable industrial equipment, or vehicle - with or without bodywork) of net power between 37kW and 560kW used on the site for the entirety of the [demolition and/construction] phase of the development hereby approved shall be required to meet Stage IIIB of EU Directive 97/68/EC. The site shall be registered on the NRMM register for the [demolition and/construction] phase of the development.

Reason: To safeguard the amenities of the adjoining occupiers, the area generally and contribution of developments to the air quality of the borough in accordance with the requirements of policies G1, A1, CC1 and CC4 of the London Borough of Camden Local Plan 2017.

- 8 No development shall take place until full details of soft landscaping / planting for the roof terraces have been submitted to and approved by the local planning authority in writing.

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 9 All landscaping works shall be carried out in accordance with the approved landscape details prior to the occupation for the permitted use of the development. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 10 Prior to commencement of development details of a sustainable urban drainage system shall be submitted to and approved in writing by the local planning authority. Such system shall be based on a 1:100 year event with 40% provision for climate change, demonstrating at least 50% attenuation of all runoff. The system shall be implemented as part of the development and thereafter retained and maintained.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with Policies CC1, CC2, CC3 of the London Borough of Camden Local Plan 2017.

- 11 The development hereby approved shall achieve a maximum internal water use of 110litres/person/day. The dwelling/s shall not be occupied until the Building Regulation optional requirement has been complied with.

Reason: To ensure the development contributes to minimising the need for further water infrastructure in an area of water stress in accordance with Policies CC1, CC2, CC3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.
- 2 This proposal may be liable for the Mayor of London's Community Infrastructure Levy (CIL) and the Camden CIL. Both CILs are collected by Camden Council after a liable scheme has started, and could be subject to surcharges for failure to assume liability or submit a commencement notice PRIOR to commencement. We issue formal CIL liability notices setting out how much you may have to pay once a liable party has been established. CIL payments will be subject to indexation in line with construction costs index. You can visit our planning website at www.camden.gov.uk/cil for more information, including guidance on your liability, charges, how to pay and who to contact for more advice.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 4 This approval does not authorise the use of the public highway. Any

requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 5 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 6 If a revision to the postal address becomes necessary as a result of this development, application under Part 2 of the London Building Acts (Amendment) Act 1939 should be made to the Camden Contact Centre on Tel: 020 7974 4444 or Environment Department (Street Naming & Numbering) Camden Town Hall, Argyle Street, WC1H 8EQ.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

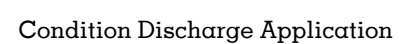
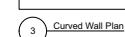
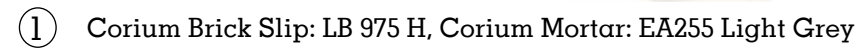
<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



Daniel Pope
Chief Planning Officer

Physical samples of materials provided on site as per condition

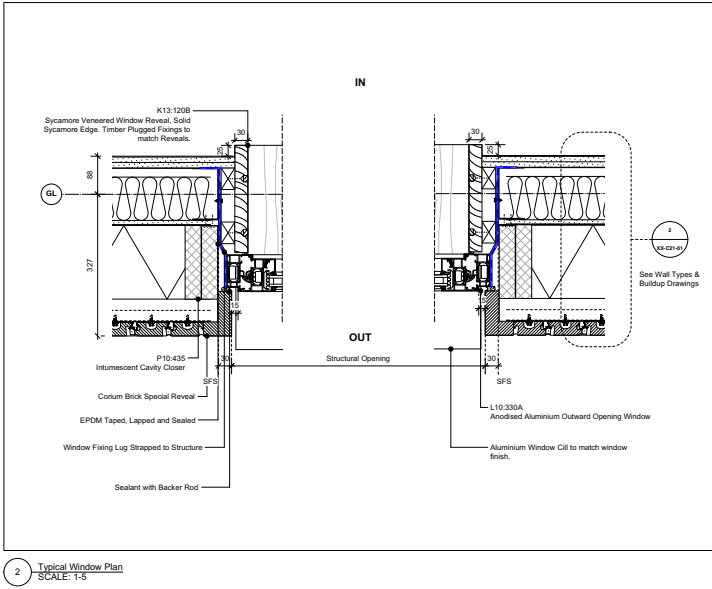


Condition 3 - Facing Materials

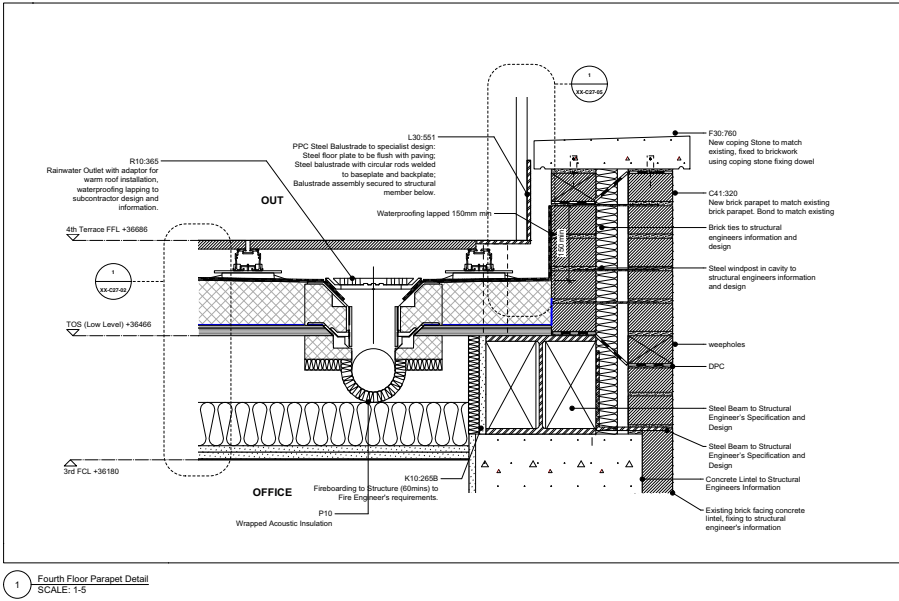
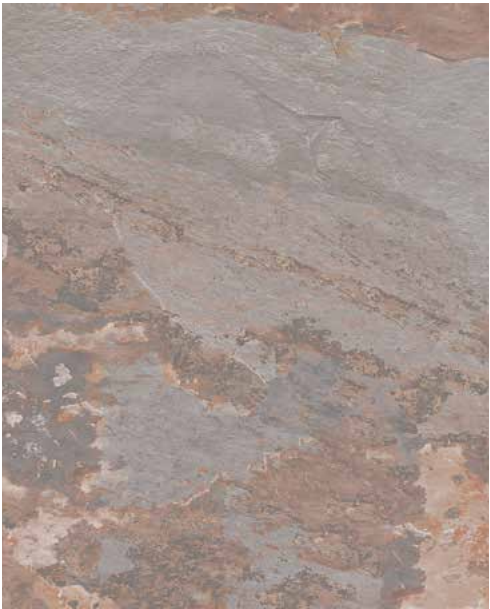
Physical samples of materials provided on site as per condition



Image not indicative of colour



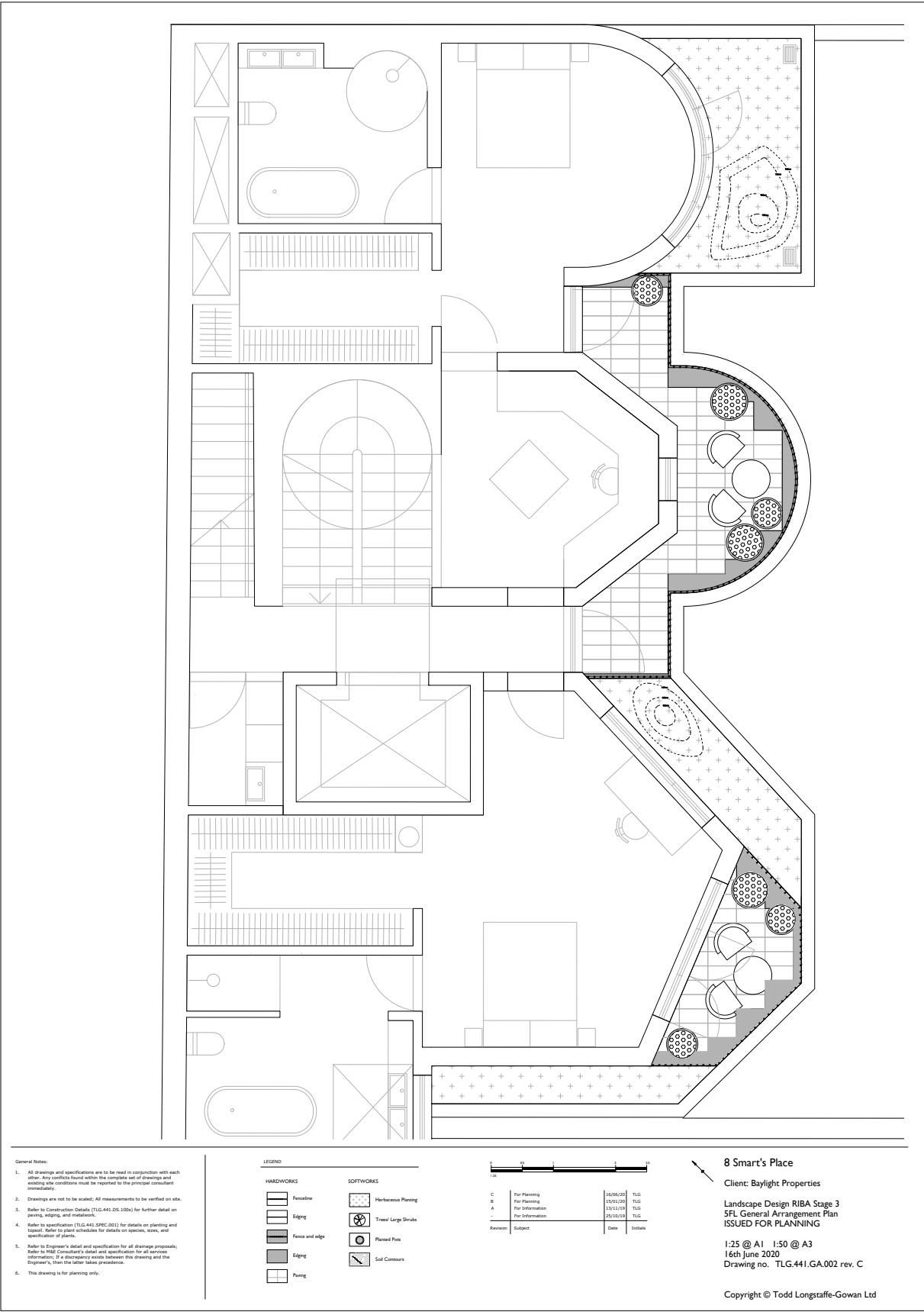
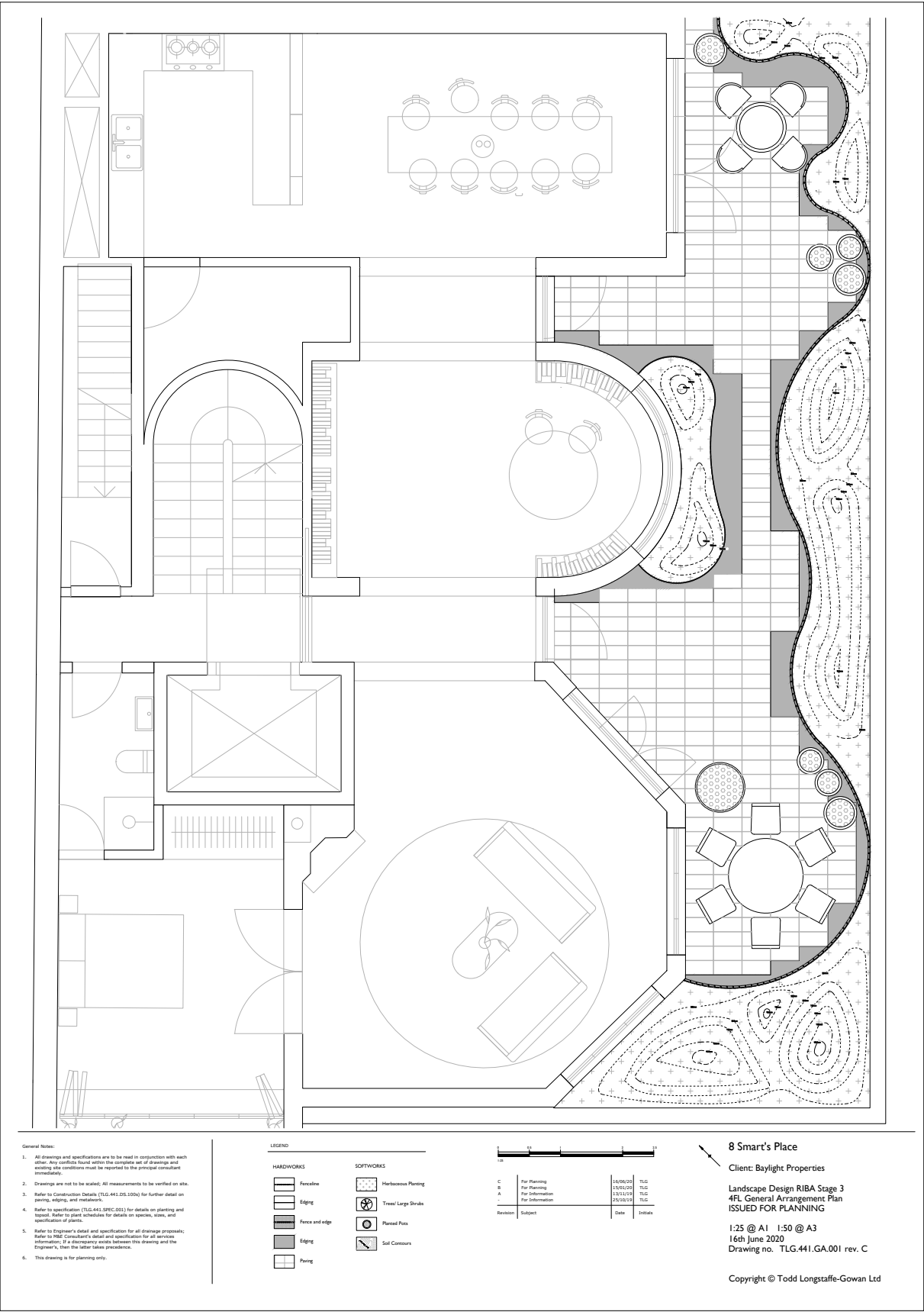
- ② Anodised Aluminium Windows & Terrace Doors: Windows Schueco, AWS 75.SI+; Doors Schueco, AD.UP 75; Finish United Anodisers, Anolok™ II Pale Blue-Grey B711.



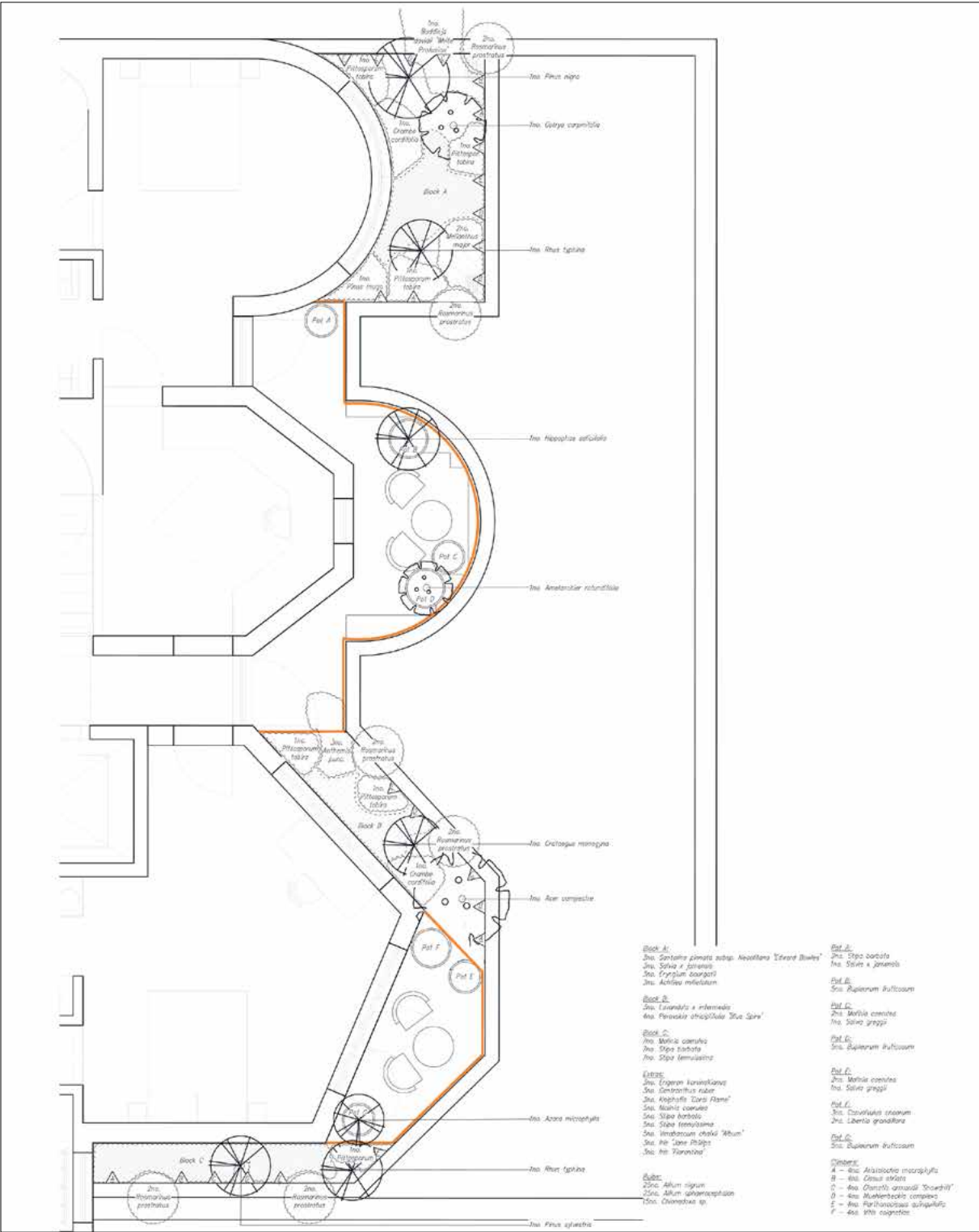
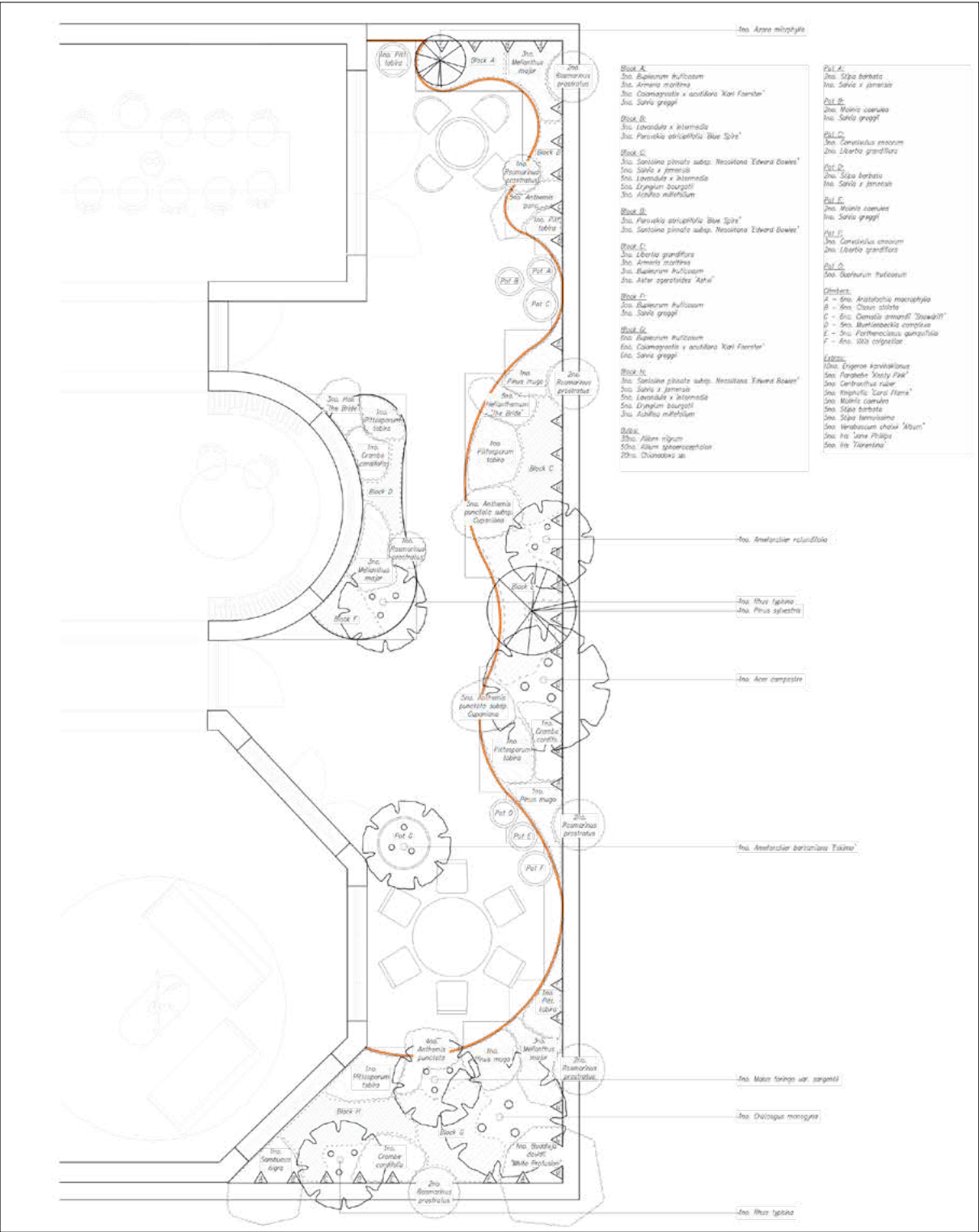
- ③ Apartment Terrace Pavers: Kinley, Navarra Slate



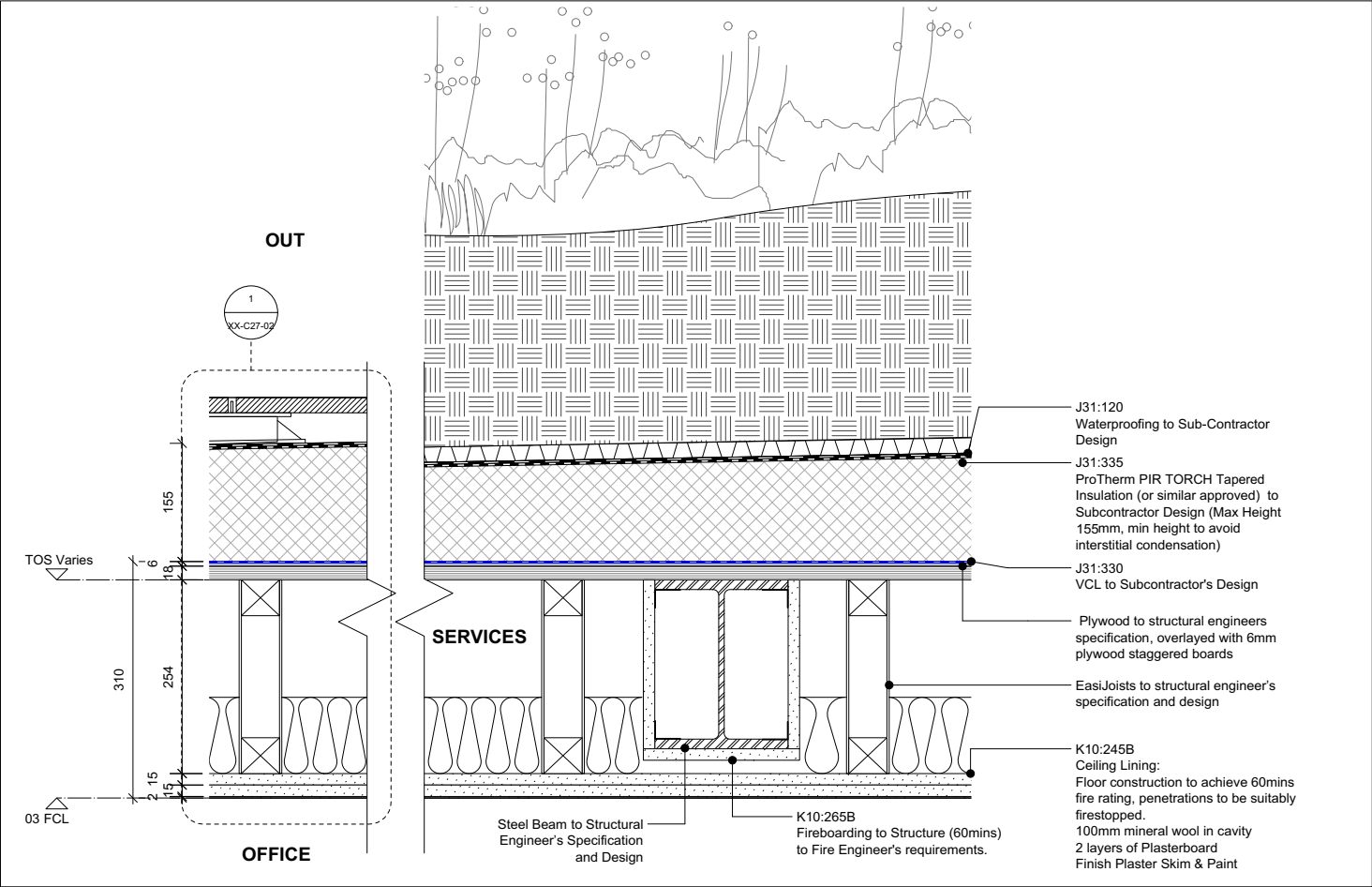
Condition 8 - Landscaping



Condition 8 - Landscaping

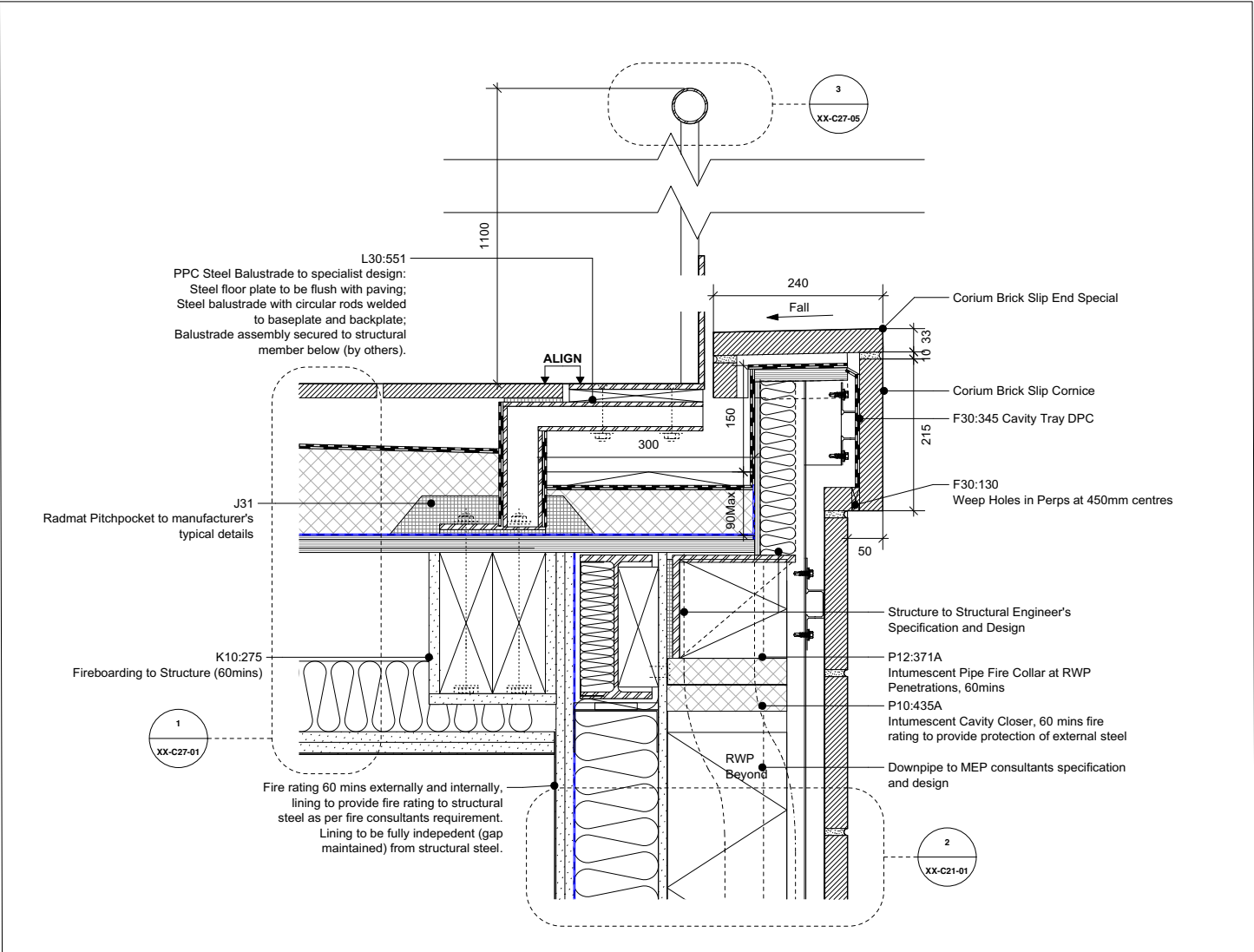


Condition 8 - Landscaping



3 Floor Buildup
SCALE: 1-5

Type F10	4th Floor Roof Deck, landscaping
U-Value	0.18W/m²K
Fire Rating	60 Mins to fire consultants requirements



1 Parapet Section with balustrade
SCALE: 1-5