



General notes: 1. All dimensions are in millimeters unless noted otherwise. 2. All dimensions shall be verified on site before

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Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which carguing scope of the Act which required adjoining property owners to be served with a statutory notice.

Notice. C.D.M. Regulations 2007: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the construction (Design and Management) Regulations 1994. If advice is required please do not hesitate to

If advice is required please do not hesitate to contact Square Feet Architects. KEY

# black lines existing

red lines new

green lines to be demolished



2000

4000 mm

 $\bigwedge$ 

3000

revision:

1000

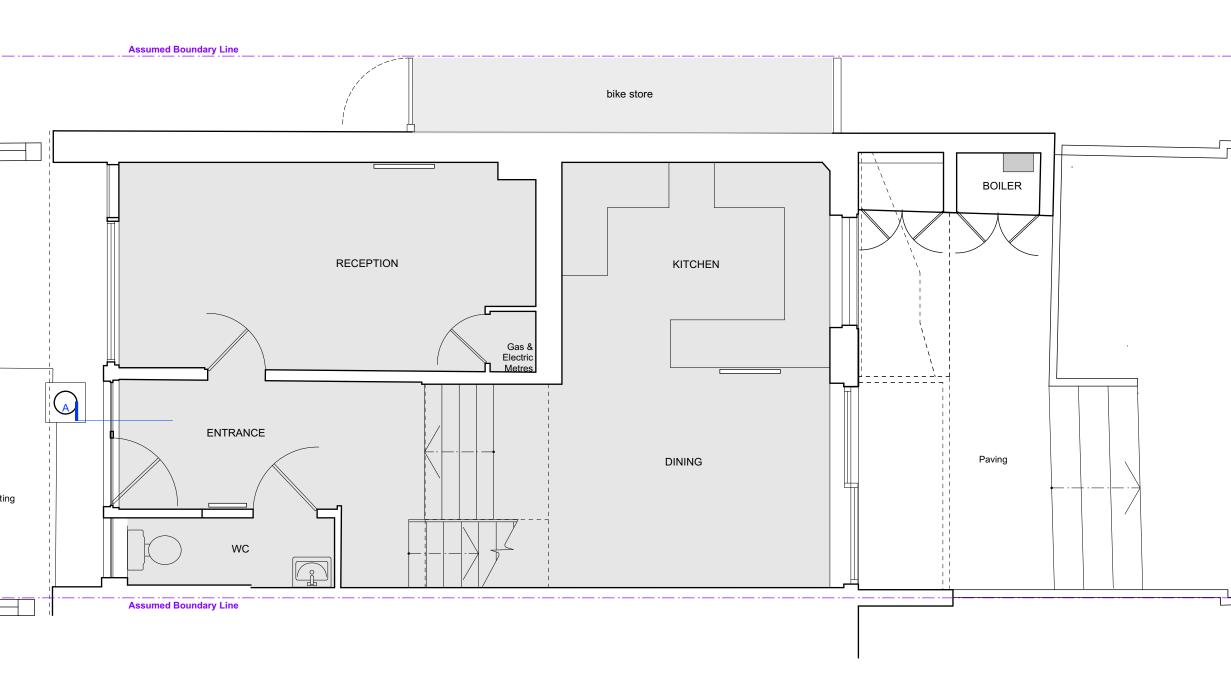
# SQUARE FEET ARCHITECTS

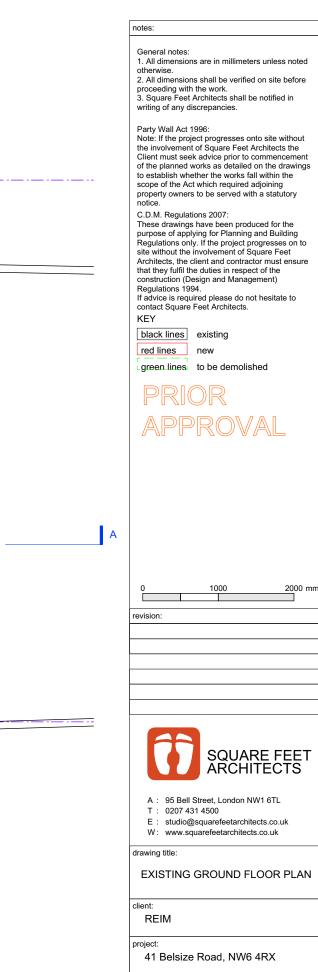
- A: 95 Bell Street, London NW1 6TL
- T : 0207 431 4500
- E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk

drawing title:

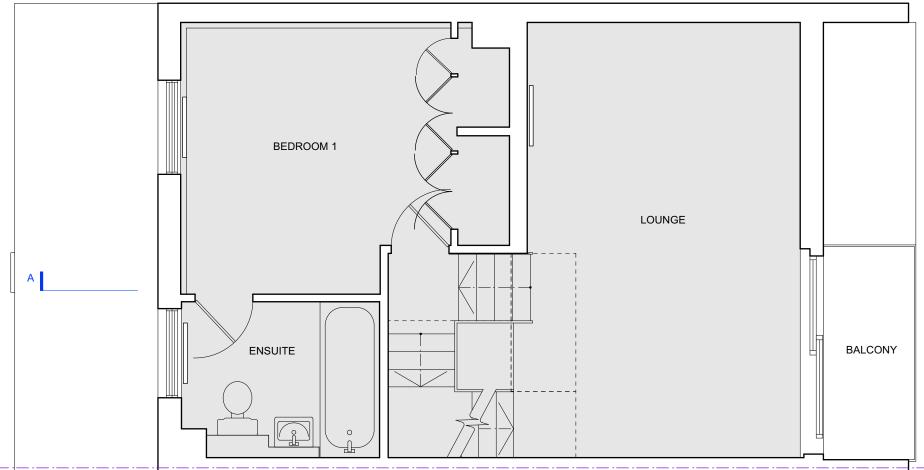
#### EXISTING SITE PLAN

#### client: REIM project: 41 Belsize Road, NW6 4RX date: scale: 1:100@A3 January 2021 drawing number: revision: 2006-L-010

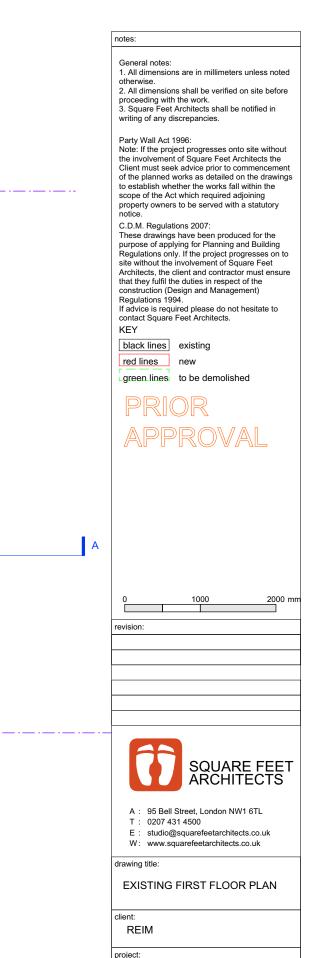




date:	scale:						
January 2021	1:50@A3						
drawing number: 2006-L-011	revision:						

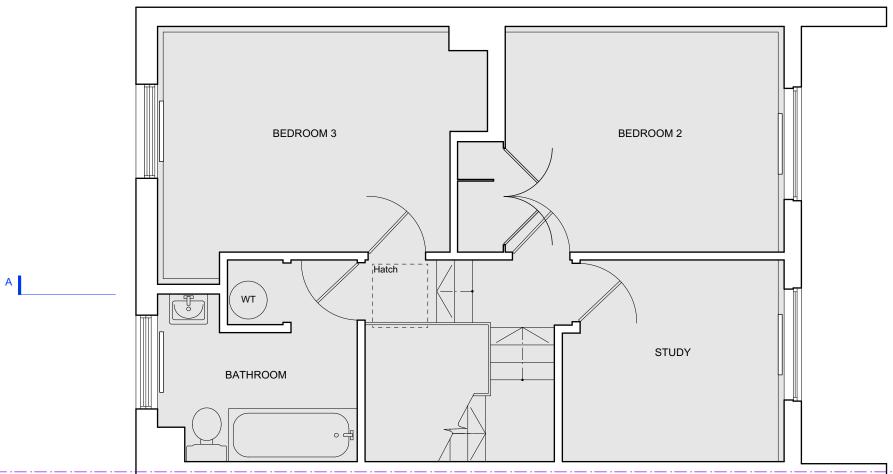


Assumed Boundary Line

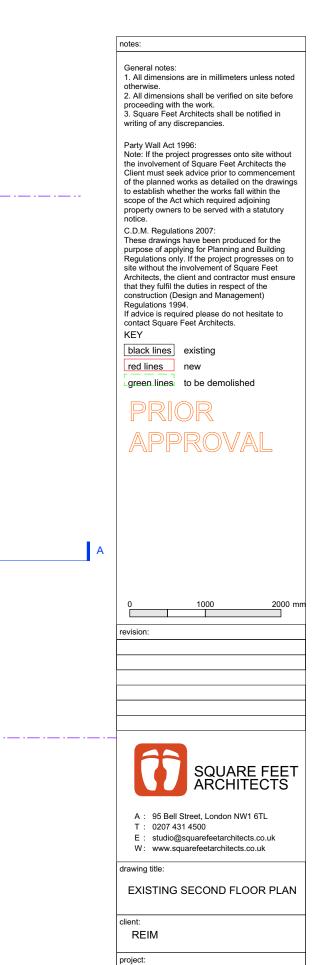


41 Belsize Road, NW6 4RX

date: scale: January 2021 1:50@A3 drawing number: revision: 2006-L-012



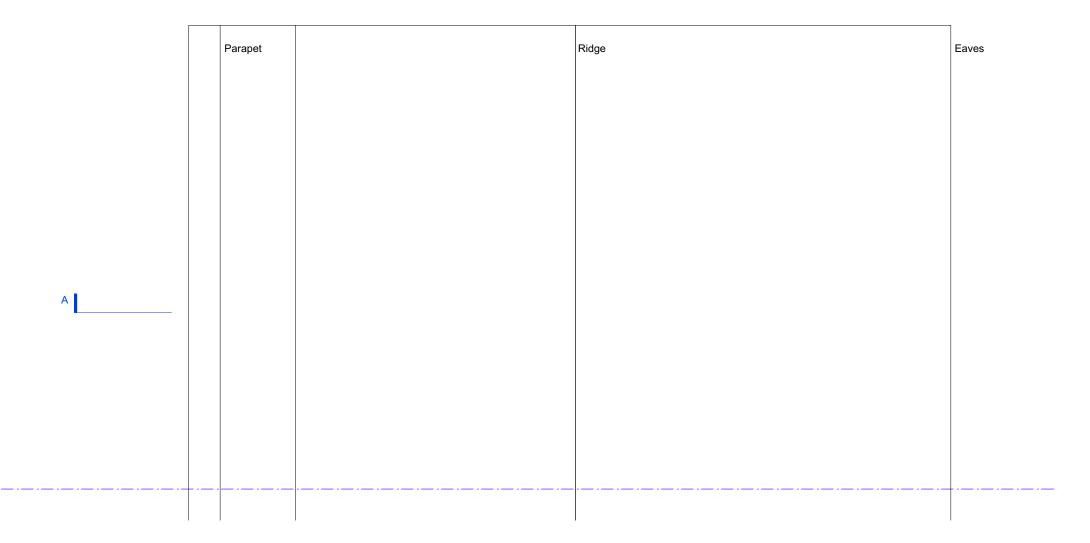
Assumed Boundary Line



41 Belsize Road, NW6 4RX

date: scale: January 2021 1:50@A3 drawing number: revision: 2006-L-013





### notes:

#### General notes:

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KEY

black lines existing

red lines new

green lines to be demolished



1000

2000 m

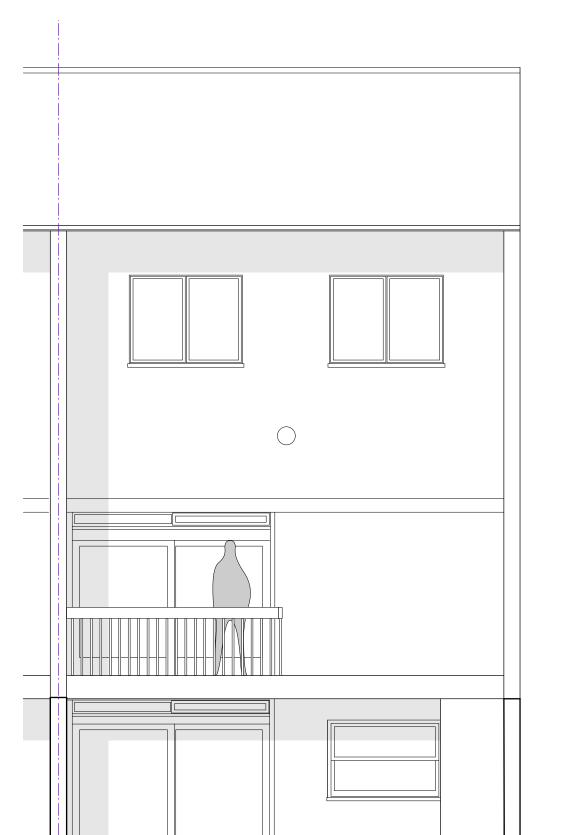
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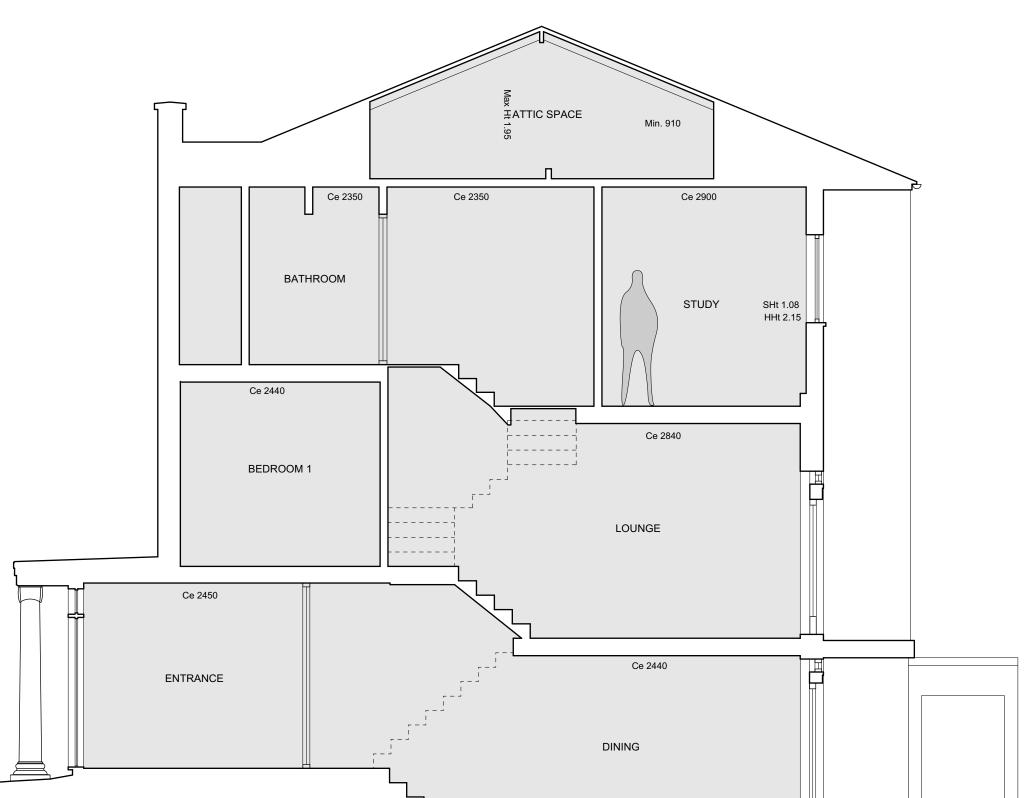


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A: 95 Bell Street, London NW1 6TL T: 02074314500 E: studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk drawing title: EXISTING FRONT ELEVATION client: REIM project: 41 Belsize Road, NW6 4RX date: January 2021 scale: January 2021 revision: drawing number: 2006-L-016 revision:	General notes:     1. All dimensions are in millimeters unless noted otherwise.     2. All dimensions shall be verified on site before proceeding with the work.     3. Square Feel Architects shall be notified in writing of any discrepancies.     Party Wall Act 1996:     Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.     C.D.M. Regulations 2007:     These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects.     Architects, the client and contractor must ensure that they full the duties in respect of the construction (Design and Management).     Regulations 1994.     If advice is required please do not hestate to contact Square Feet Architects.     KEY     black lines   new     green lines   to be demolished     PRIOR   new     GRAND   to be demolished

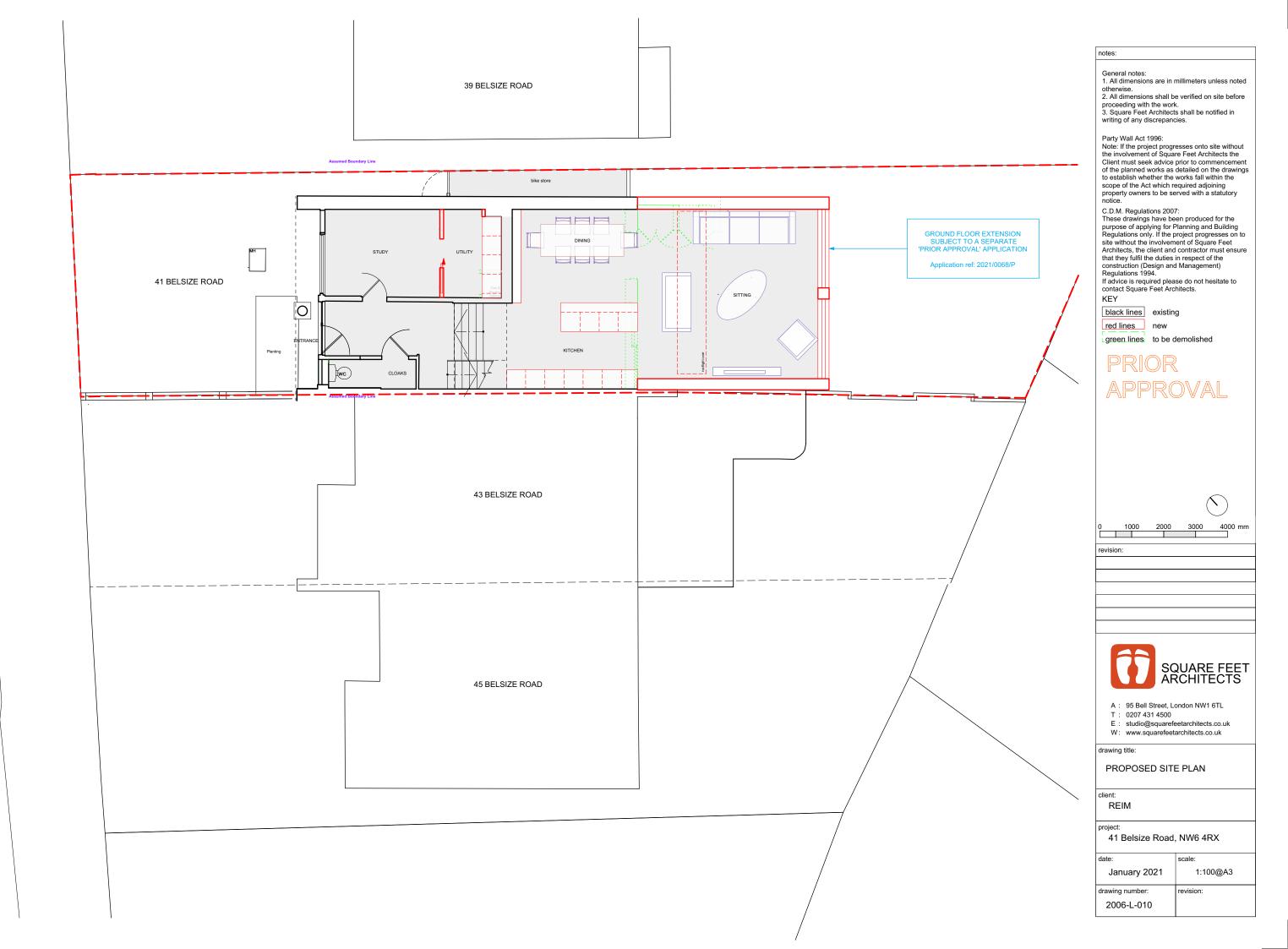


REIM project: 41 Belsize Road, NW6 4RX date: January 2021 drawing number: 2006-L-017 revision:	A : 95 Bell Street, London NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk drawing title: EXISTING REAR ELEVATION client:	SQUARE FEET ARCHITECTS	revision:	General notes:     1. All dimensions are in millimeters unless noted     2. All dimensions shall be verified on site before proceeding with the work.     3. Square Feet Architects shall be notified in writing of any discrepancies.     Party Wall Act 1996:     Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.     C.D.M. Regulations 2007:     These drawings have been produced for the progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they full the duties in respect of the construction (Design and Management) Regulations 1994.     If advice is required please do not hesitate to contact Square Feet Architects.     KEY     black lines   new     green lines   to be demolished     APPRORK   APPRORAL
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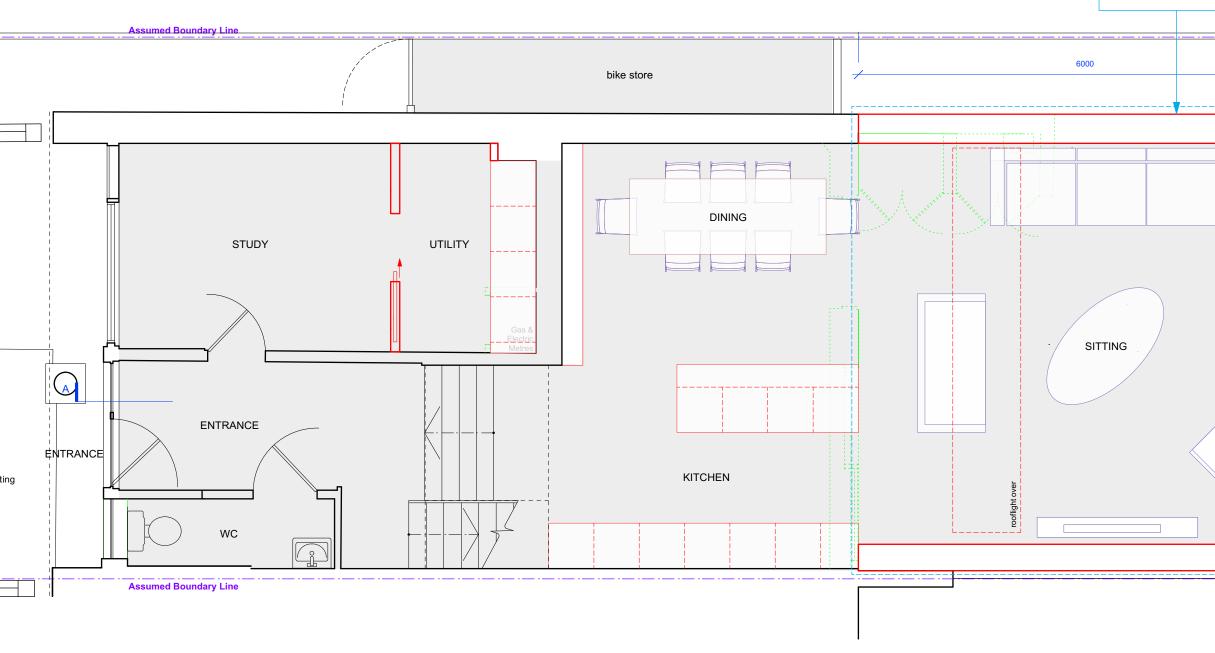


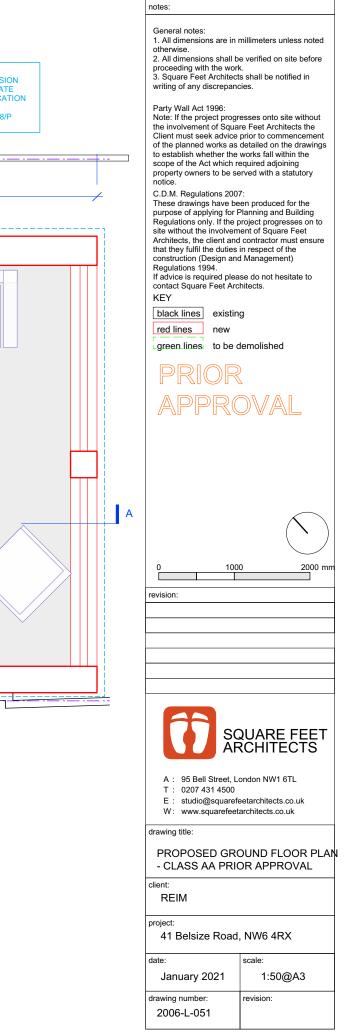


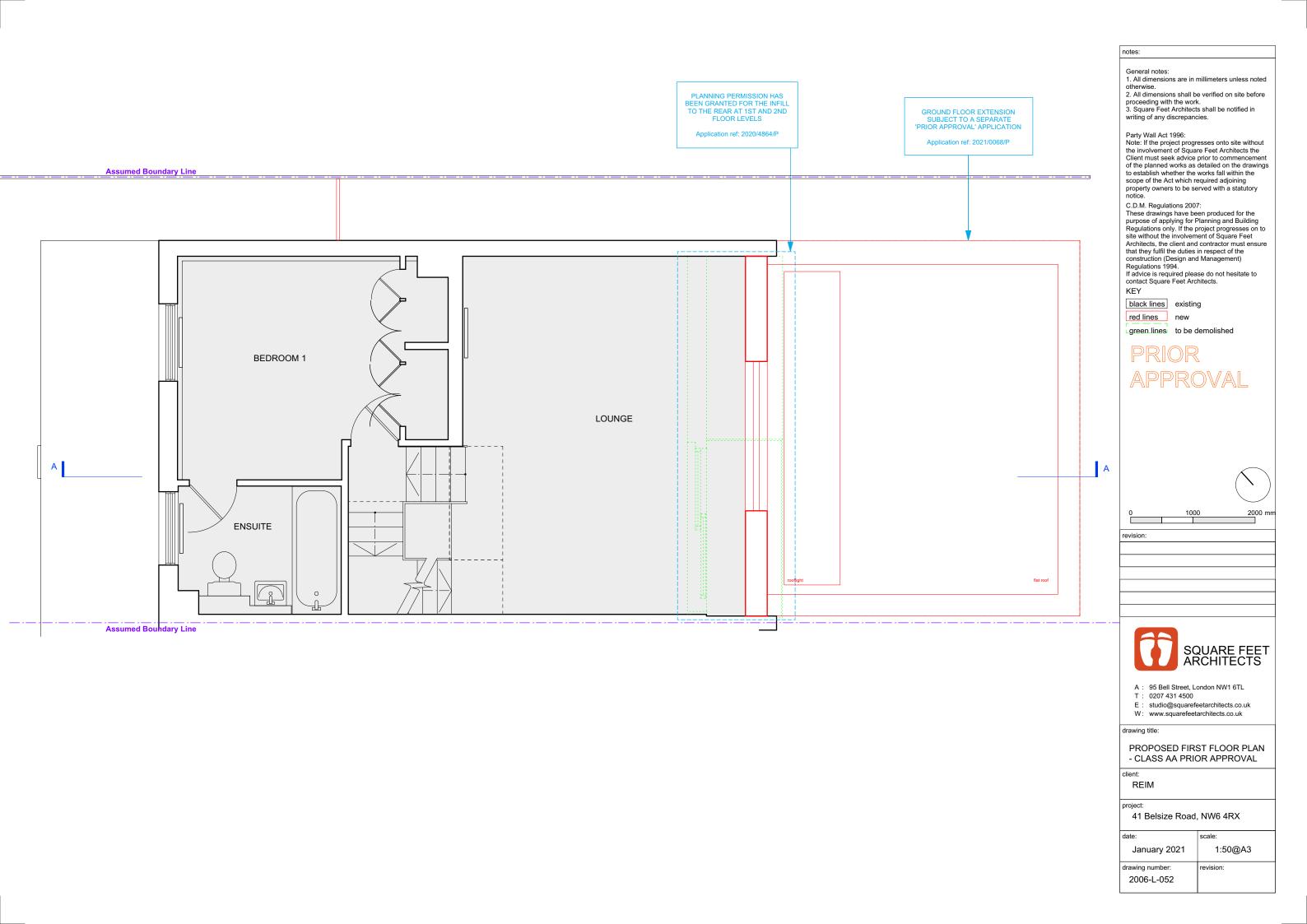


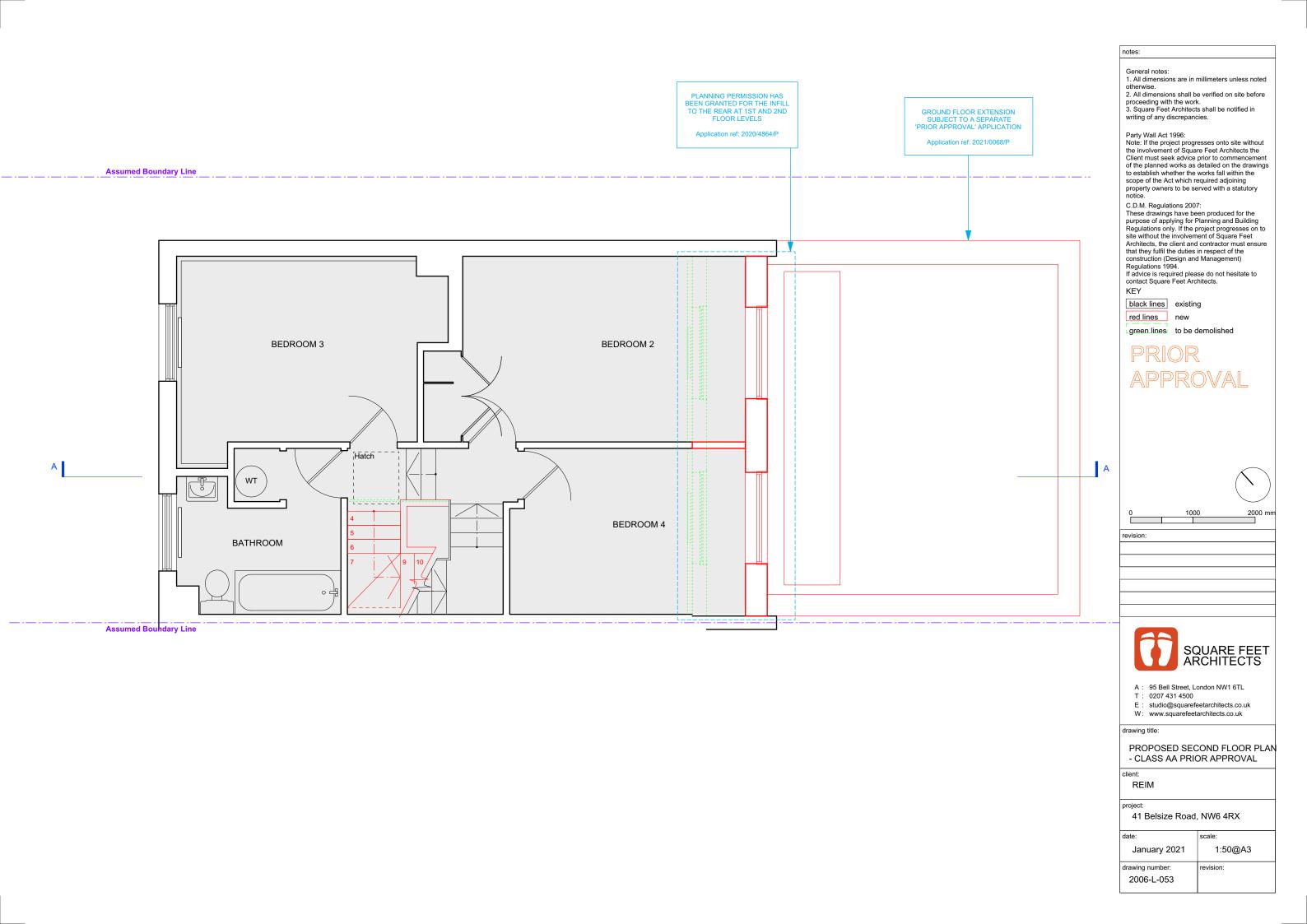
GROUND FLOOR EXTENSION SUBJECT TO A SEPARATE 'PRIOR APPROVAL' APPLICATION

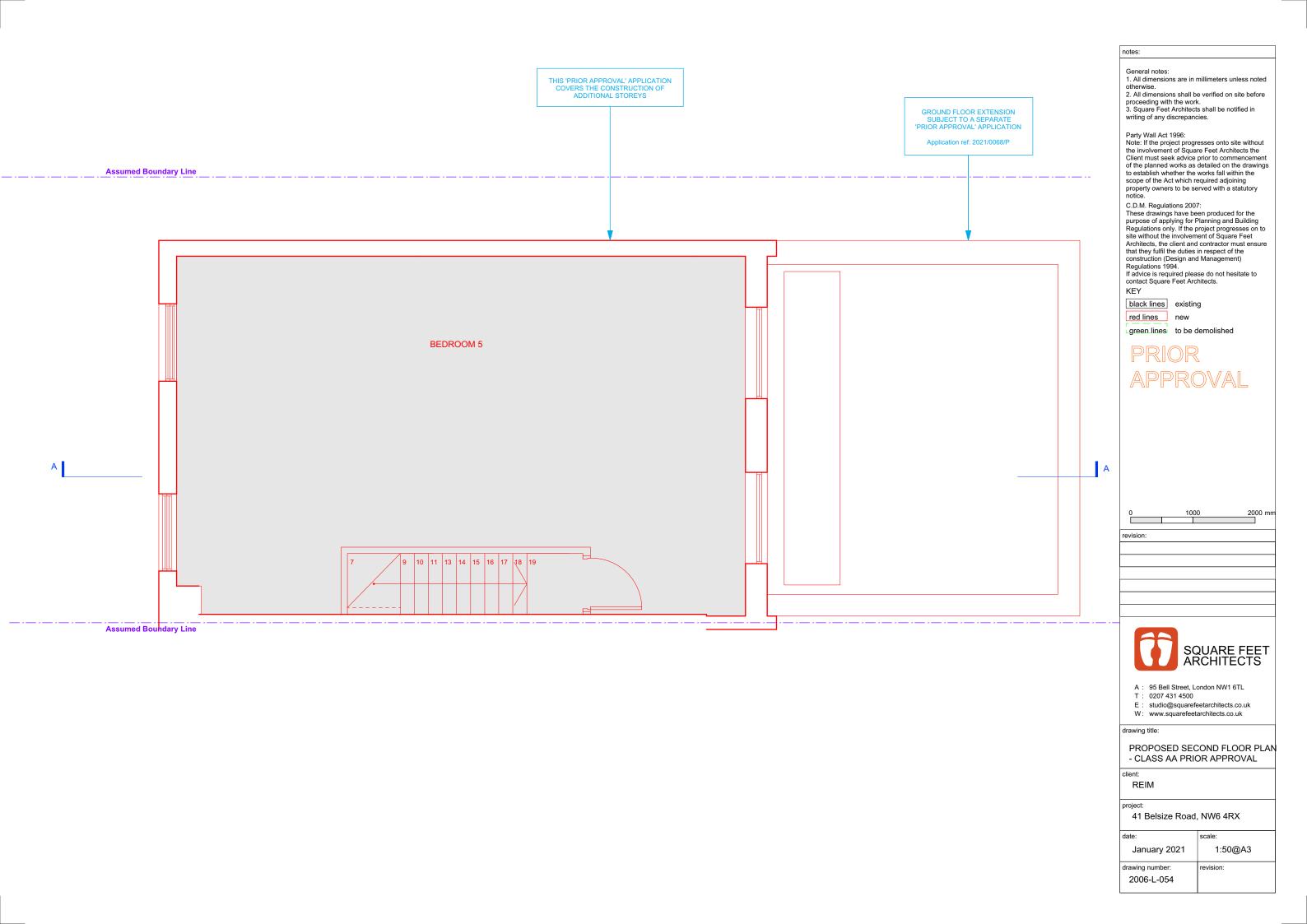
Application ref: 2021/0068/P

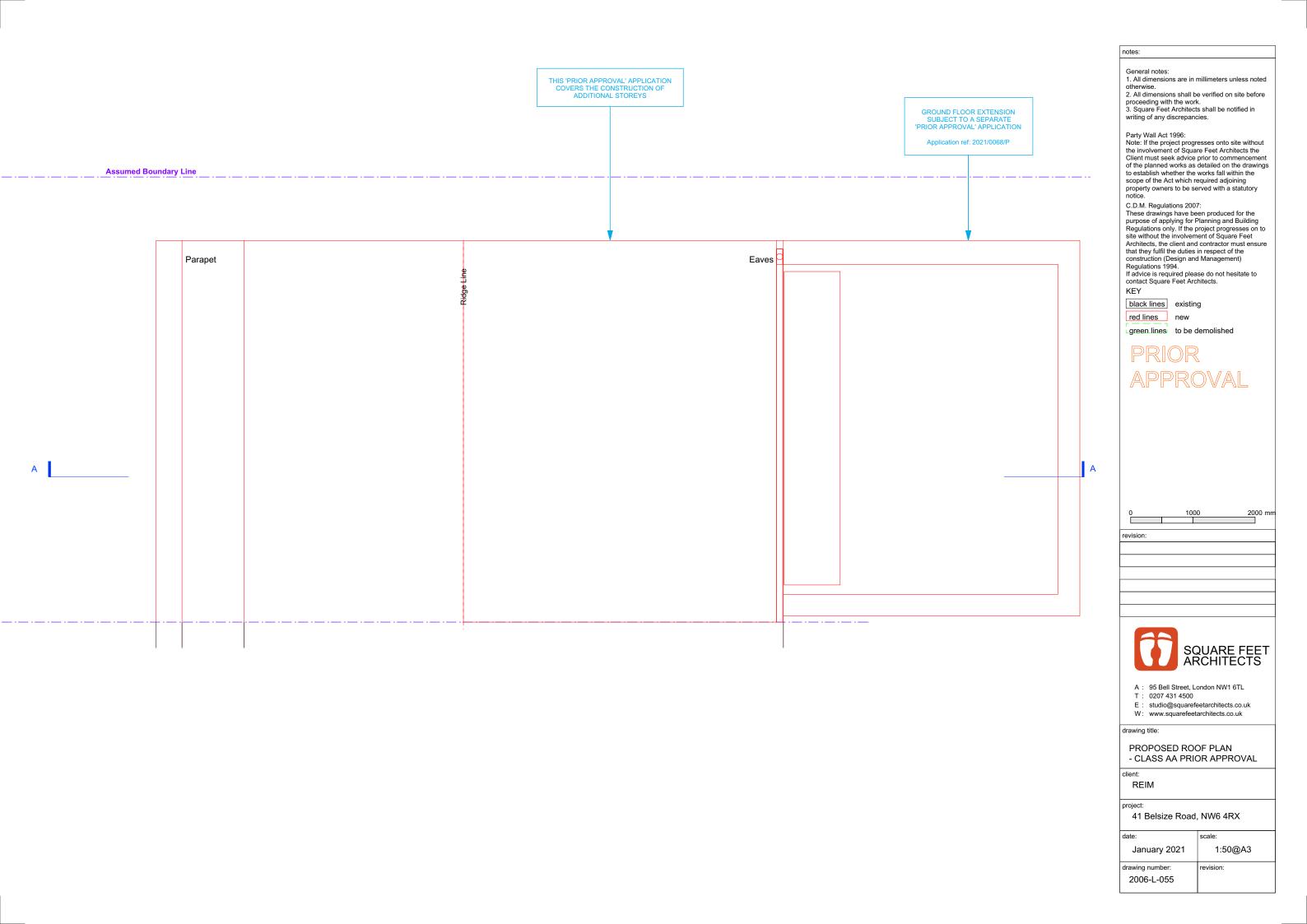






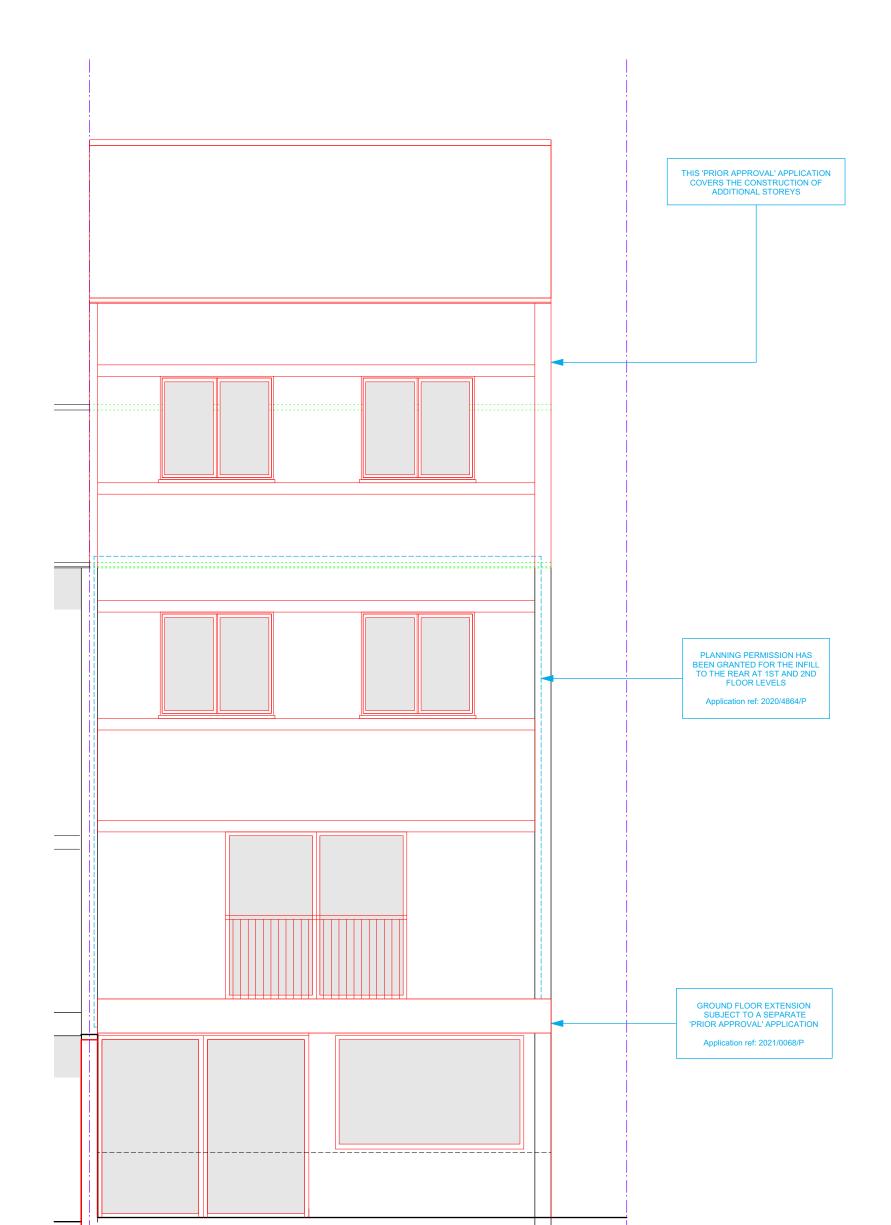




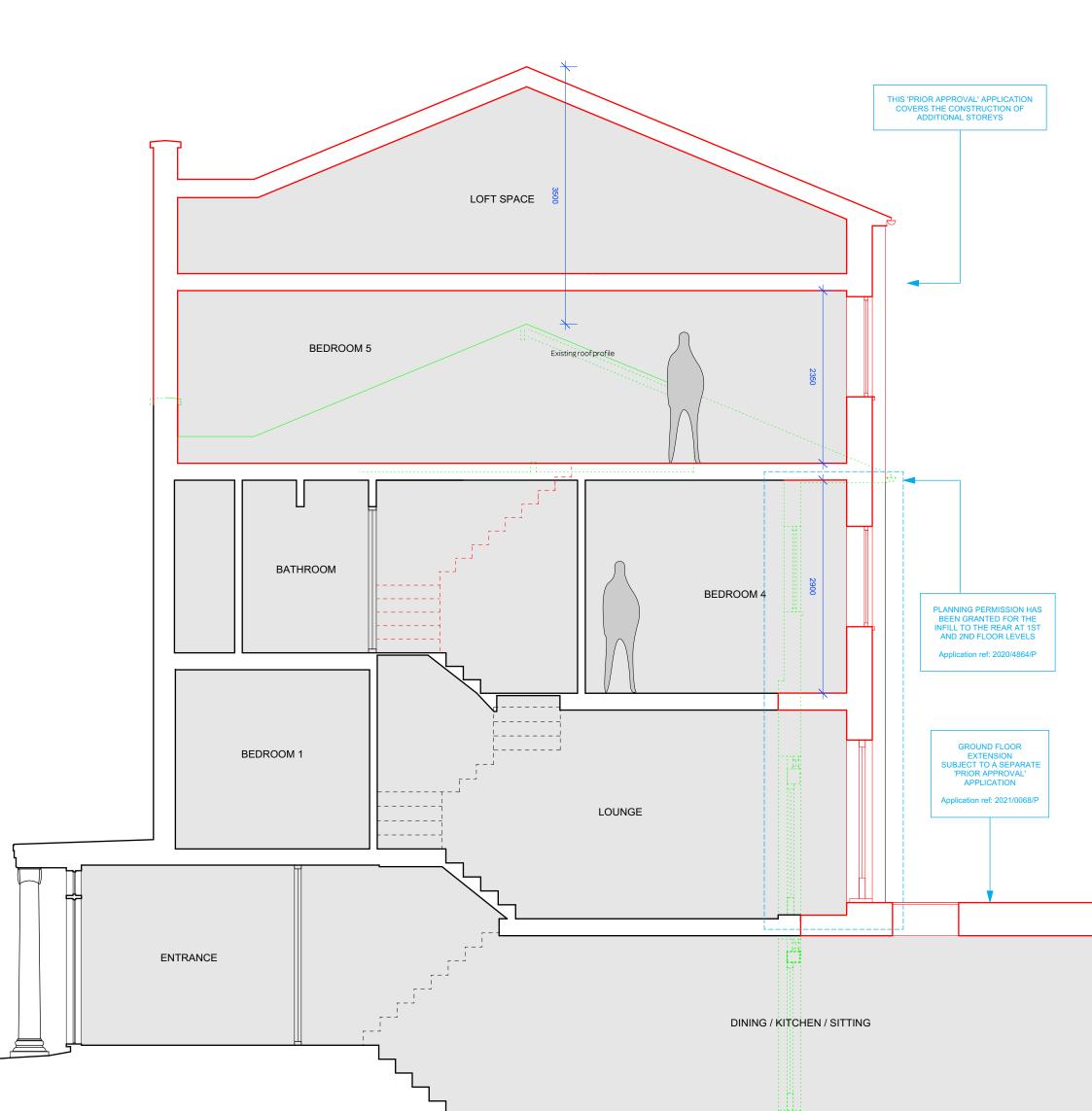




drawing title: PROPOSED FRONT ELEVATION - CLASS AA PRIOR APPROVAL client: revision: project: 41 Belsize Road, NW6 4RX date: January 2021 drawing number: 2006-L-056 revision:	A: 95 Bell Street, London NW1 6TL T: 0207 431 4500 E: studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk	revision:	Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fail within the scope of the Act which required adjoining property owners to be served with a statutory notice. C.D.M. Regulations 2007: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they full the duids in respect of the construction (Design and Management) Regulations 1994. If advice is required please do not hesitate to contact Square Feet Architects. KEY black lines red lines to be demolished APPRIOR APPROVAL	notes: General notes: 1. All dimensions are in millimeters unless noted otherwise. 2. All dimensions shall be verified on site before proceeding with the work. 3. Square Feet Architects shall be notified in writing of any discrepancies.



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drawing number: revision: 2006-L-058	date: scale: January 2021 1:50@A3	<sup>project</sup> 41 Belsize Road, NW6 4RX	REIM	PROPOSED SECTION AA - CLASS AA PRIOR APPROVAL	A : 95 Bell Street, London NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk	SQUARE FEET ARCHITECTS	0 1000 2000 mm revision:	PRIOR	black lines existing red lines new green lines to be demolished	These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulf the duties in respect of the construction (Design and Management) Regulations 1994. If advice is required please to not hesitate to contact Square Feet Architects. KEY	Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works ad detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statulory notice.	General notes: 1. All dimensions are in millimeters unless noted otherwise. 2. All dimensions shall be verified on site before proceeding with the work. 3. Square Feet Architects shall be notified in writing of any discrepancies.	notes: