

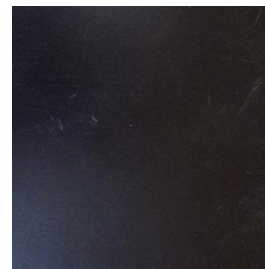
Material 01

Spec: Perforated metal folded facade
Supplier: ASME Engineering
Finish: Painted metal
Colour: Painted dark brown (RAL 8019)



Material 03

Spec: Double glazed, thermally broken, sliding doors
Supplier: Scheuco, ASE60 profile
Finish: Frame to be Aluminium Polyester Powder Coated, matte finish
Colour: RAL 8019
Details: Refer to schedule for details



Material 04

Spec: Traditional style metal balustrade
Supplier: ASME Engineering
Finish: Polyester Powder Coated, matte finish
Colour: Painted slate brown (RAL 8019)



Material 05

Spec: Precast Concrete Parapet Coping to match existing
Supplier: N/A
Finish: Painted, matte finish
Colour: painted to match all mouldings on front facade



Material 06

Spec: Existing brick cleaned of all paint and lightly sootwashed
Supplier: N/A
Finish: Light level of sootwash
Colour: N/A



Material 07

Spec: Original timber sash windows reinstated
Supplier: Bereco
Finish: Matte finish, painted timber
Colour: RAL 8028 'Terra Brown'
Details: Refer to schedule for details



Material 08

Spec: Original shopfront fascia to be reinstated
Supplier: N/A
Finish: Matte finish, painted timber
Colour: Painted off-black farrow and ball

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site, see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client/ the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Freshholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences.

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

Revisions		
No.	Description	Date
A	RAL colour confirmation	06.07.2020
B	Discharge of material conditions relating to application 2019/4362/P	03.09.2020
C	Clarification of material specification notes	06.01.2021

PLANNING

Note: Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

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Project Name: Farringdon Road
 Project Number: 1501
 Drawing Name
 Condition 4C - Material Specification - Front
 Drawing No
 P054
 Revision
 C
 Scale
 1:50 @ A1, 1:100 @ A3

