

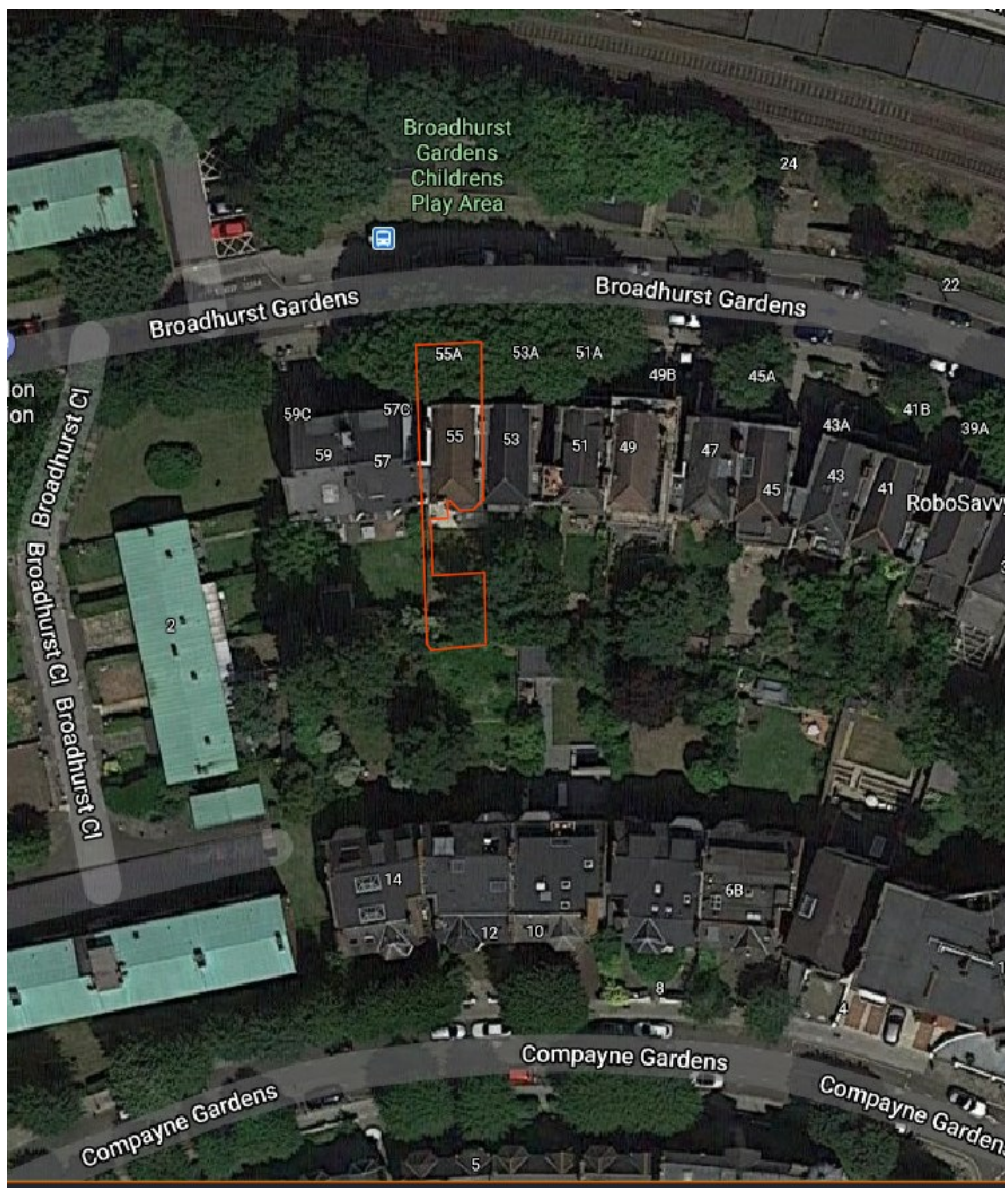
Design and Access Statement

55 Broadhurst Gardens, London NW6 3QT

Design and access statement in support of full planning application, December 2020



Image: Aerial Photograph of the site.



1. Introduction

This statement has been prepared by OSM Architects Limited and is intended to support the current Planning Application for proposed stair & associated minor changes to provide access to the rear garden at 55 Broadhurst Gardens.

The application proposes an external staircase accessible from the decking over the flat roof providing direct access to the rear garden for private amenity space. Kitchen window will be replaced by a door by lowering the existing cill to decking level over the flat roof

This document aims to convey how the opportunities presented by the site have been identified and maximised to produce a high quality, site specific design that will contribute positively to the character of the area whilst complying with the Borough's planning policies.

This design and access statement is to be read in conjunction with the planning application drawings and Heritage Statement prepared by Cogent Heritage.

2. The Site

55 Broadhurst Gardens is a mid-terrace, 4 storey building comprising self contained flats at each floor. Access to lower ground floor flat is from the lower west side of the property and the upper flats are accessible from the front of the building.

The property is similar to other properties in area.

The property is within the South Hampstead Conservation Area and is not locally listed.

3. Planning History

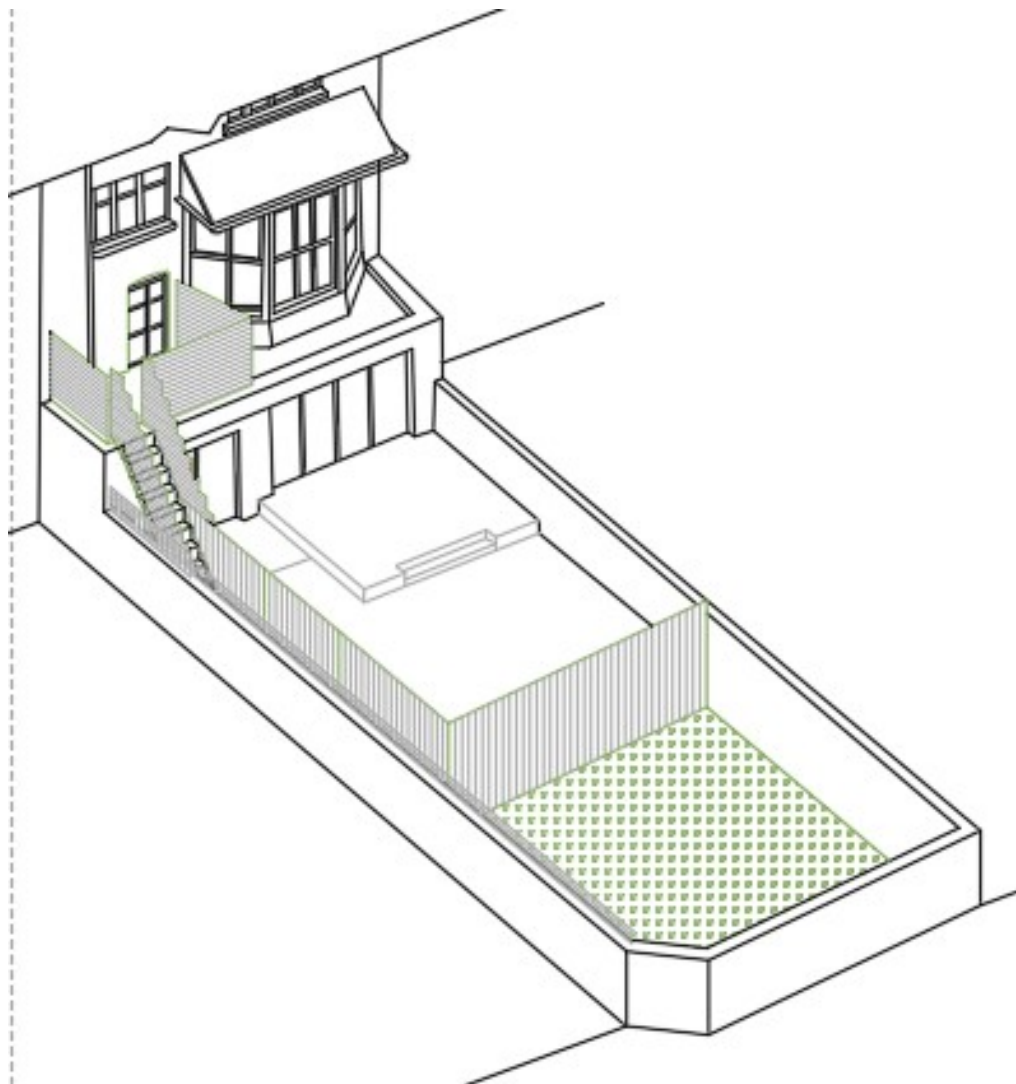
2020/2879/P Flat A, 55 Broadhurst Gardens

Erection of single storey rear extension, installation of side gate, alterations to & replacement of existing windows

Final decision: 15/07/2020, Granted



Axonometric of proposal



2010/3292/P 55 Broadhurst Gardens

Erection of 2 side dormers at roof level & installation of a velux window to rear roofslope (class C3)

Final decision: 07/07/2010, Granted

The consent was not implemented.

Relevant planning history of neighbouring properties in Broadhurst Gardens;

No 51a gained consent for 'Changes included enlarged door and windows to rear elevation' in 2013 ref. no 2013/3363/P.

4. The Proposal

The proposal is consisting of the modification of rear kitchen window by lowering the cill to decking level, providing steel stair with cedar screening to the garden level and dividing the garden into two parts for each flat as previously indicated by PTA but not shown on the 55A planning application drawings (please refer to page 4 of this document).

Internally the existing kitchen will be modified to suit to new proposed access

5. Accessibility

The Scheme has been designed to fully compliant with Part M of the Building Regulations.

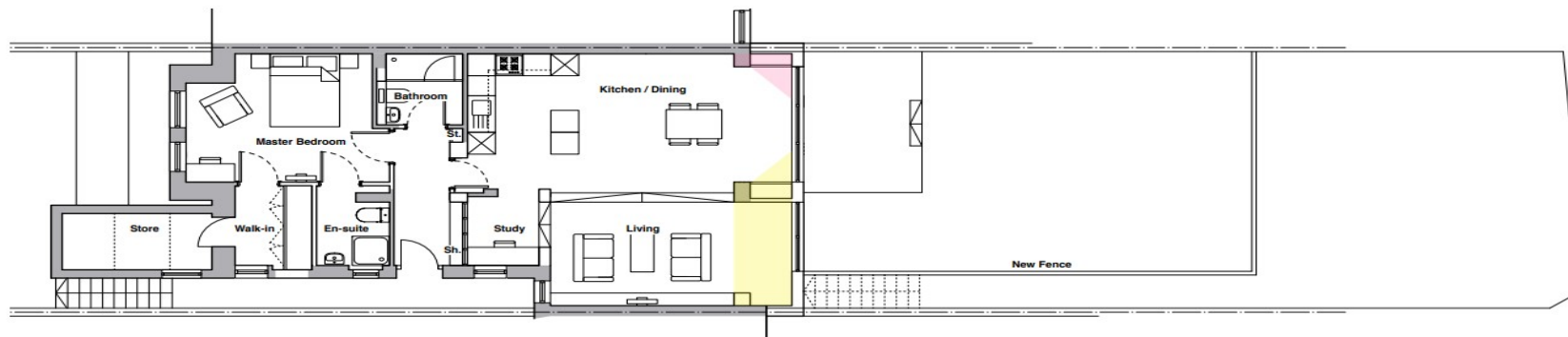
6. Summary of the Proposal

To conclude; the scheme is very modest and will not have any major impact to the character, appearance and the significance of the conservation area

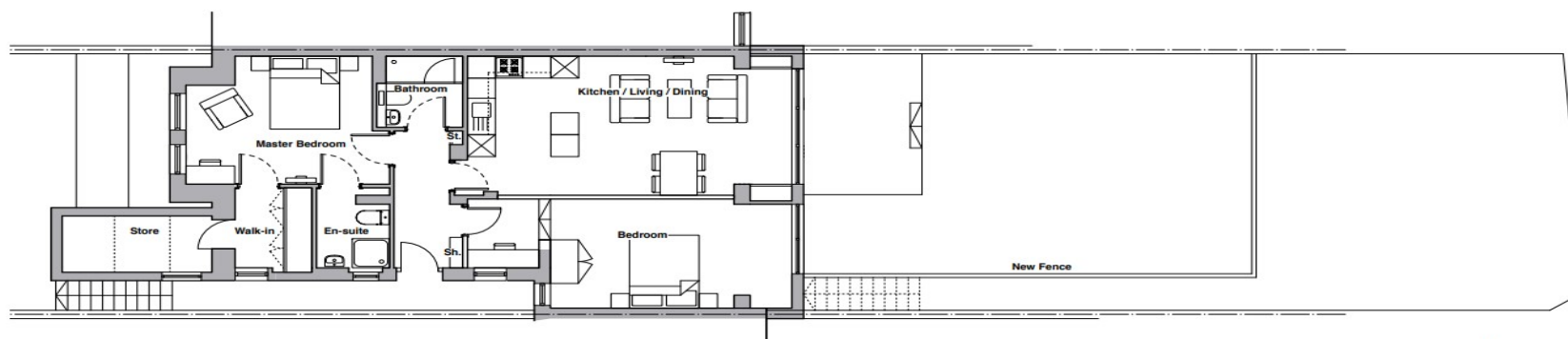
We have attempted to ensure that we satisfy the technical requirements and standards set within the Borough, whilst developing a proposal which will provide private amenity space for the ground floor flat that will contribute positively to preserve, and enhance the existing character of the locality and the conservation area.



Lower garden level floor plan showing garden division and access to garden from ground floor level prepared by PTA



A Proposed Option C1
Estimated GIA 84m² / 904sqft



B Proposed Option C2 - later conversion to 2bed home
GIA unchanged



Key

	Existing
	New Build
	Extension Part 1: 4.60m ² (49.5 sqft)
	Extension Part 2: 0.84m ² (9 sqft)
	Total: 5.54m ² (58.5 sqft)

PITMAN TOZER ARCHITECTS

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General Notes

1. This drawing remains copyright of Pitman Tozer Architects Limited and may not be reproduced or copied without consent in writing.
2. Do not scale drawing - use figured dimensions only.
3. Any discrepancies between site and drawings to be reported to the architect immediately.
4. Read in conjunction with all relevant structural and mechanical & electrical engineers drawings.
5. Dimensions critical to proposed building works must be checked on site before building works commence, as certain assumptions have been made due to lack of accessibility and anomalies in the existing building.

Revisions

Other notes

Project Address
55a Broadhurst Gardens

Drawing
55a Broadhurst Gardens
Option C

Drawing status
For Information

Date
05.12.2019

Drawing number
1923-PTA-XX-LG-MP-A-08102

Scale
1:100 @ A3

Revision
P1