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JAN 2021

DESIGN & ACCESS STATEMENT

SINGLE STOREY REAR EXTENSION

48A Glenloch Road, London, NW3

OPEN london

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1 EXECUTIVE SUMMARY

This document has been produced to assist the Householder Planning application for the proposed alterations to the maisonette at 48A Glenloch Road.

The proposals briefly comprise of a single storey rear extension, along with associated minor internal alterations.

2 SITE ANALYSIS

2.1 Site Location

The site is located in Glenloch Road in the Borough of Camden. The property is Edwardian era and was built by the Glenloch Insurance Company at the end of the 19th Century.

As can be seen on the images below, the property is accessed from Glenloch Road and is set back from the road by the lightwell to the lower ground floor level.

To the rear, the property also benefits from a private garden with verdant trees surrounding the site.

The property is located within the Belsize Park Conservation Area (designated 1973). The property is not listed.

2.2 Area Appraisal

Glenloch Road is an attractive residential road, close to Belsize Park Tube Station and Haverstock Hill, which has a good selection of restaurants, cafes and shops.

The open spaces of Primrose Hill and rolling acres of Hampstead Heath are also easily accessible.

2.3 Belsize Park Conservation Area

Belsize CA sits on the rising land between Chalk Farm at the bottom of Haverstock Hill and Hampstead at the top, and extends westwards to Swiss Cottage. It forms a triangle of land bordered by Haverstock Hill, Adelaide Road and Fitzjohn's Avenue.

In March 1973 the Borough's Planning and Communication Committee agreed the designation of the Belsize Park Conservation Area subject to consultation. The area was centred on Belsize Park, Belsize Park Gardens and Belsize Village. The report to Committee stated:

...Belsize Park is an area of large scale, imposing semi-detached Victorian Villas of distinct yet uniform appearance. They show elaborate and consistent architectural detail and within the designated boundary there is little to detract from the unity of appearance. Belsize Village is also an area of considerable charm, the particular character of the village being one of the main justifications for designation...*

(*Taken from the Belsize Conservation Area Appraisal)

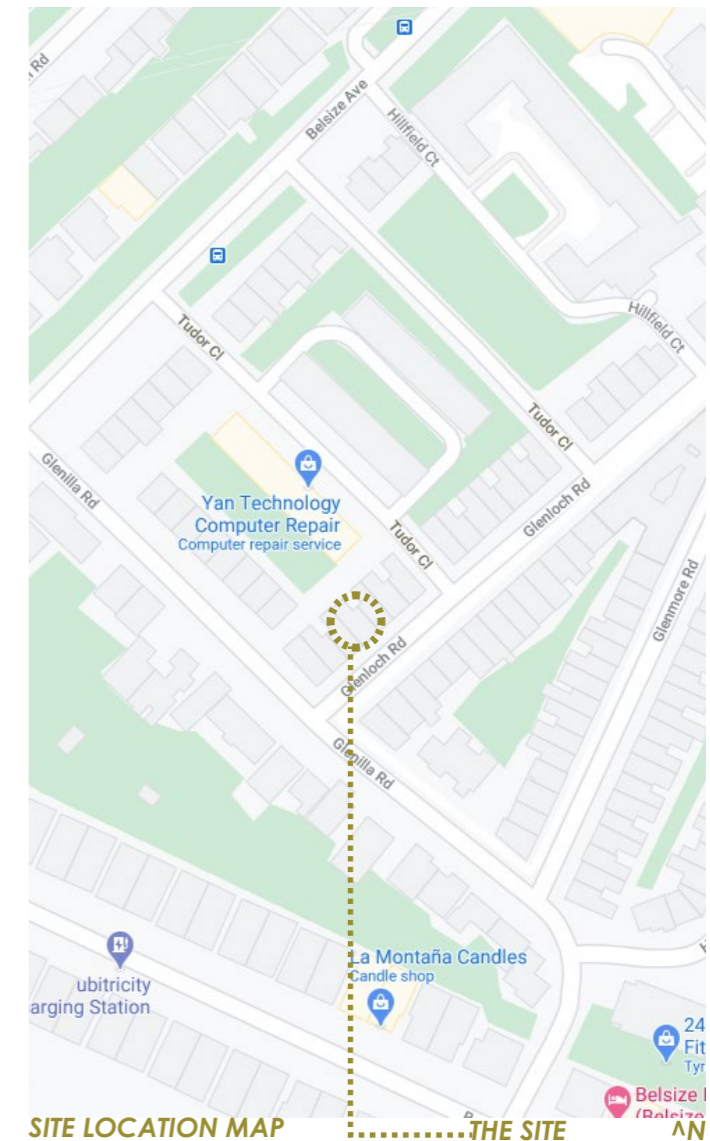
2.4 Property Description

As stated 48 Glenloch Road is an Edwardian property built towards the end of the 19th Century.

Number 48 sits towards the centre of a short terrace of predominantly red brick and the roof is a mansard type with slate finish. The main building entrance features white stucco detailing with an arched stained glass fanlight over the solid timber entrance door.

The building has been subdivided into flats and the application property is a 3 bedroom maisonette, arranged over the lower, raised ground and first floors and benefits from sole access to the north facing garden.

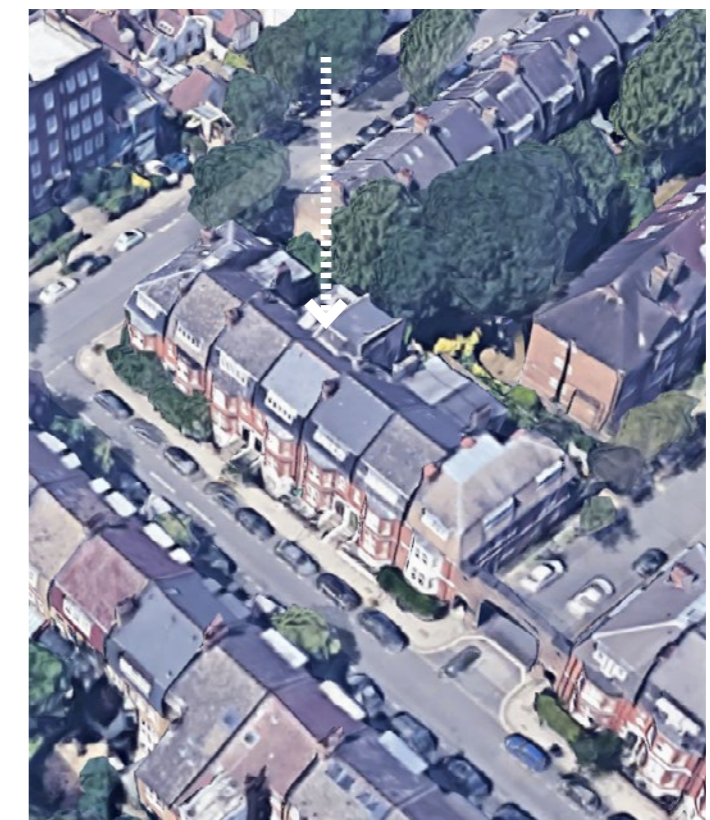
At ground floor level towards the rear a modest reception room and kitchen benefits from direct access to the garden, with bedroom accommodation being sited to the floors above and below.

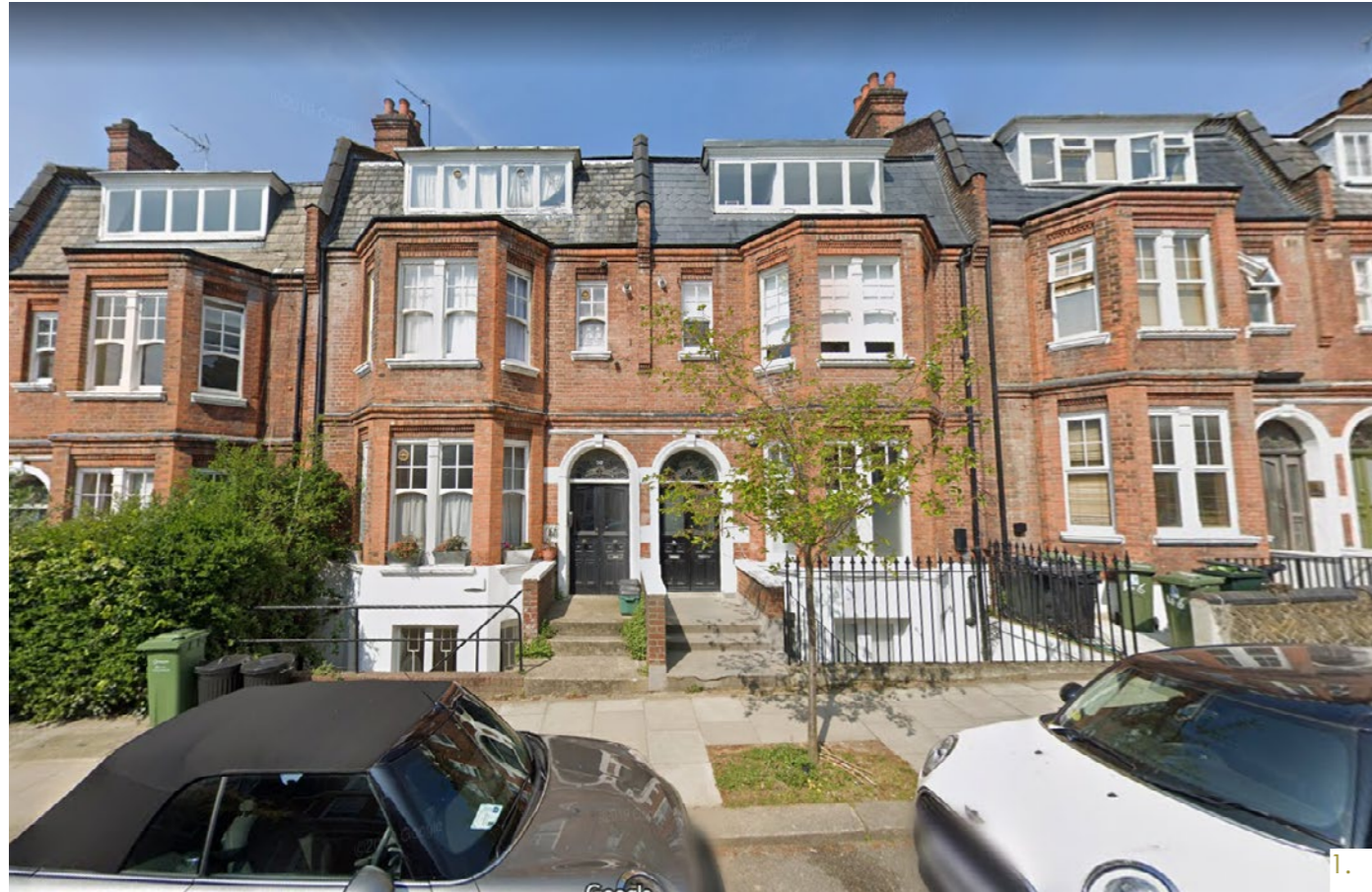


SITE LOCATION MAP THE SITE



AERIAL PHOTOGRAPH OF SITE THE PROPERTY





1. Front of property (to remain unaltered). 2. Front of property (to remain unaltered). 3. Rear of property. 4. Rear of property - existing extension. 5. Rear Garden.

3 THE PROPOSAL

3.1 Brief

The client brief was to reconfigure the design of the current contemporary extension granted permission in 2017 to remove the pinch point it has created and allow for a flexible and appropriately sized kitchen and dining space, suitable for the size of the property.

High quality materials are again to be utilised to create a proposal that compliments the existing building, ensuring a design, size and scale sympathetic to the existing property and surrounding area.

3.2 The Proposal

It is proposed that to achieve the brief the current contemporary extension is extended further by a modest amount (approx 1.65m) to create a dedicated dining area that does not intrude on the limited kitchen space.

In doing this it is proposed to retain the contemporary language employed by the existing extension with the same copper type cladding and slender framed glazing employed to ensure the extension is still read as a contemporary addition to the property.

No alterations are proposed to the front elevations and the property will remain as existing from the street scene.

3.3 Impact of the Surrounding Area

All the proposed works for this application are located to the rear of the property, and the proposals will not be visible from Glenloch Road.

The proposal has been carefully considered to minimise impact on the neighbouring properties. The proposal only extends approx 1.65m further than the current extension, which in itself was modest. It is proposed that the current roofline will be continued, but that the brick party wall will remain as existing, rather than be built up to meet the extension roofline. This thereby ensures that impact to the neighbouring property is kept to a minimum as the small section of visually lightweight copper clad return will be the only element visible from Number 46. It is also worth noting that impact will in part be reduced by the size and height of the neighbouring side infill extension at No.46.

The proposal has also been carefully designed so as to ensure the amenity space of the host property is not negatively affected - the proposal is modest in scale with a footprint increase of just over 4sqm and allows for more than 50% of the original external space to be retained. In addition the opening glazed corner will allow the external garden space to flow seamlessly with the dining area in the warmer summer months and will create a real 'wow-factor' to the otherwise modest proposal.

Lastly, a high quality material palette has been chosen to compliment the property and ensure the proposals are in keeping.

4 DESIGN & ACCESS

4.1 Design and Materials

The design proposed is fairly low key and will have minimal impact on the external aesthetic of the property.

The material palette has been carefully considered to ensure there is no negative impact to the property or surrounding area and utilises the same materials that are already present in the existing extension.

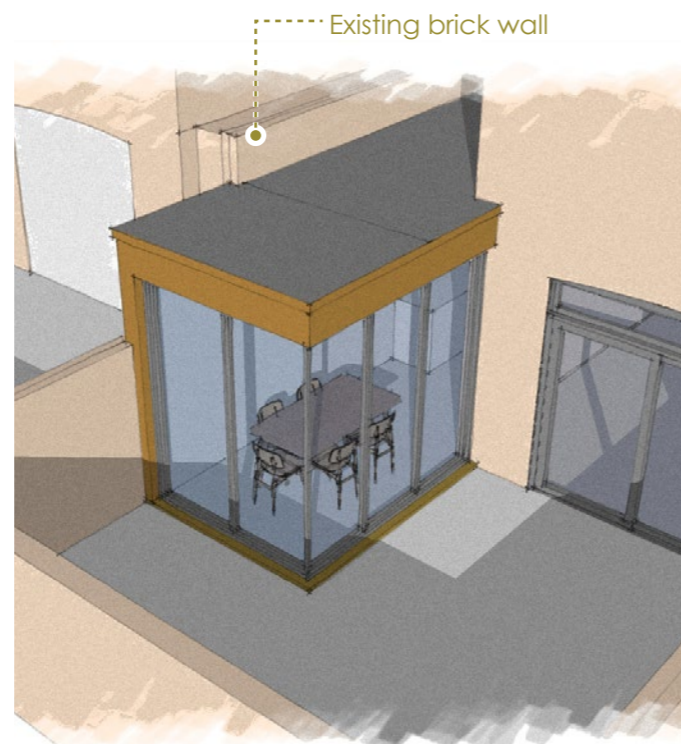
As previous, the proposed extension has been designed to minimise the visual impact on the existing terraced house, and will be identifiable as a piece of it's time through the contemporary language employed.

The simple modern structure of the proposed extension will remain subservient to the materials and details of the existing house and the glazed corner will still allow the brick corner of the original house to remain visible as per the original intention of the previous scheme.

Again, the new structure will be energy efficient through the use of high quality double glazing and the well insulated external fabric and will continue to increase biodiversity and reduce water runoff through the extension of the Brown Roof System.

The new doors to the rear garden are proposed as a high quality slender framed doorset that will allow for ample natural light and ventilation to the dining area.

The fascia, gutter and downspout will be Copper, complementing the brickwork. Copper is a high-quality material, which requires little maintenance,



1. Sketch model of extension - doors closed.

and whose appearance will alter and improve over time.

All materials proposed are high quality and sensitive to the character of the property so as not to harm the host property or wider surrounding area.

4.2 Access

The main access to the property itself will remain unaltered.

Access to the garden will be level and the proposal will be fully compliant with building regulations and Part M.

5 POLICY

5.1 Relevant Planning Policy

The following policies and guidance have been considered in forming this revised proposal for the site:

The National Planning Policy Framework

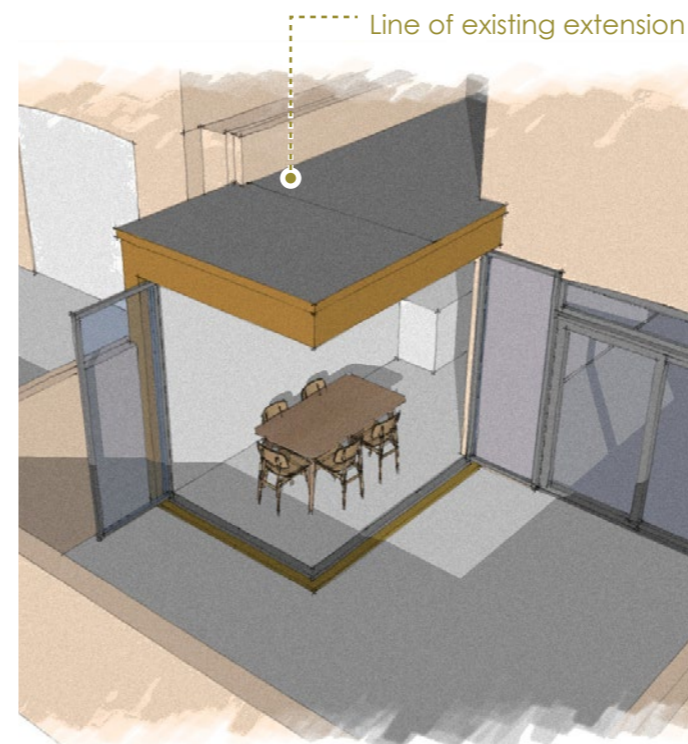
The London Plan and Camden Local Plan

Relevant Camden SPDs

Policy A1 Managing the impact of the development.

The Council will seek to protect the quality of life of occupiers and neighbours and will grant permission for development unless this causes unacceptable harm to amenity.

As discussed previously, the proposal has been carefully considered to minimise impact on neighbouring amenity. The proposal only extends approx 1.65m further than the current extension,



1. Sketch model of extension - doors open.

which in itself was modest. It is proposed that the current roofline will be continued, but that the brick party wall will remain as existing, rather than be built up to meet the extension roofline. This thereby ensures that impact to the neighbouring property is kept to a minimum as the small section of visually lightweight copper clad return will be the only element visible from Number 46.

The proposal, with its modest size and scale aims to ensure that the visual privacy and outlook of the neighbouring property is protected, whilst not unacceptably impacting on daylight or sunlight levels.

The proposals therefore comply with policy A1.

Policy D1 Design

The Council will seek to secure high quality design in development.

Although the alterations are relatively minor we have ensured that they still meet the councils criteria for securing high quality design.

The materials and design approach taken proposes to mirror that of the previously approved extension which the council noted as 'sympathetic to the original character of the property'. We feel the high quality approach taken respects local context and character and preserves the historic environment. The proposal also allows for the standard of accommodation to be improved and ensure a sustainable future for the property.

Policy D2 Heritage.

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

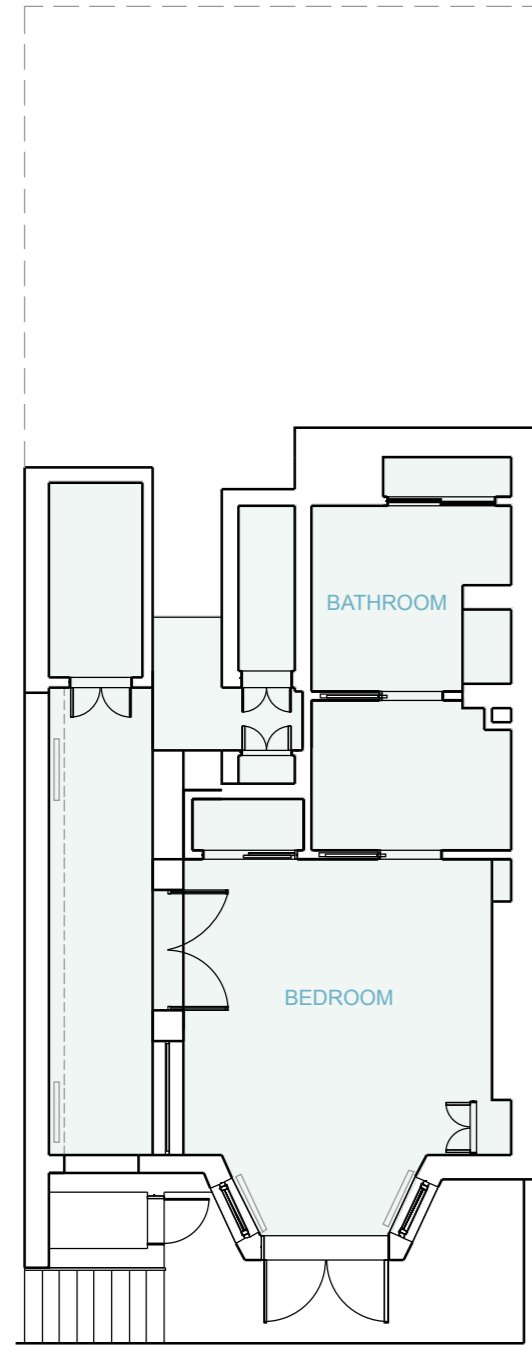
As discussed previously the proposals are fairly minor in nature and will utilise high quality materials to ensure that the character of the area is preserved. No changes will be visible from the street scene or wider area.

6 CONCLUSION

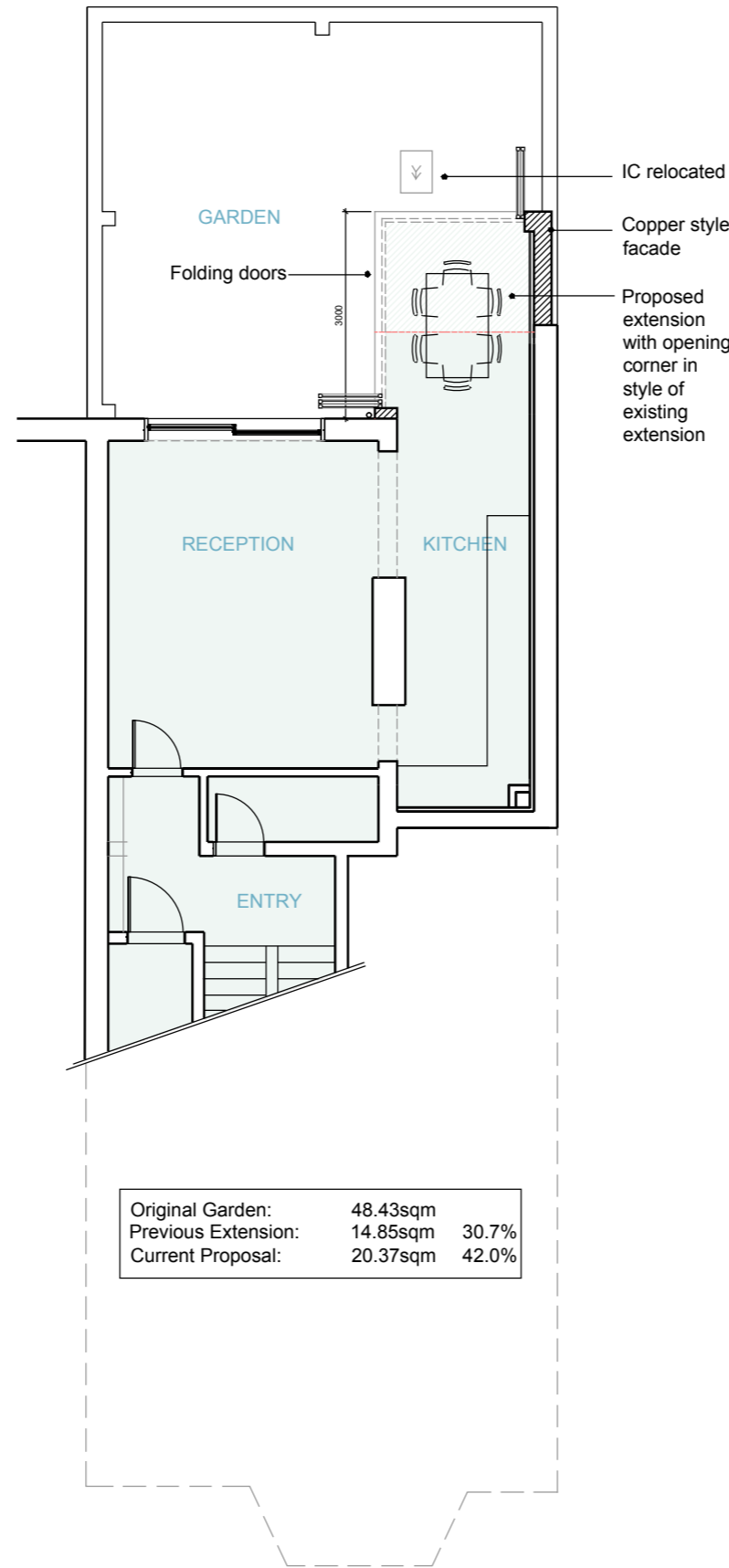
It is felt that the proposals are sympathetic to the site and wider area and do not cause any negative impact.

The proposed alterations not only satisfy the client's needs but are sensitive to the historic nature of the property and do not contravene national or council policy.

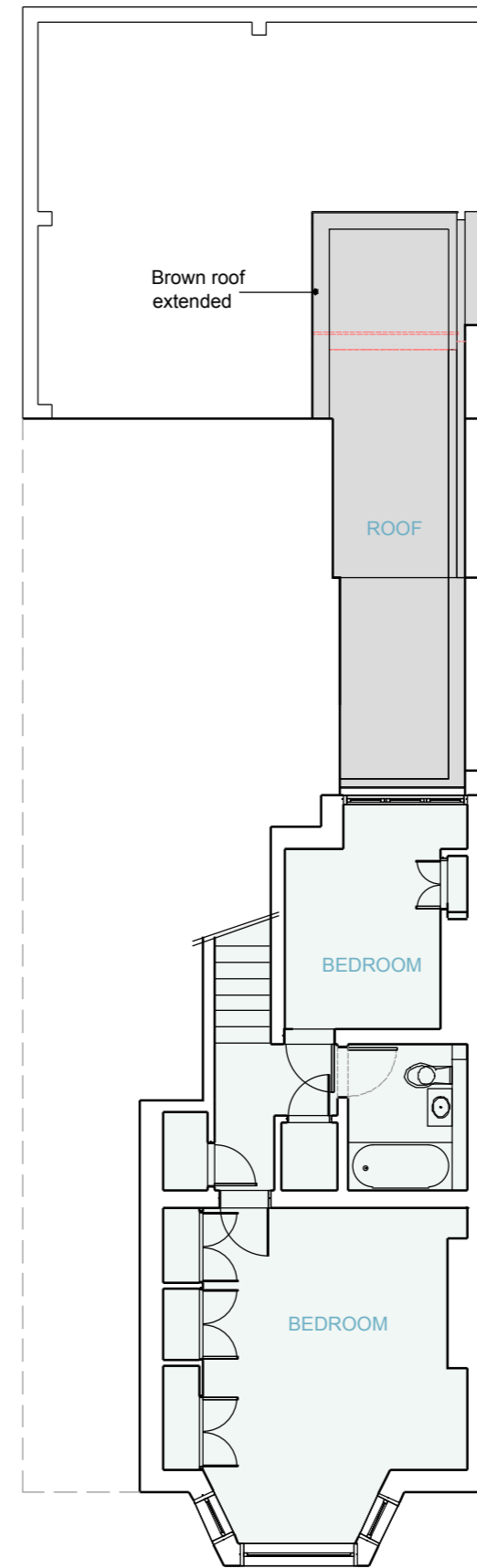
We feel that the proposal, assessed on its individual merits, should provide ample demonstration to the Local Authority to view it favourably and conclude that the scheme is acceptable in terms of planning, design and conservation.



PROPOSED LG PLAN (AS EXG)



PROPOSED GF PLAN



PROPOSED ROOF PLAN



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NOTES

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project
48A Glenloch Road
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 client

drawing title
Proposed Plans
 drawing status

Planning

scale date drawn by checked by
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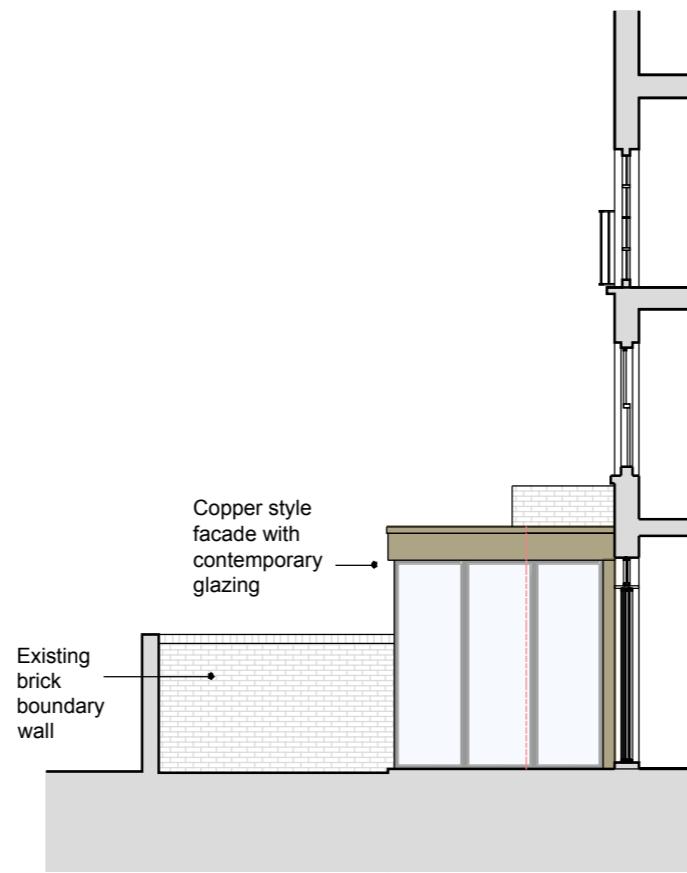
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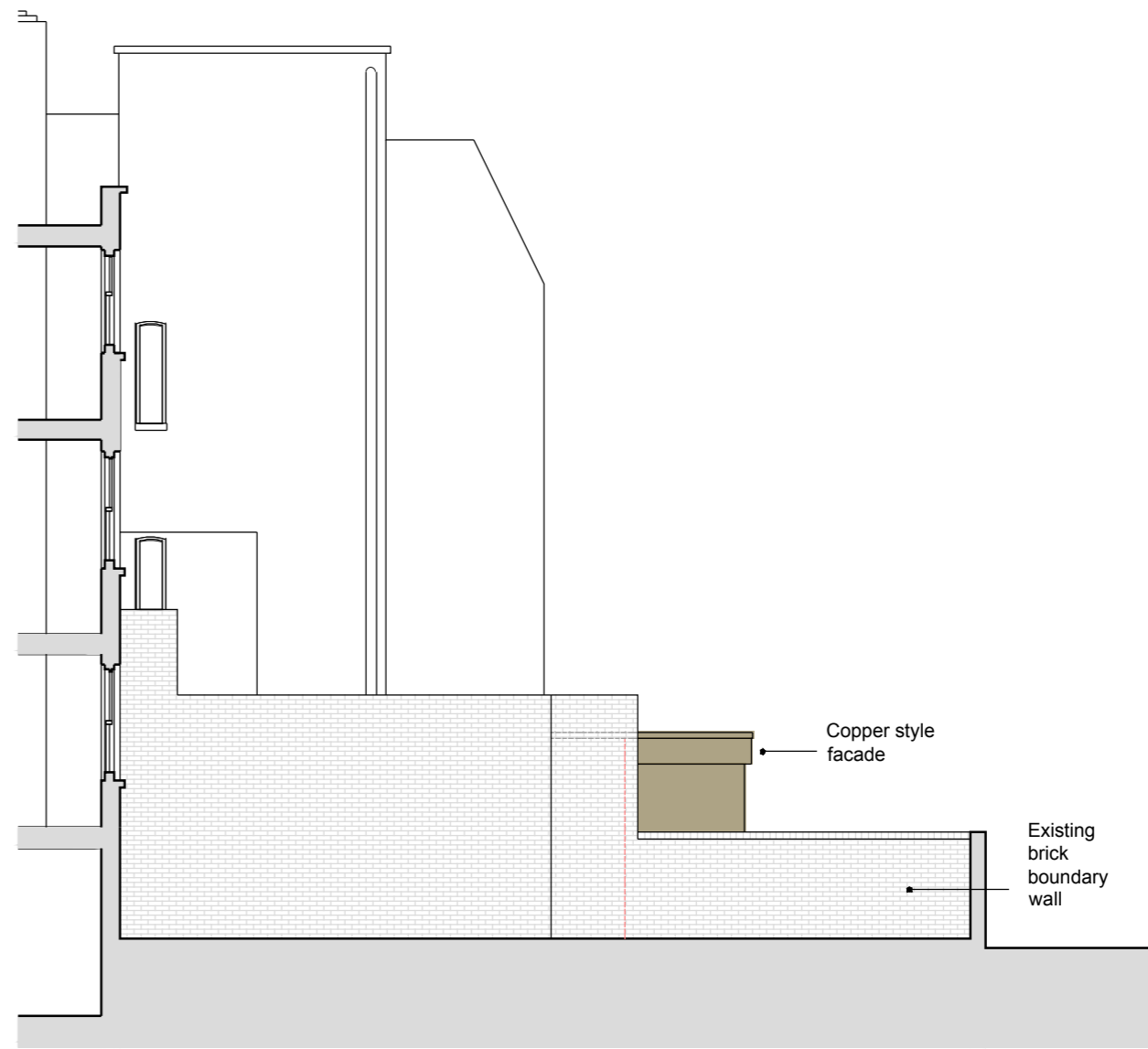
NOTES



PROPOSED ELEVATION
 0 1 5m



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 0 1 5m



PROPOSED ELEVATION
 (FROM NEIGHBOURING PROPERTY)
 0 1 5m

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