
Design & Access Statement – v.0.01

Change of Use from HMO (Sui Generis) to C3 Residential.

Full Refurbishment and Adaptations.



At

**6-8 Kemplay Road,
Hampstead,
London NW3 1SY**

For

**Optivo, Grosvenor
House, 125 High St,
Croydon CR0 9XP**

Contents:

- 1. Introduction:**
 - 1.1 General
 - 1.2 The Site
 - 1.3 Context
 - 1.4 Planning Policy
 - 1.5 Statutory Guidance Documents
- 2. The Proposal:**
 - 2.1 Use
 - 2.2 Schedule of Accommodation
 - 2.3 Layout
 - 2.4 Scale
 - 2.5 Appearance
 - 2.6 Sustainability
 - 2.7 Daylight and Sunlight
- 3. Access and Use**
 - 4.1 Transport Assessment
 - 3.2 Accessibility
 - 3.3 Cycle Storage
 - 3.4 Provision for Household Waste and Refuse
- 4. Conclusion**

Figures:

- 1. 6-8 Kemplay Road sited within the Hampstead Conservation Area (indicated by the grey shaded areas)
- 2. Aerial view of the property with red outline indicating the site location
- 3. Representative Floor Plan of Lower Ground Accommodation (Proposed Flats) (not to scale)

Tables:

- 1. Proposed accommodation schedule of 6-8 Kemplay Road

1.0 INTRODUCTION

1.1 General

1.1.1 This Design and Access Statement has been prepared by on behalf of Optivo as part of the planning application documentation for a proposed change of use and the internal alterations to 6-8 Kemplay Road, Hampstead NW3 1SY.

1.1.2 This document shall be read in conjunction with the Planning Statement and provides an assessment of the proposals in relation to relevant the material considerations detailed within the following sections.

1.1.3 This statement should be read in conjunction with the following documents:

- Planning statement
- Heritage statement
- Existing and proposed drawings
- Elevation drawings

1.2 The Site

1.2.1 6-8 Kemplay Road is an unlisted, mid-terrace Victorian dwelling house situated in the Hampstead conservation area with accommodation over 5 floors including the lower ground.

1.2.2 The building is constructed primarily of yellow stock brick to the frontage and features a symmetrical bay window from lower ground to ground floor with slate, hipped roof. A stucco rendered portico exists at the main entrance which faces south-southwest. Windows to the front elevation have a distinctive arch detail in carved terracotta.

1.2.3 The roof is of traditional pitched timber construction and clad in slate with 2 roof dormers having lead cheeks.

1.2.4 The rear elevation is constructed of London stock brick and faces North East toward the garden of the neighbouring property on Carlingford Road.

1.2.5 Kemplay Road is a largely residential street that runs perpendicular to Willoughby Road and parallel to Hampstead High Street. Hampstead Heath is a short walk away (0.2 miles).

1.2.6 Externally, the property makes a positive contribution to the historic and architectural streetscape of Kemplay Road

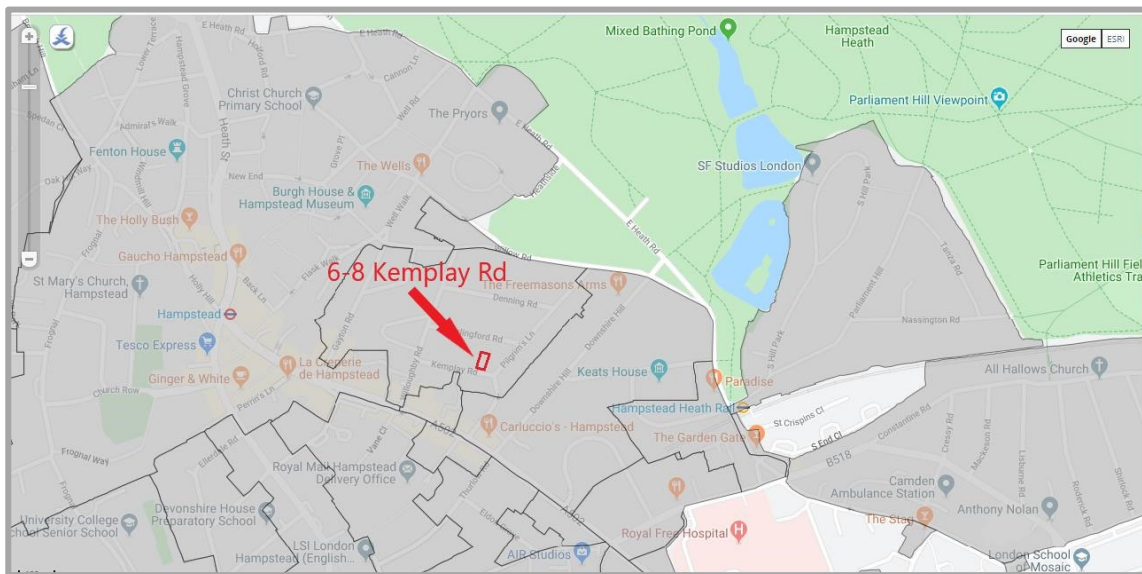


Figure 1: 6-8 Kemplay Road sited within the Hampstead Conservation Area (indicated by the grey shaded areas)

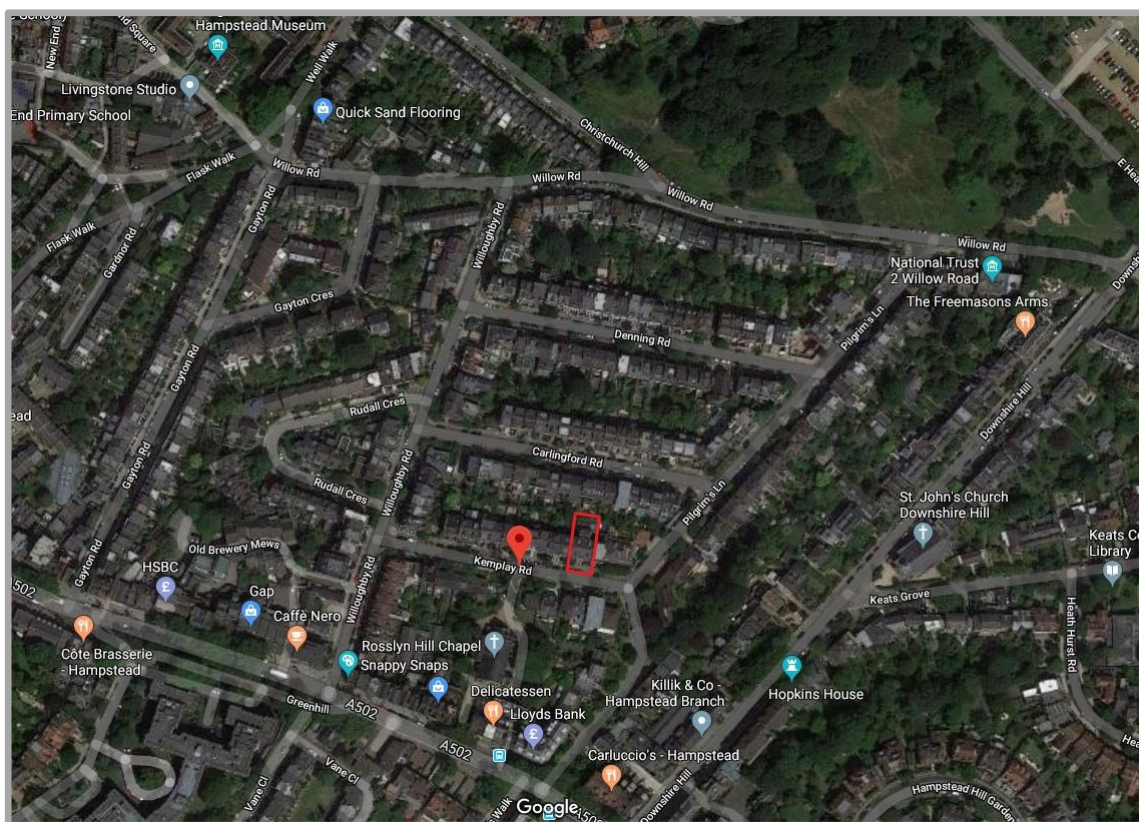


Figure 2: Aerial view of the property within close proximity to Hampstead Heath. The red outline indicates the site boundary.

1.3 Context

- 1.3.1 The property contains 3 self-contained, one bed flats with a single shared kitchen serving the remaining 15 one person bedsits. 3 communal washroom facilities and 2 further shared WC's are also featured within the current provision of accommodation.
- 1.3.2 The existing internal configuration is considered complicated with narrow circulation routes and poorly arranged bedspaces in relation to the facilities.
- 1.3.3 This statement is intended to support the application for a change of use from HMO (Sui Generis) to C3, self-contained residential dwellings with the intended tenure to be split between London Affordable Rent (LAR) and Camden Intermediate Rent (Int). See section 2.2.1, table 1 below.
- 1.3.4 Internally, the property is dilapidated in parts due to a number of roof leaks and an undetected water leak. A full internal reconfiguration and refurbishment is intended in order to bring the building back into use and also preserve the historical fabric for further years. Upgrades will be made to the thermal envelope and the building's acoustic properties by installing insulation to the internal walls and floors throughout, and upgrading roof coverings and insulation levels to meet modern standards.
- 1.3.5 The proposal aims to make minor adjustments to the existing façade; such as the enlargement of the existing dormers to the rear elevation. This is with the aim of ensuring that the areas required by the London Housing Design Guide are matched as closely as possible, and the spaces created offer maximum daylight and quality of internal space where there is limited access to external space on the site.

1.4 Planning Policy (see also section 3.0 Relevant planning and legislative policies)

- 1.4.1 Reference planning policy considered to be relevant to this application has been identified and discussed within the Planning Statement that accompanies this document.

1.5 Statutory / Guidance Documents

1.5.1 The following guidance documents are considered to be relevant to the application:

- The Building Regulations 2010 and amendments
- The Equality Act 2010
- London Housing Design Guide
- Hampstead Conservation Area statement
- Hampstead Conservation Area streetscape audit
- Energy Efficiency Planning Guidance for Conservation Areas (Section 72 of the Planning [Listed Building and Conservation Areas] Act 1990)
- Retrofitting Historic Buildings for Sustainability (2013)
- Conservation Principles, Policies and Guidance (2008)

2.0 PROPOSAL

2.1 Use

2.1.1 The application is for ten new self-contained flats which will provide accommodation as identified in the table 1 below.

2.2 Schedule of accommodation

2.2.1 The proposal includes the following accommodation.

| Accommodation Schedule - Kemplay Road | | | | |
|---|-----------------|--------|--------|--------|
| Floor | | GIA m2 | NIA m2 | Tenure |
| Lower Ground (west) | 1 x 2 Beds (4p) | 129.1 | 129.1 | LAR |
| Lower Ground (east) | 1 x 1 bed (2p) | 48.5 | 48.5 | LAR |
| Ground (west) | 1 x 1 Bed (2p) | 47.9 | 47.9 | Int |
| Ground (east) | 1 x 1 Bed (2p) | 48.2 | 48.2 | Int |
| First (west) | 1 x 1 Bed (1p) | 41.6 | 41.6 | Int |
| First (east) | 1 x 1 bed (1p) | 36.8 | 36.8 | Int |
| Duplex - First rear (lower) and Second rear (upper) | 1 x 1 Bed (2p) | 54.5 | 54.5 | Int |
| Second (west) | 1 x 1 Bed (1p) | 42.7 | 42.7 | Int |
| Second (east) | 1 x 1 Bed (1p) | 37.4 | 37.4 | Int |
| Third | 1 x 1 Beds (2p) | 63.6 | 56.6 | Int |

Table 1: Proposed accommodation schedule of 6-8 Kemplay Road

2.2.2 The current plans for 10 no. C3 units are deemed to be a major development within the Camden preapplication service, and a major development under the Town and Country Planning (Development Management Procedure) (England) Order 2015.

2.3 Layout

2.3.1 The proposed flats have been positioned and orientated to ensure that habitable rooms have natural light while maximising the use of internal space in coherence with the London Plan and the London Housing Design Guide.

2.3.2 Acoustic and thermally insulated solid walls will form the perimeter of each flat. Floors will also be upgraded to comply with Part L (Conservation of fuel and power) and Part E (Resistance to the passage of sound) of the Building Regulations (2010).

2.3.3 The internal layout of the flats has been designed to meet the relevant Building Regulations. Some structural alterations are required internally to provide a new staircase that is compliant with Approved Document Part M (Access and Use); thus improving circulation and access.

Where possible, internal adaptations will be made to meet other requirements of the Building Regulations 2010 Approved Document Part M: Access to and Use of Buildings, however, due to the constraints of an existing, heritage building, this is not always possible and level access from the street or externally positioned wheelchair lifts are not proposed.

2.3.4 Additional partitioning will be installed to ensure that the new dwelling spaces meet the requirements of Part B (fire safety) of the Building Regulations.

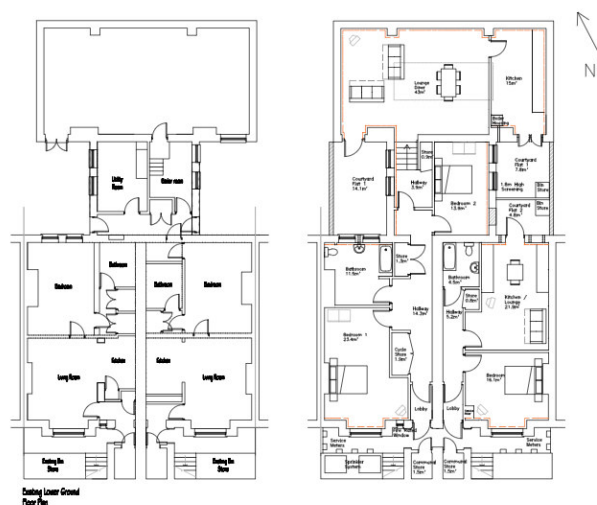


Figure 3:
Representative Floor Plan of Lower Ground Accommodation (Proposed Flats) (not to scale)

2.4 Scale

2.4.1 The property occupies most of the building plot and there is therefore a low opportunity to provide amenity space for units on the ground floor and above.

2.4.2 The London Plan and Local Plan Policy SC5 advises that a minimum of 5m² external space should be provided per dwelling however, due to the position of 6-8 Kemplay Road within the Hampstead conservation area, restrictions on carrying out alterations to the external fabric of the building that alter its appearance present a challenge in meeting this requirement.

2.4.3 The property is located in close proximity to Hampstead Heath which will provide residents with essential, outdoor recreational space, children's play areas, grassed areas etc.

2.5 Appearance

2.5.1 A key objective of the refurbishment is to retain the building's heritage appeal and to maintain its appearance within the historic environment in which it is set, therefore works to the external parts of the building seek to sympathetically reinstate detailing and features where possible.

2.5.2 In order to preserve the fabric of the building long-term, it is proposed to undertake general external repairs and to replace the roof coverings (pitched, roof, and bay windows etc.) and coping stones etc. using like-for-like materials. This will also allow the u-value of these components to be improved to meet modern building regulation standards.

2.5.3 The proposal intends to make very minor adjustments to the existing façade and only where these are deemed essential:

2.5.3.1. Wherever possible; boiler flues and extract vents exit to the rear of the property or to the flank elevations of the property extension in order to preserve the front facade. The extent of penetrations to the front elevation has been limited to 4no. boiler flues. Due to the nature of the internal layout, it is not possible for these to penetrate the rear elevation without passing through numerous habitable rooms; a configuration of which is not acceptable to Optivo on the basis of health and safety concerns.

2.5.3.2. Widening of the roof dormers to the front elevation will increase sunlight and daylight ingress to improve the quality of the space and help meet the dwelling standards of the London Housing Design Guide.

2.5.3.3. All external doors will be replaced on a like for like basis in terms of material, aesthetic and functional design, with the added benefit of double-glazing to improve thermal efficiency and additional security features to meet building regulations.

2.5.3.4. All windows to the front and rear facades will be replaced on a like for like basis. By comparison of the existing and proposed layouts some apertures have been infilled.

This is to improve privacy as the mentioned apertures currently overlook neighbouring properties.

- 2.5.3.5. See **section 4. of the Heritage Statement** for further considerations in relation to the external fabric of the building.

2.6 Sustainability

2.6.1 The provision of like-for-like replacement double glazed windows will not alter the aesthetic of the property or detract from its heritage appeal. This will greatly improve the thermal efficiency of the building envelope whilst providing good daylight & natural ventilation.

2.6.2 Energy efficient heating systems will be incorporated within each dwelling that will bring the building services in line with current requirements for the conservation of fuel and power (building regulations approved document, part L).

2.6.3 Insulation-backed plasterboard will be installed to the internal face of external walls to improve thermal comfort and reduce heat loss. All new partitions and existing floors will also be insulated.

2.6.4 Energy efficient LED lighting will be incorporated to further reduce energy consumption.

2.7 Daylight and Sunlight

2.7.1 The front elevation of the property faces south and overall, habitable space is configured to maximise the amount of daylight hours within these areas as advised within the Building Research Establishment (BRE) Site Layout Planning for Daylight and Sunlight¹ (SLP) published by the BRE in 2011 for daylight and sunlight criteria.

2.7.2 The code of practice for daylighting within the British Standards (BS 8206-2:2008) has also informed the internal layout design.

3.0 ACCESS AND USE

3.1 Transport Assessment

- 3.1.1 Camden benefits from some of the best transport accessibility in the country. It is well served by bus, tube and rail, providing links within London. Kemplay Road has a Public Transport Access Level (PTAL) value of 4, meaning that the available options and ease of access to public transport links are good.
- 3.1.2 The change of use to C3 accommodation does not alter the load on local transport infrastructure or require further on street parking from the previous use.
- 3.1.3 Car ownership levels will be low based on knowledge of the demographic of future residents of this affordable housing scheme and, although on street parking is available on the adjacent roads for resident permit holders, to help mitigate further strain on local infrastructure, the freeholder will publicise and provide where required, membership of a car club (electric vehicles where possible) for each dwelling.
- 3.1.4 There is currently no provision for secure, off street parking. Residents have historically applied for on street parking permits. Future residents will be informed that they are not entitled to on street parking permits in accordance with Camden's Local Plan Policy T2.

3.2 Accessibility

- 3.2.1 Access to the building is solely gained via Kemplay Road.
- 3.2.2 Significant alterations are required to provide wheelchair access into the building due to structural and conservation constraints. The asphalt covered steps from the public footpath at the front of the property leading to the main entrance do not comply with Approved Document Part M of the Building Regulations 2010.
- 3.2.3 Access ramps were considered however it was not possible to achieve the required gradient to the main building or lower ground floor areas due to lack of available space and the impact on the aesthetic of the building.
- 3.2.4 Internally, there are various split levels. The existing stepped access to the rear hall and upper floors will be retained due to limited space for the provision of passenger or platform lifts. The stairs will be replaced to ensure that they conform to modern requirements in terms of tread depth and height.
- 3.2.5 Floor and wall finishes have been developed to enhance the well being of residents while ensuring that the specific needs of the visually impaired are met.

3.2.6 Design of building services (smoke alarms, lighting, heating etc.) will be carefully considered to promote an inclusive environment for the building occupants.

3.3 Cycle Storage

3.3.1 Options including the adaptation of the garden wall to the front of the property to provide access to individual and clustered cycle storage within the small courtyard area have been considered. Alteration to the external appearance of the building is likely to meet resistance from local conservation officers.

3.3.2 Layouts have been fully reviewed for the provision of external and internal cycle storage (CPG 8.14), however potential locations were found to significantly infringe on circulation space, compromising the minimum clearances required under the Building Regulations 2010.

3.3.3 Section 6a.13 Additional cycle parking specifications, of the London Plan suggests that a developer contribution for the provision of cycle parking within the vicinity of the site would be considered by the planning authority. Due to the confliction with the local plan for Camden, this option is considered to be viable.

3.4 Provision for household waste and refuse

3.4.1 Camden Borough Council operate a 'bag off street' policy on Kemplay Road and household waste collections occur weekly.

3.4.2 It is not possible to safely create an external refuse storage area behind the existing garden boundary wall without significant disruption to the aesthetic of the building in relation to its conservation setting.

3.4.3 Due to size constraints, it is neither possible for there to be communal bin storage areas. Therefore, residents will store their bagged waste in designated bin storage areas within their flats until bin collection day; with continuous extract fans installed to mitigate any concerns relating to odours.

4.0 CONCLUSION

The design proposal seeks to create an appropriate solution to meet the need for more affordable homes in London. The scheme is also in line with the requirements of Camden's Local Plan and the London Borough of Camden Local Development Scheme.

It is proposed that the proposal is appropriate and sympathetic to the heritage fabric of the building and the historic environment in which it is set. Generally, the design intends to preserve the heritage aspect of the building and the surrounding streetscape.

Where possible, internal adaptations will be made to meet the requirements of the Building Regulations 2010 Approved Document Part M: Access to and Use of Buildings.