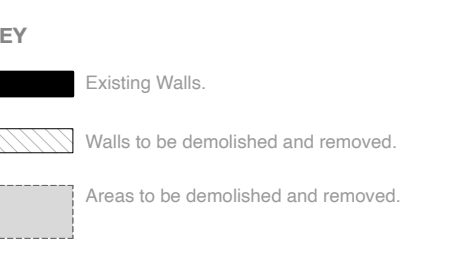


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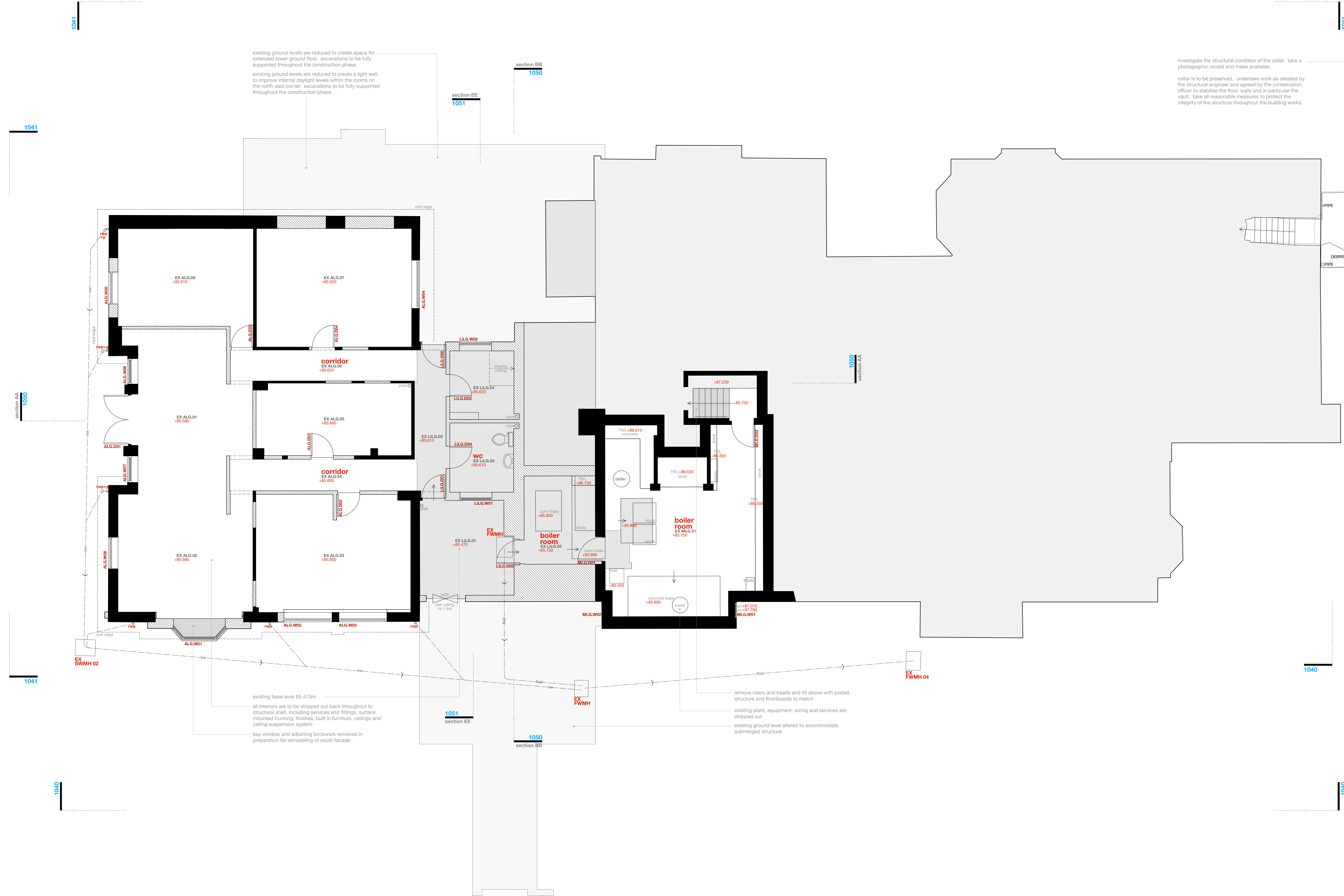


- Features**
- windows**
- bhc bottom hung timber casement window
 - tlc top hung timber casement window
 - shc side hung casement
 - vss vertical sliding sash timber window
 - fl fixed light timber window
 - tr roof light flat roof
 - vr value style roof light pitched roof
 - crf conservation style roof light pitched roof
 - h ceiling hatch
 - fl floor hatch
 - sd sliding door
 - add sliding folding door

- drainage services and landscape**
- mh Existing manhole
 - ic Existing inspection chamber
 - wic Existing water service inspection chamber

- FWIC 01**
- inspection chamber collecting foul water drainage
 - swp Soil vent pipe and underground foul water drainage
 - rwp Rainwater pipe, gully and underground surface water drainage
 - rwhr Rainwater hopper draining into rainwater hopper
 - sp Rainwater spout

- mechanical heating**
- gas fired boiler and wall mounted fuel
 - unvented cylinder



existing ground levels are reduced to create space for extended lower ground floor. excavations to be fully supported throughout the construction phase

existing ground levels are reduced to create a light well, to improve internal daylight levels within the rooms on the north east corner. excavations to be fully supported throughout the construction phase

investigate the structural condition of the cellar. take a photographic record and make available.

cellar is to be preserved. undertake work as detailed by the structural engineer and agreed by the conservation officer to stabilise the floor, walls and in particular the vault. take all reasonable measures to protect the integrity of the structure throughout the building works.

existing base level 85.470m

all interiors are to be stripped out back throughout to structural shell, including services and fittings, surface mounted trunking, finishes, built in furniture, ceilings and ceiling suspension system

bay window and adjoining brickwork removed in preparation for remodeling of south facade

remove risers and treads and fill above with joisted structure and floorboards to match

existing plant, equipment, wiring and services are stripped out

existing ground level altered to accommodate submerged structure.

REV C	15 Jan 2021	GM/G	Planning Application further revised, see notes above
REV B	10 Aug 2020	GM/G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM/G	Original Planning Application marked at Revision A

PROJECT

The Hoo: Scheme 2
17 Lyndhurst Gardens,
Hampstead, London

Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU

CLIENT

Mr and Mrs Yu
 REPRESENTED BY
JAGA Developments (London)

DRAWING

Lower Ground Floor Layout
as Existing

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		May 2020

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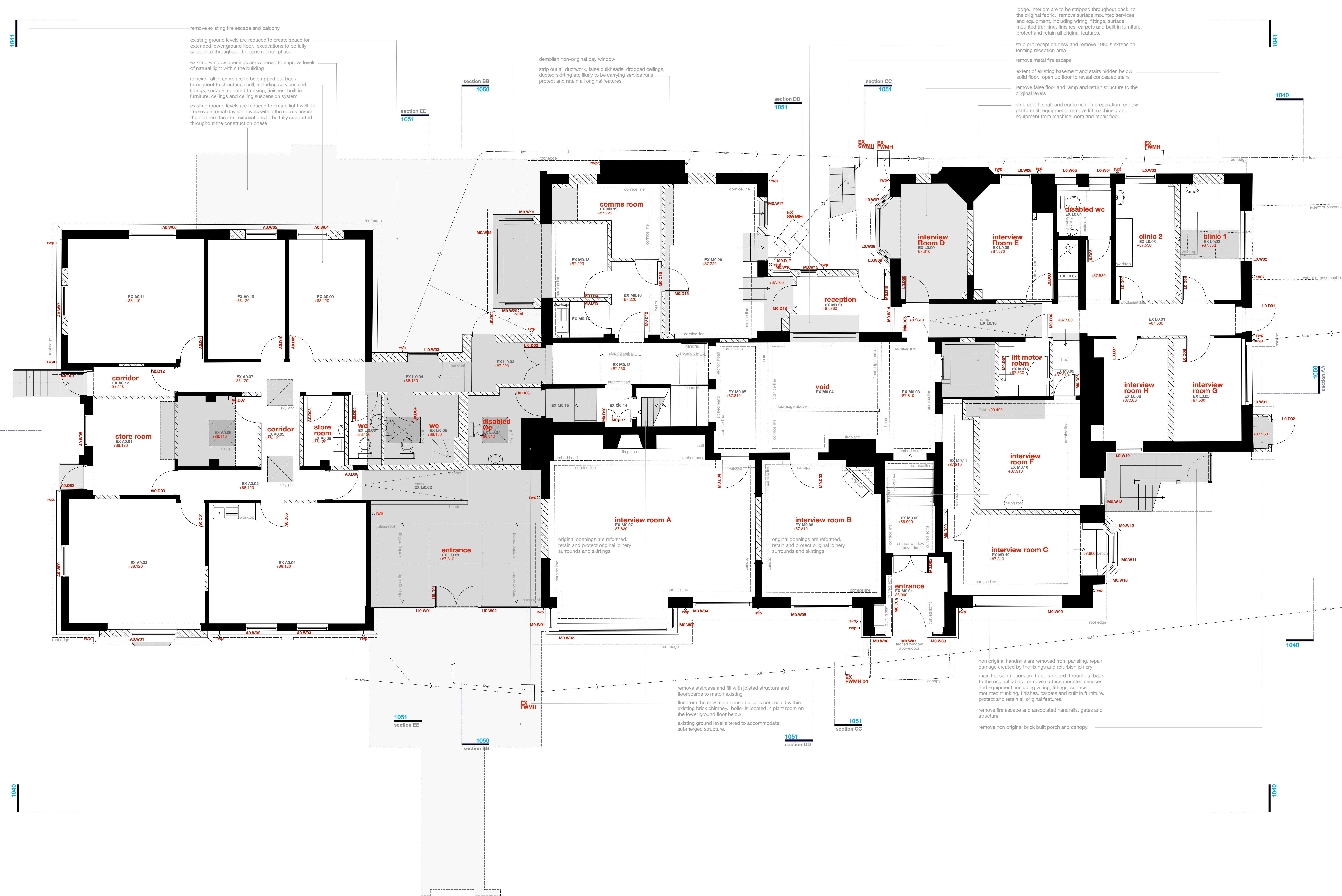
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KEY
 Existing Walls
 Walls to be demolished and removed
 Areas to be demolished and removed

- Features
- windows
 bhc bottom hung timber casement window
 thc top hung timber casement window
 shc side hung casement
 vss vertical sliding sash timber window
 fl fixed light timber window
 fl roof light (flat roof)
 vrl valux style roof light (pitched roof)
 ort conservation style roof light (pitched roof)
 h ceiling hatch
 hf floor hatch
 sd sliding door
 sld sliding folding door
- drainage services and landscape
 mh Existing manhole
 ic Existing inspection chamber
 wic Existing water service inspection chamber
- FWIC 01
 Inspection chamber collecting foul water drainage
 syp Soil vent pipe and underground foul water drainage
 rwp Rainwater down gully and underground surface water drainage
 rwhp Rainwater hopper draining into rainwater hopper
 rws Rainwater spout
- mechanical heating
 gas fire boiler and wall mounted flue
 unvented cylinder



REV 15 Jan 2021 GM/G
 Planning Application further revised, see notes above
 REV 10 Aug 2020 GM/G
 Revised Planning Application marked at Revision B
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PROJECT
The Hoo, Scheme 2
17 Lyndhurst Gardens,
Hampstead, London
 Returning a Grand Victorian House to Private Domestic Accommodation
 NW3 SNU

CLIENT
Mr and Mrs Yu
 REPRESENTED BY
JAGA Developments (London)

DRAWING
Ground Floor Layout
as Existing

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
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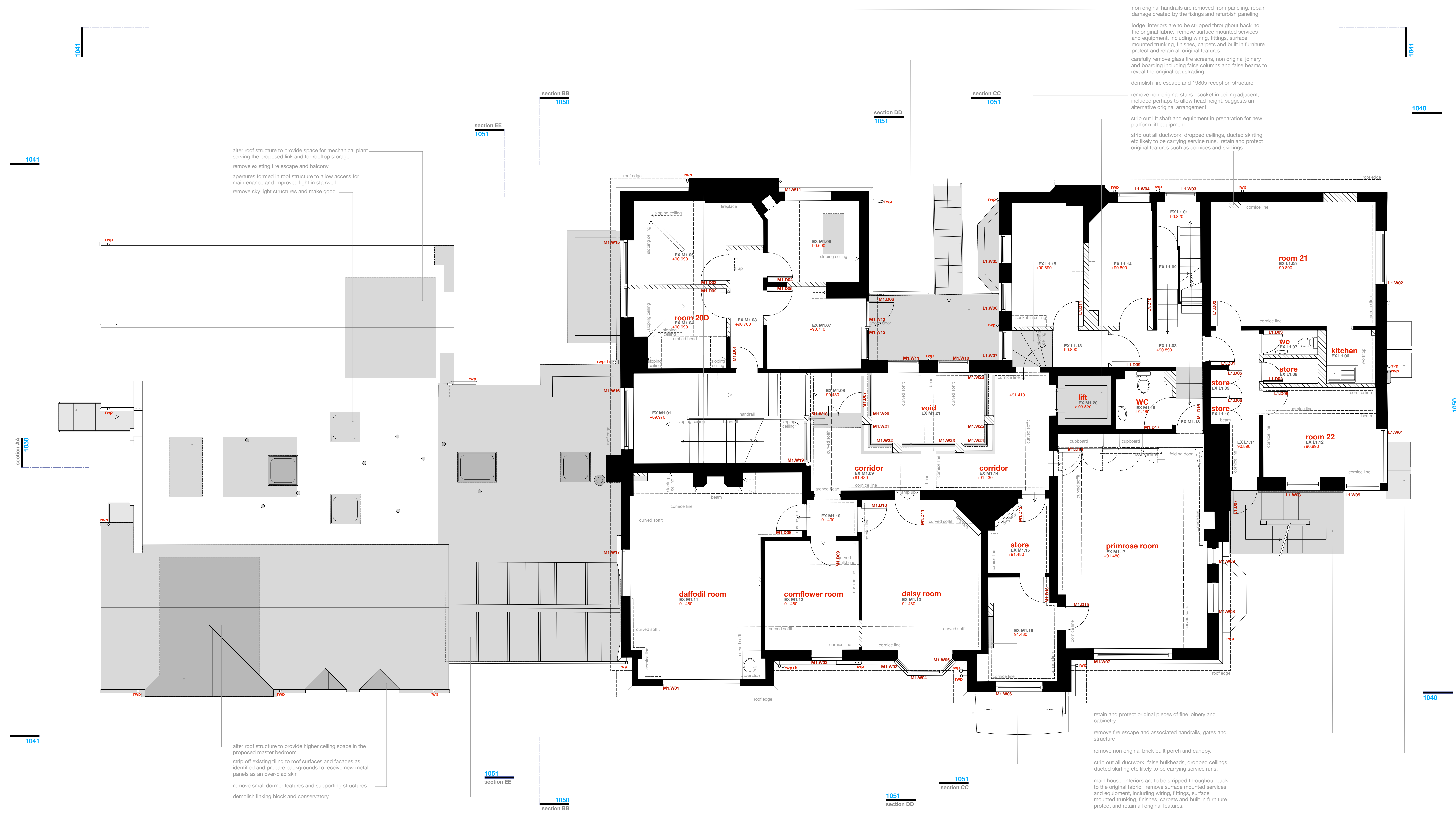
KEY
 Existing Walls
 Walls to be demolished and removed
 Areas to be demolished and removed

windows
 bhc bottom hung timber casement window
 thc top hung timber casement window
 shc side hung casement
 vsc vertical sliding sash timber window
 fl fixed light timber window
 flt roof light (flat roof)
 vlt velux style roof light (pitched roof)
 csl conservation style roof light (pitched roof)
 h ceiling hatch
 hf floor hatch
 sd sliding door
 sld sliding looking door

drainage services and landscape
 mh Existing manhole
 ic Existing inspection chamber
 wic Existing water service inspection chamber

FWIC 01
 icw inspection chamber collecting foul water drainage
 swp soil vent pipe and underground foul water drainage
 rwp rainwater pipe, gully and underground surface water drainage
 rwpsh rainwater hopper draining into rainwater hopper
 rps rainwater spout

mechanical: heating
 gas fired boiler and wall mounted fuel
 unvented cylinder



alter roof structure to provide space for mechanical plant serving the proposed link and for rooftop storage
 remove existing fire escape and balcony
 apertures formed in roof structure to allow access for maintenance and improved light in stairwell
 remove sky light structures and make good

alter roof structure to provide higher ceiling space in the proposed master bedroom
 strip off existing tiling to roof surfaces and facades as identified and prepare backgrounds to receive new metal panels as an over-clad skin
 remove small dormer features and supporting structures
 demolish linking block and conservatory

non original handrails are removed from paneling, repair damage created by the fixings and refurbish paneling
 lodge, interiors are to be stripped throughout back to the original fabric. remove surface mounted services and equipment, including wiring, fittings, surface mounted trunking, finishes, carpets and built in furniture, protect and retain all original features.
 carefully remove glass fire screens, non original joinery and boarding including false columns and false beams to reveal the original balustrading.
 demolish fire escape and 1980s reception structure
 remove non-original stairs, socket in ceiling adjacent, included perhaps to allow head height, suggests an alternative original arrangement
 strip out lift shaft and equipment in preparation for new platform lift equipment
 strip out all ductwork, dropped ceilings, ducted skirting etc likely to be carrying service runs. retain and protect original features such as cornices and skirtings.

retain and protect original pieces of fine joinery and cabinetry
 remove fire escape and associated handrails, gates and structure
 remove non original brick built porch and canopy
 strip out all ductwork, false bulkheads, dropped ceilings, ducted skirting etc likely to be carrying service runs.
 main house, interiors are to be stripped throughout back to the original fabric. remove surface mounted services and equipment, including wiring, fittings, surface mounted trunking, finishes, carpets and built in furniture, protect and retain all original features.

REV C 15 Jan 2021 GM/G
 Planning Application further revised, see notes above
 REV B 10 Aug 2020 GM/G
 Revised Planning Application marked at Revision B
 REV A 05 Dec 2019 GM/G
 Original Planning Application marked at Revision A

REV	DATE	DRN	CHKD
PROJECT			
The Hoo: Scheme 2			
17 Lyndhurst Gardens,			
Hampstead, London			
Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
CLIENT			
Mr and Mrs Yu			
REPRESENTED BY			
JAGA Developments (London)			
DRAWING			
First Floor Layout			
as Existing			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM/G	
			DATE
			May 2020

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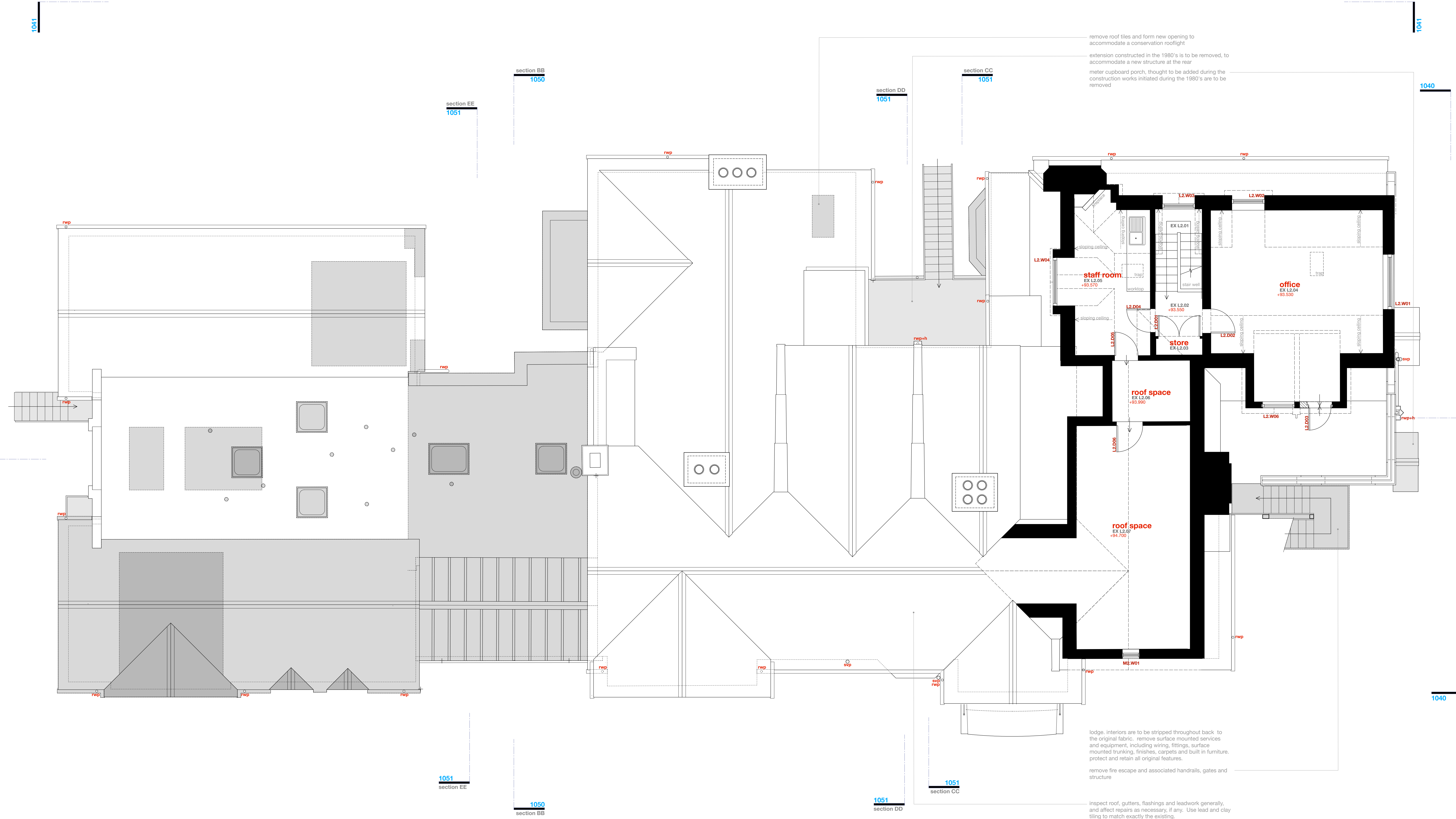
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- KEY**
- Existing Walls
 - Walls to be demolished and removed
 - Areas to be demolished and removed

- Features**
- windows**
- bhc bottom hung timber casement window
 - thc top hung timber casement window
 - shc side hung casement
 - vsa vertical sliding sash timber window
 - ft fixed light timber window
 - rt roof light (flat roof)
 - vrt velux style roof light (pitched roof)
 - ort conservation style roof light (pitched roof)
 - h ceiling hatch
 - hf floor hatch
 - sd sliding door
 - sfd sliding folding door
- drainage services and landscape**
- mh Existing manhole
 - ic Existing inspection chamber
 - wic Existing water service inspection chamber
- FWIC 01**
- icw inspection chamber collecting foul water drainage
 - swp Soil vent pipe and underground foul water drainage
 - rwp rainwater pipe, gully and underground surface water drainage
 - rwp-h rainwater hopper draining into rainwater hopper
 - rs rainwater spout
- mechanical: heating**
- gas gas fired boiler and wall mounted flue
 - unvented cylinder



REV	DATE	DRN	CHKD
REV C	15 Jan 2021	GM/G	
Planning Application further revised, see notes above			
REV B	10 Aug 2020	GM/G	
Revised Planning Application marked at Revision B			
REV A	05 Dec 2019	GM/G	
Original Planning Application marked at Revision A			

PROJECT
 The Hoo, Scheme 2
 17 Lyndhurst Gardens,
 Hampstead, London
 Returning a Grand Victorian House to Private Domestic Accommodation
 NW3 SNU

CLIENT
 Mr and Mrs Yu
 REPRESENTED BY
 JAGA Developments (London)

DRAWING
 Second Floor Layout
 as Existing

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		May 2020

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KEY

	Existing Walls
	Walls to be demolished and removed
	Areas to be demolished and removed

FEATURES

windows

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vsa vertical sliding sash timber window
- fl fixed light timber window
- fl roof light (flat roof)
- vtl velux style roof light (gabled roof)
- oif conservation style roof light (gabled roof)
- h ceiling hatch
- hf floor hatch
- sd sliding door
- sdd sliding folding door

drainage services and landscape

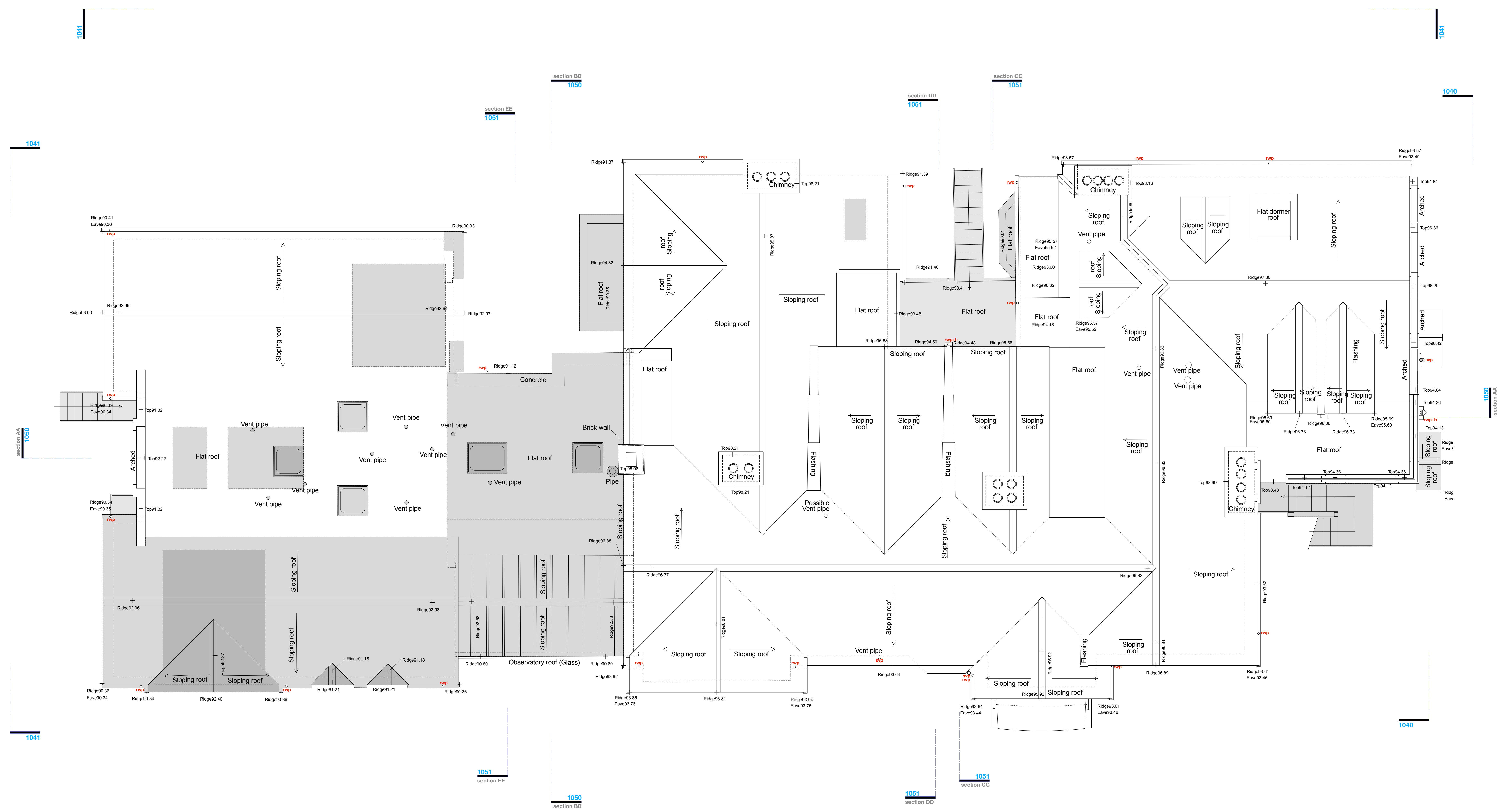
- mh existing manhole
- ic existing inspection chamber
- wic existing water service inspection chamber

FWIC 01

- ic inspection chamber collecting foul water drainage
- swp soil vent pipe and underground foul water drainage
- rwp rainwater pipe, gully and underground surface water drainage
- rwpsh rainwater hopper draining into rainwater hopper
- rp rainwater spout

mechanical: heating

- gas fire boiler and wall mounted flue
- unvented cylinder



REV C	15 Jan 2021	GM/G	Planning Application further revised, see notes above
REV B	10 Aug 2020	GM/G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM/G	Original Planning Application marked at Revision A

PROJECT
The Hoo, Scheme 2
 17 Lyndhurst Gardens,
 Hampstead, London

CLIENT
 Mr and Mrs Yu
 REPRESENTED BY
 JAGA Developments (London)

DRAWING
Roof Layout
 as Existing

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		May 2020

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KEY
 ■ Areas to be demolished and removed.

Features

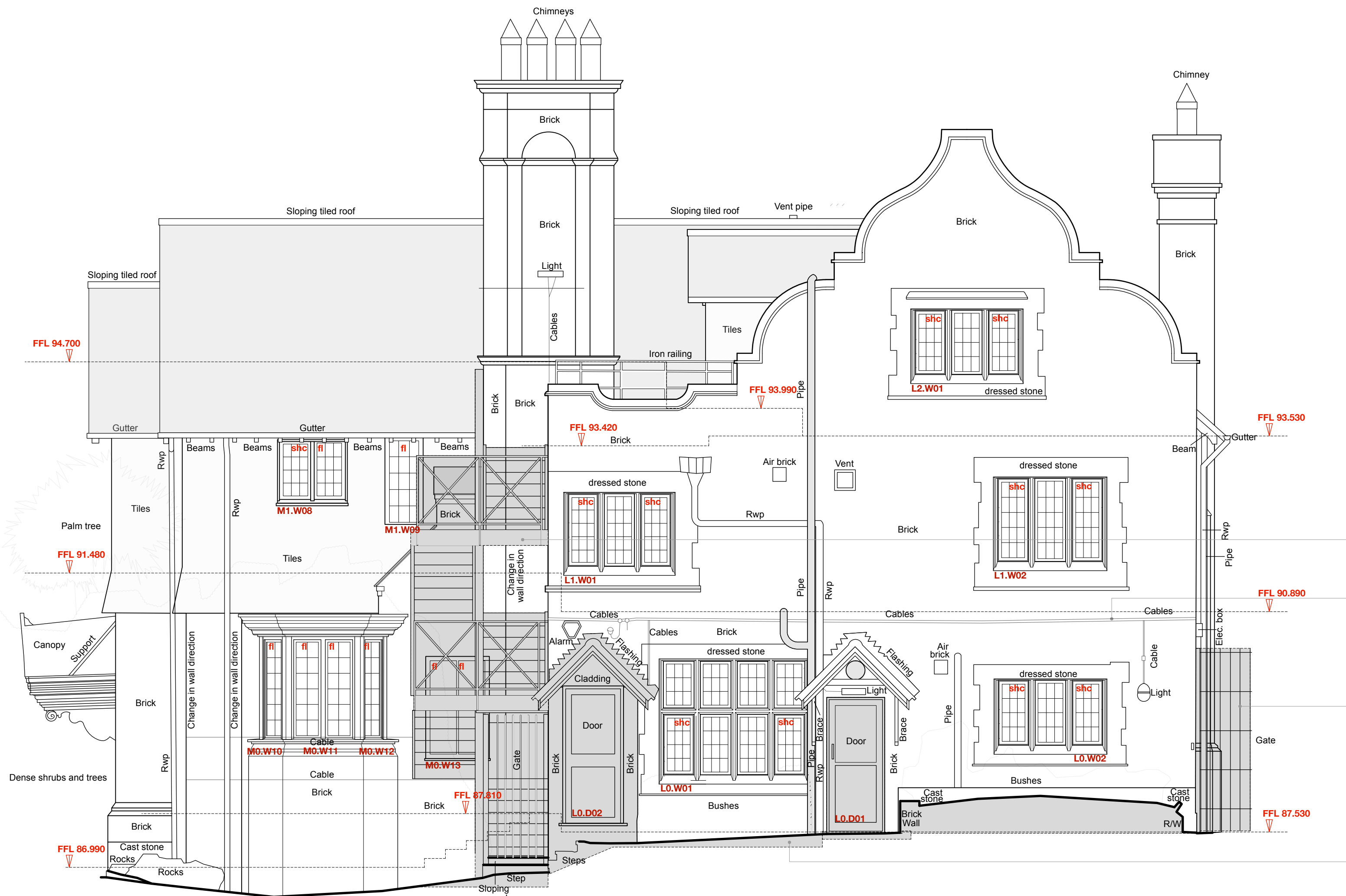
- windows
- bhc bottom hung timber casement window
 - thc top hung timber casement window
 - shc side hung casement
 - vs vertical sliding sash timber window
 - tt tt and turn window
 - rt roof light timber window
 - rt roof light (flat roof)
 - vtl valua style roof light (pitched roof)
 - ort conservation style roof light (pitched roof)
 - h ceiling hatch
 - sd sliding door
 - pd pivot door
 - f wall / roof mounted flue to gas boiler / gas fire, terminal colour as brick
 - abx extract terminal as air track, such as rufors, rufex, colour coded to suit brickwork
 - mx mushroom extract terminal for flat roof
 - prx fabricated lead pitched roof vent as extract terminal, such as provided by o'brien sheet lead (transoms full)

existing openings are adjusted ready to receive new, larger windows
 tiling, flashings etc are to be stripped from the existing roofs and walls in preparation for recladding in sheet metal. see proposed elevations dwg 1140 and 1141
 small dormer structures are to be removed completely opening inserted into existing structure to receive new glass walled gable



Principal Elevation: South

DATUM 83.000



Principal Elevation: East

DATUM 83.000

REV C 15 Jan 2021 GM/G
 Planning Application further revised, see notes above
 REV B 10 Aug 2020 GM/G
 Revised Planning Application marked at Revision B
 REV A 05 Dec 2019 GM/G
 Original Planning Application marked at Revision A

PROJECT
The Hoo: Scheme 2
17 Lyndhurst Gardens,
Hampstead, London
 Returning a Grand Victorian House to Private Domestic Accommodation
 NW3 SNU

CLIENT
Mr and Mrs Yu
 REPRESENTED BY
JAGA Developments (London)

DRAWING
South and East Elevations
 as Existing

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G	GM/G	Oct 2019

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KEY
 ■ Areas to be demolished and removed.

Features

- windows**
- bhc bottom hung timber casement window
 - thc top hung timber casement window
 - shc side hung casement
 - vss vertical sliding sash timber window
 - tt tt and turn window
 - fl fixed light timber window
 - mi roof light (flat roof)
 - vrl valux style roof light (pitched roof)
 - ort conservation style roof light (pitched roof)
- doors**
- h ceiling hatch
 - sd sliding door
 - pd pivot door
 - f wall / roof mounted flue to gas boiler / gas fire, terraced colour as brick
 - abx extract terminal as air track, such as raptors, refer to colour codes to suit brickwork
 - mx mushroom extract terminal for flat roof
 - prx separated lead pitched roof vent as extract terminal, such as provided by orbiem sheet lead (horizontal cut)



Principal Elevation: North

DATUM 03.000



Principal Elevation: West

DATUM 03.000

REV C 15 Jan 2021 GM/G
 Planning Application further revised, see notes above
 REV B 10 Aug 2020 GM/G
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PROJECT: The Hoo: Scheme 2
 17 Lyndhurst Gardens,
 Hampstead, London
 Returning a Grand Victorian House to Private Domestic Accommodation
 NW3 5NU

CLIENT: Mr and Mrs Yu
 REPRESENTED BY: JAGA Developments (London)

DRAWING: North and West Elevations
 as Existing

SCALE: 1:50
 SHEET SIZE: A0
 DRAWN: GM/G
 CHECKED: GM/G
 DATE: Oct 2019

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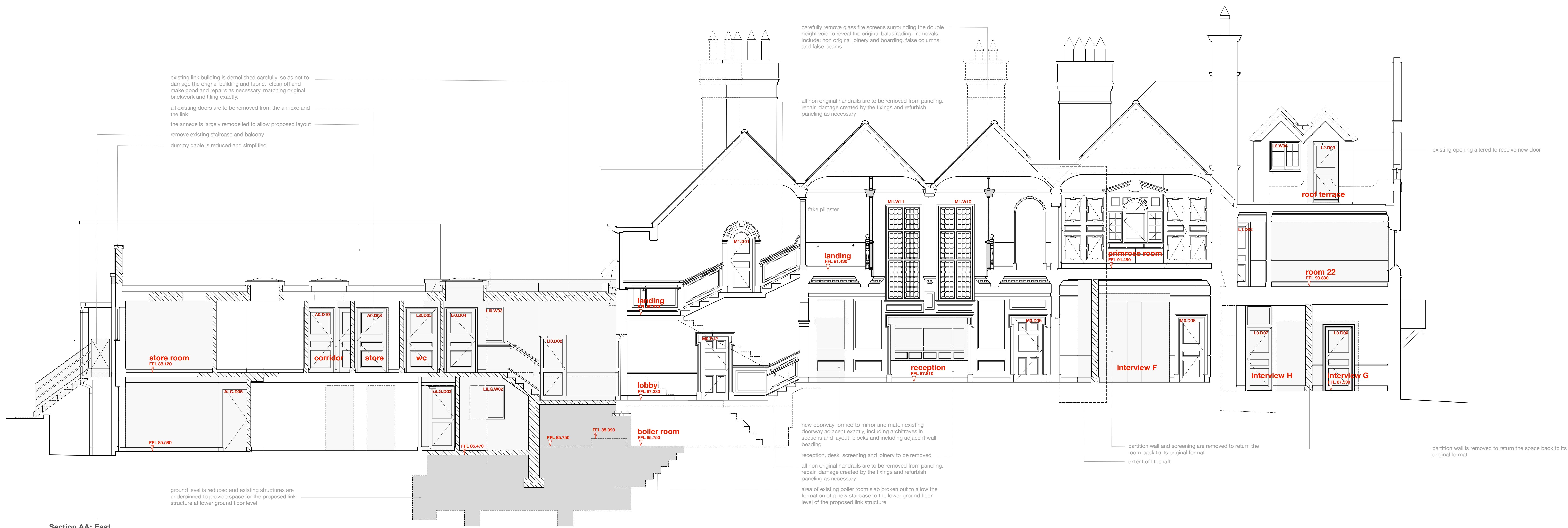
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KEY

Walls to be demolished and removed

Areas to be demolished and removed

- Features**
- windows
 - bhc bottom hung timber casement window
 - tbc top hung timber casement window
 - sbc side hung casement window
 - vss vertical sliding sash timber window
 - tlh t/l and u/l timber window
 - tl fixed light timber window
 - rt roof light (flat roof)
 - vti victa style roof light (pitched roof)
 - ofl conservation style roof light (pitched roof)
 - h ceiling hatch
 - sd sliding door
 - pd pivot door
 - f wall / roof mounted flue to gas boiler / gas fire, terminal colour as black
 - axt extract terminal as air track, such as rufors, ruforflex, colour coded to suit timework
 - mx mushroom extract terminal for flat roof
 - prx fabricated lead pitched roof vent as extract terminal, such as provided by o/brian sheet lead fascions fasci



Section AA: East

DATUM 83.000



Section BB: West

DATUM 83.000

REV C 15 Jan 2021 GM/G

Planning Application further revised, see notes above

REV B 10 Aug 2020 GM/G

Revised Planning Application marked at Revision B

REV A 05 Dec 2019 GM/G

Original Planning Application marked at Revision A

REV	DATE	DRN	CHKD

PROJECT

The Hoo: Scheme 2
17 Lyndhurst Gardens,
Hampstead, London

Returning 1 Grand Victorian House to Private Domestic Accommodation NWS SNU

CLIENT

Mr and Mrs Yu
REPRESENTED BY
JAGA Developments (London)

DRAWING

Sections AA-BB
as Existing

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		Nov 2019

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 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Survey drawings are kindly provided by Malcolm Hughes Land Surveys Ltd and are assumed to accurately describe the existing building, services and external spaces.

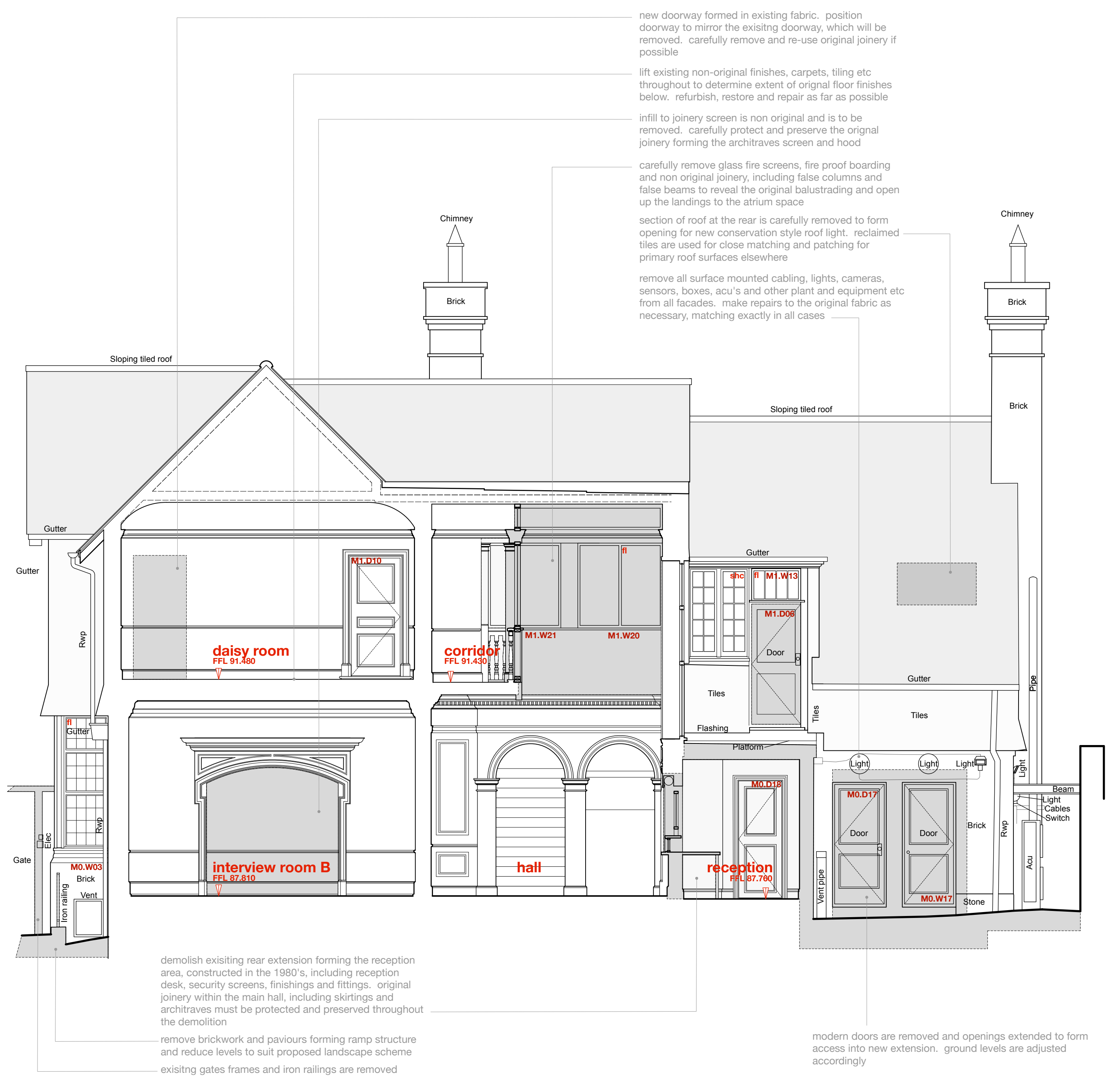
KEY
 Areas to be demolished and removed

Features

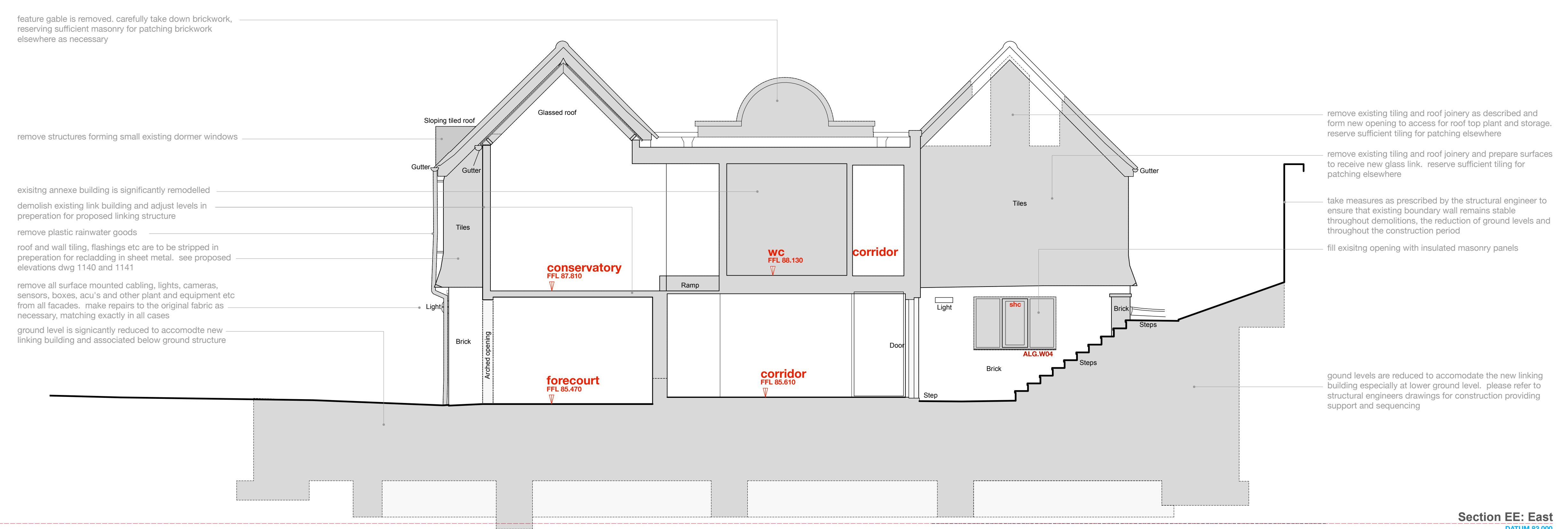
- windows**
- bhc bottom hung timber casement window
 - thc top hung timber casement window
 - shc side hung casement
 - vts vertical sliding sash timber window
 - ttt tilt and turn window
 - ftt fixed light timber window
 - rtt roof light (flat roof)
 - vrtt valua style roof light (pitched roof)
 - ortt conservation style roof light (pitched roof)
 - h ceiling hatch
 - sd sliding door
 - pd pivot door
 - r wall / roof mounted flue to gas boiler / gas fire, terminal colour is black
 - abx extract terminal as air brick, such as rstone, rstone&co, colour coded to suit brickwork
 - mx multinoon extract terminal for flat roof
 - prx fabricated lead pitched roof vent as extract terminal, such as provided by other sheet lead fabrications Ltd



Section CC: West



Section DD: East
DATUM 83.000



Section EE: East
DATUM 83.000

REV C 15 Jan 2021 GM/G
 Planning Application further revised, see notes above
 REV B 19 Aug 2020 GM/G
 Revised Planning Application marked at Revision B
 REV A 05 Dec 2019 GM/G
 Original Planning Application marked at Revision A

PROJECT
The Hoo: Scheme 2
 17 Lyndhurst Gardens,
 Hampstead, London
 (Formerly A Grand Victorian House to Private Domestic Accommodation NWS SNU)
 CLIENT
Mr and Mrs Yu
 REPRESENTED BY
JAGA Developments (London)
 DRAWING
Sections CC-EE
as Existing
 SCALE 1:50
 SHEET SIZE A0
 DRAWN GM/G
 CHECKED
 DATE Oct 2019

BOWKER SADLER ARCHITECTURE
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JOB No: **19013**
 DRAWING No: **1051**
 REVISION: **C**
 STATUS: **FOR PLANNING**