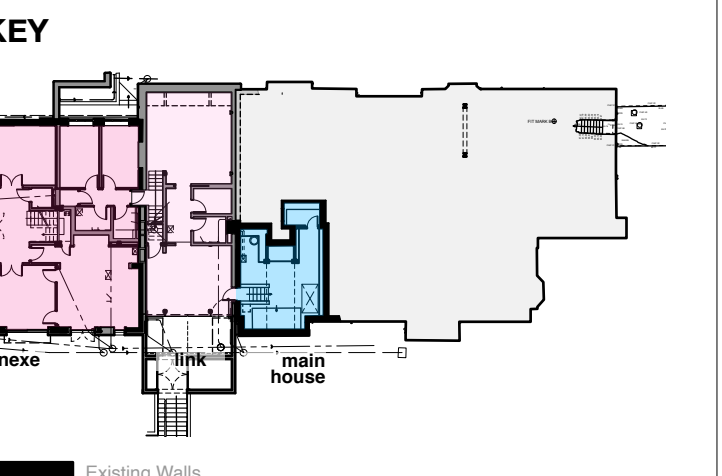


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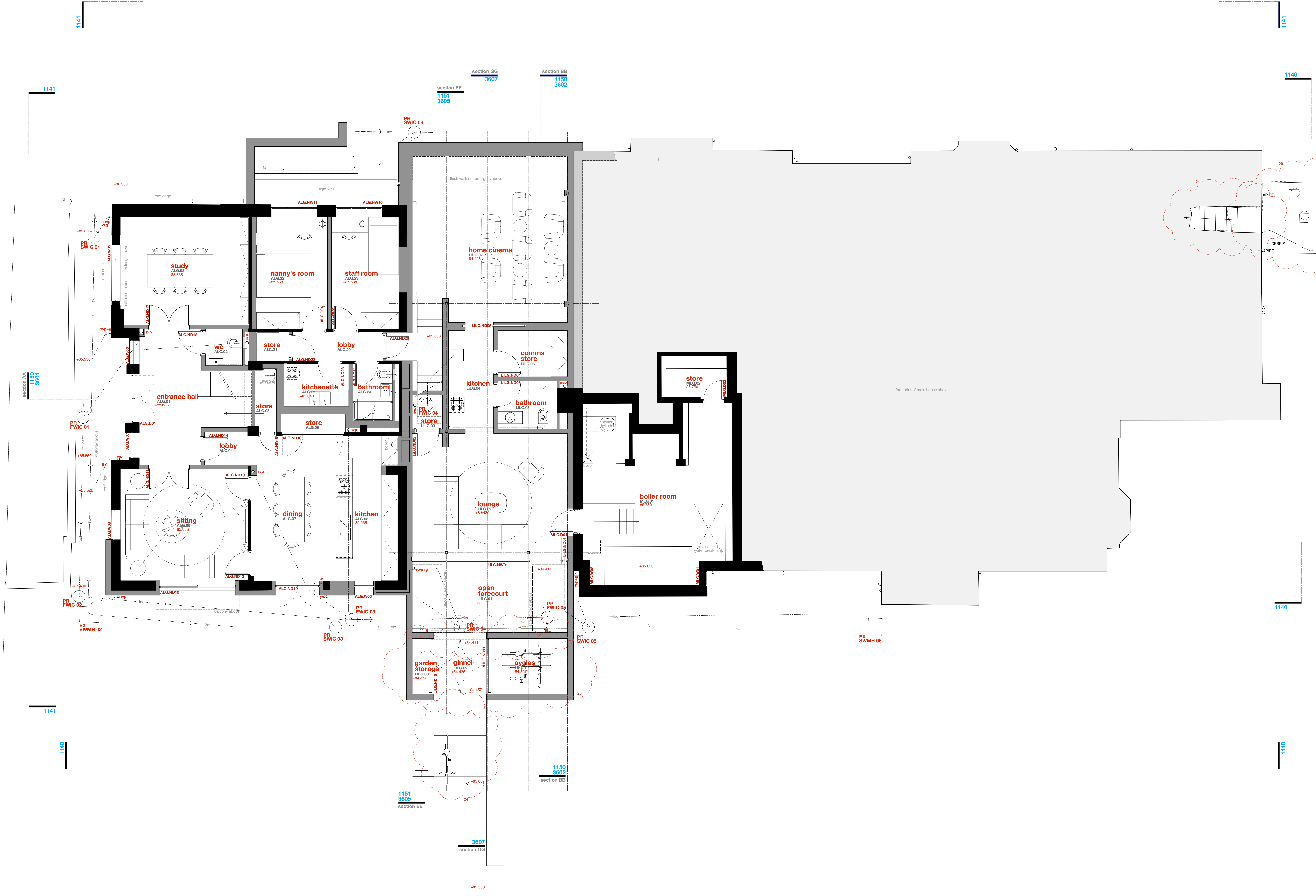
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- KEY**
- Existing Walls  
 New walls to be inserted
- Features**
- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - rl roof light (flat roof)
  - vtl velux style roof light (pitched roof)
  - qrl conservation style roof light (pitched roof)

- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- icw inspection chamber collecting foul water drainage
  - swp spot vent pipe and underground foul water drainage
  - w waste pipe from washbasin/shower to foul water drainage
  - rwp ramwater pipe, gully and underground surface water drainage
  - rwhp ramwater hopper draining into sewer water hopper
  - sp ramwater spout

- mechanical: heating**
- gas fired boiler and wall mounted flue
  - unvented cylinder
- scheme 2 further revisions**
- 20 underground cellar is retained and stabilised as directed by the structural engineer and as appropriate and incorporated into the design.
  - 21 staircase is reinstated and repaired as necessary. staircase will be accessed via a floor hatch above.
  - 22 wall is moved to the north by 450mm to reduce the extent of subterranean construction located in front of the proposed link building.
  - 23 width of subterranean storage is significantly reduced in width by 200mm to reduce the amount of subterranean construction in front of the proposed link building by 1462mm.
  - 24 external slab is moved by 1462mm to the north with reduction of subterranean structure.



REV C 15 Jan 2021 GM/G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM/G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM/G  
 Original Planning Application marked at Revision A

PROJECT  
**The Hoo: Scheme 2**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU

CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING  
**Lower Ground Floor Layout**  
**as Proposed**

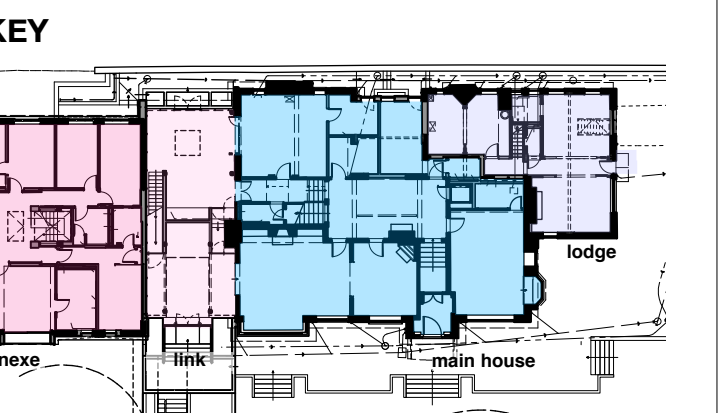
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A4	GM/G	GM/G	May 2020

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JOB No	DRAWING No	REVISION
19013	1120	C
STATUS FOR PLANNING		

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Survey drawings are kindly provided by Habitat Higher Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- KEY**
- Existing Walls
  - New walls to be inserted
- Features**
- windows**
    - bhc bottom hung timber casement window
    - thc top hung timber casement window
    - shc side hung casement
    - vss vertical sliding sash timber window
    - flc fixed light timber window
    - frl roof light (flat roof)
    - vrl velux style roof light (pitched roof)
    - ortl conservation style roof light (pitched roof)
    - h ceiling hatch
    - fh floor hatch
    - sd sliding door
    - sld sliding folding door
  - drainage services and landscape**
    - mb Existing manhole
    - ic Existing inspection chamber
    - wic Existing water service inspection chamber
  - FWIC 01**
    - inspection chamber collecting foul water drainage
    - swp Soil vent pipe and underground foul water drainage
    - w Waste pipe from washbasin/shower to foul water drainage
    - rwp Flawwater pipe, gully and underground surface water drainage
    - rwp+h Flawwater hopper chakra into rainwater hopper
    - sp Flawwater spout
  - mechanical: heating**
    - gas fire boiler and wall mounted flue
    - unvented cylinder

- scheme 2 further revisions**
- proposed porch removed and existing canopy is retained. new roof door and seal installed
  - non original sep removed from principal facade, change re-located to north elevation
  - coverings are reduced and lowered to include more original fabric, glass presentation boxes are removed
  - floor hatch providing access to underground cellar
  - underground cellar is retained and established as appropriate and incorporated into the design
  - length of ribs are increased to retain more original fabric and the sense of separation
  - new marking position removed as a consequence of 21 (skew)
  - gill line and structure moved slightly northwards
  - depth of glass bay reduced by 200mm to recess structure from principal facade of historic building
  - terrace structure is significantly reduced in width by 1012mm to reduce the amount of submerge construction in form of the proposed fire building, south face is located 1460mm further northwards
  - external stair is moved by 1460mm to the north with reduction of submerged terrace structure
  - terrace structure is removed to allow increased green space and match the latest landscape proposals

REV C 15 Jan 2021 GM/G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM/G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM/G  
 Original Planning Application marked at Revision A

REV	DATE	DRN	CHKD
C	15 Jan 2021	GM/G	
B	10 Aug 2020	GM/G	
A	05 Dec 2019	GM/G	

**PROJECT**  
 The Hoo: Scheme 2  
 17 Lyndhurst Gardens,  
 Hampstead, London

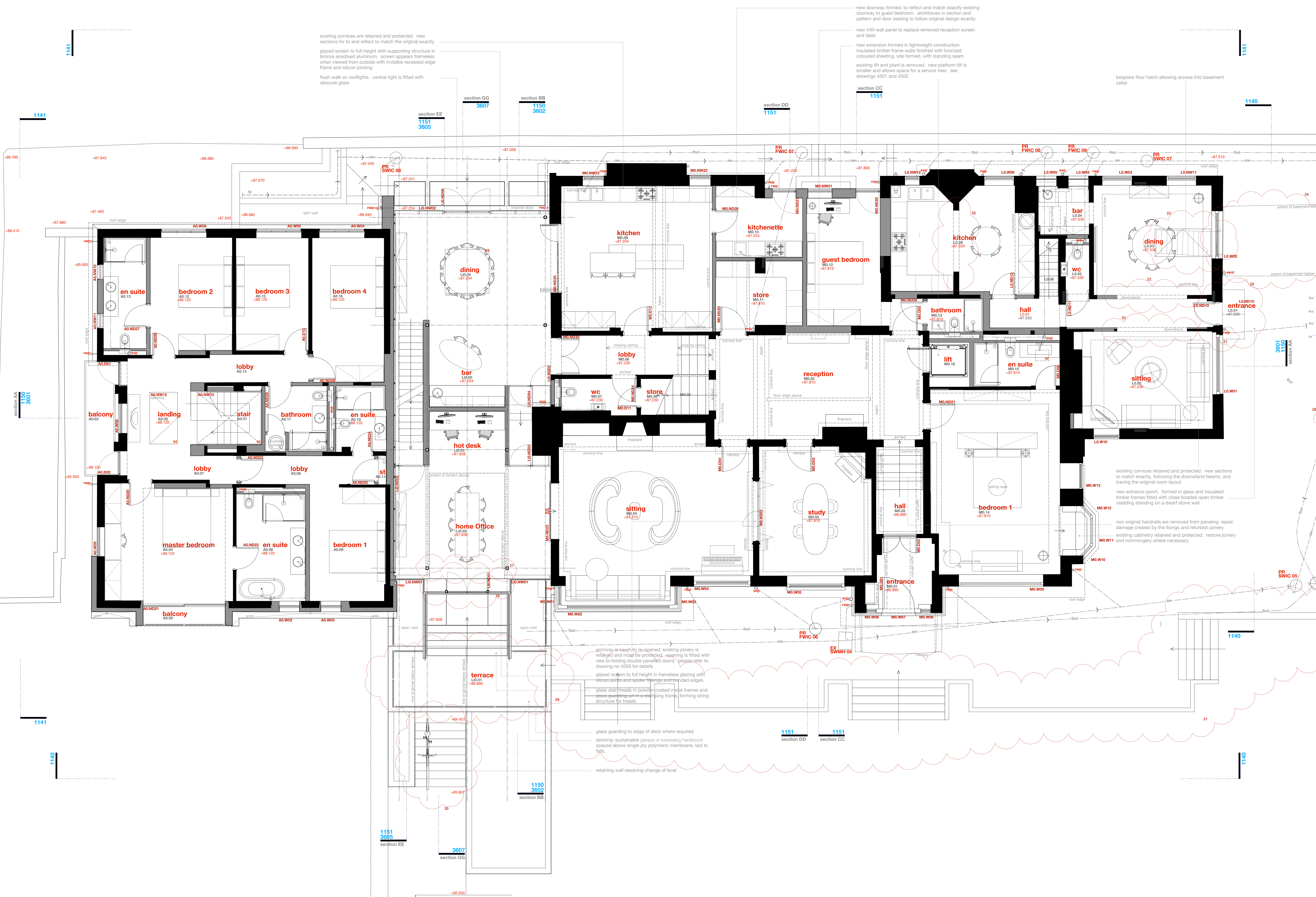
**CLIENT**  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

**DRAWING**  
 Ground Floor Layout  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		May 2020

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JOB No	DRAWING No	REVISION
19013	1121	C
STATUS FOR PLANNING		



existing cornices are retained and protected, new sections for to and reflect to match the original exactly glazed screen to full height with supporting structure in bronze anodised aluminium, screen appears frameless when viewed from outside with invisible recessed edge frame and silicon jointing  
 flush walk on rooflights, central light is fitted with obscure glass

new doorway formed, to reflect and match exactly existing doorway to guest bedroom, architraves in section and pattern and door seating to follow original design exactly  
 new infill wall panel to replace removed reception screen and desk

new extension formed in lightweight construction, insulated timber frame walls finished with bronzed coloured sheathing, site formed, with standing seam  
 existing lift and plant is removed, new platform lift is smaller and allows space for a service riser - see drawings 4501 and 4502

bespoke floor hatch allowing access into basement cellar

archway is carefully re-opened, existing joinery is retained and may be protected - opening is fitted with new bi-folding double parallel doors - please refer to drawing no 4200 for details  
 glazed screen to full height in frameless glazing with silicon joints and spider fittings and bonded edges  
 glass stair treads in powder coated metal frames and glass panels with aluminium framing, forming string structure for treads

glass guarding to edge of deck where required  
 decking: sustainable garapa or kerawing hardwood spaced above single ply polymeric membrane, laid to falls  
 retaining wall resolving change of level

1141

1140

section GG  
3607

section BB  
1150  
3602

section DD  
1151

section CC  
1151

section EE  
1151  
3605

1141

section AA  
1150  
3601

1141

1140

1151  
3605  
section EE

3607  
section GG

1151  
section DD

1151  
section CC

1140

1140

1150  
3602  
section BB

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Some drawings are kindly provided by relevant Highways, Local Councils L10 and are assumed to accurately describe the existing buildings, services and external spaces.

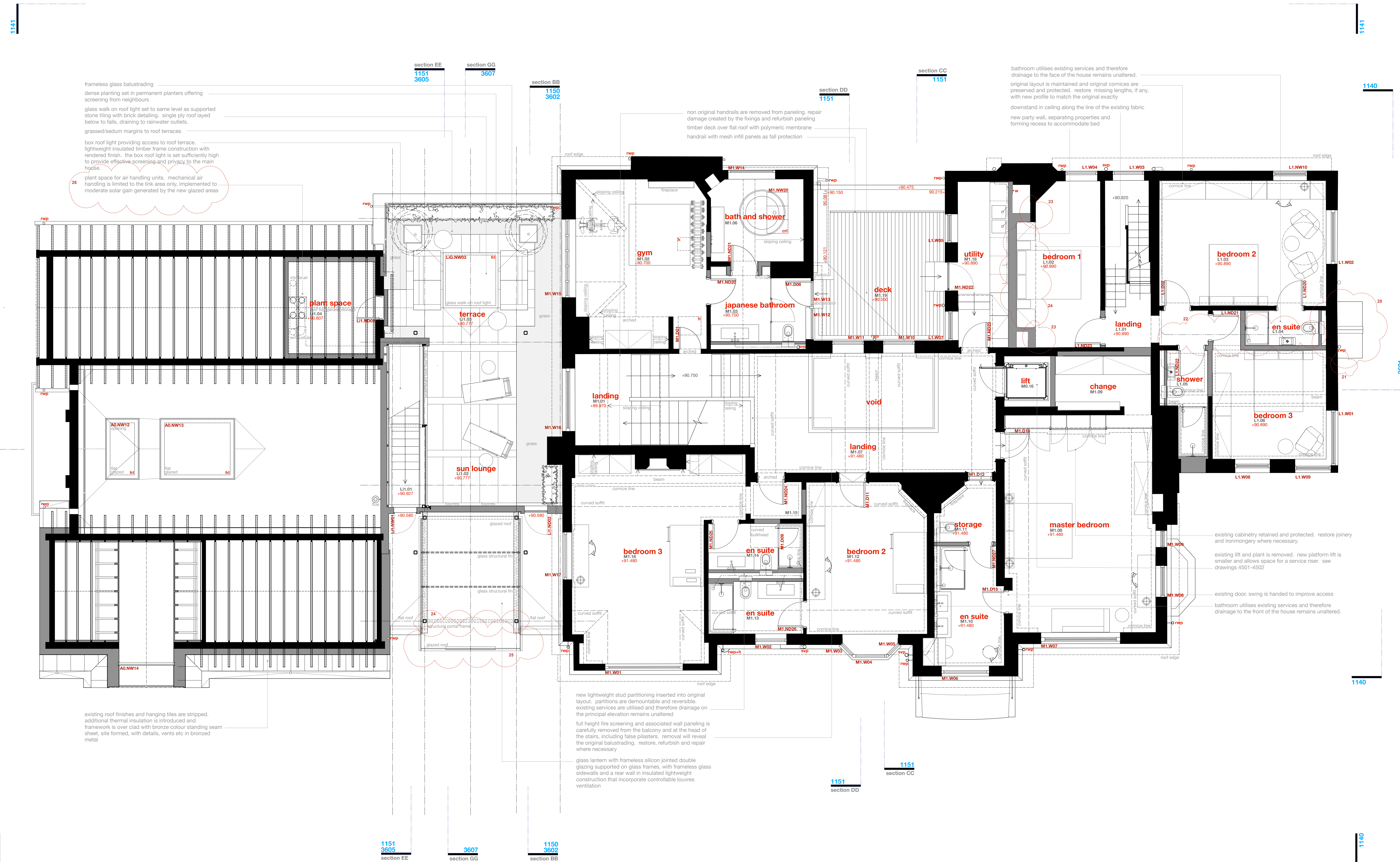


**KEY**  
 Existing Walls  
 New walls to be inserted

**Features**

- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - rl roof light (flat roof)
  - vrl velux style roof light (pitched roof)
  - crf conservation style roof light (pitched roof)
  - h ceiling hatch
  - lf floor hatch
  - sd sliding door
  - std sliding folding door
- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- rcw inspection chamber collecting foul water drainage
  - svp soil vent pipe and underground foul water drainage
  - w waste pipe from washbasin/shower to foul water drainage
  - rwp rainwater pipe, gully and underground surface water drainage
  - rhwh rainwater hopper draining into rainwater foruse
  - rs rainwater spout
- mechanical: heating**
- g gas fired boiler and wall mounted flue
  - uc unvented cylinder

- scheme 2 further revisions**
- 20 proposed porch removed and existing canopy is retained.
  - 21 non original esp removed from principal facade, drainage is routed to north elevation
  - 22 revised drainage layout allowing non original esp to be removed from the principal east elevation
  - 23 length of ribs are increased and soffits is lowered, thus retaining more original fabric
  - 24 glt line and structure moved slightly northwards
  - 25 depth of glass bay reduced by 250mm to recess the proposed facade from principal facade of historic building
  - 26 test added and note more clearly defined



frameless glass balustrading  
 dense planting set in permanent planters offering screening from neighbours  
 glass walk on roof light set to same level as supported stone tiling with brick detailing. single ply roof layered below to falls, draining to rainwater outlets.  
 grassed/sedum margins to roof terraces  
 box roof light providing access to roof terrace. lightweight insulated timber frame construction with rendered finish. the box roof light is set sufficiently high to provide effective screening and privacy to the main house.  
 plant space for air handling units, mechanical air handling is limited to the link area only, implemented to moderate solar gain generated by the new glazed areas

non original handrails are removed from panelling, repair damage created by the fixings and refurbish panelling  
 timber deck over flat roof with polymeric membrane handrail with mesh infill panels as fall protection

bathroom utilises existing services and therefore drainage to the face of the house remains unaltered.  
 original layout is maintained and original cornices are preserved and protected, restore missing lengths, if any, with new profile to match the original exactly  
 new party wall, separating properties and forming recess to accommodate bed

existing roof finishes and hanging tiles are stripped, additional thermal insulation is introduced and framework is over clad with bronze colour standing seam sheet, site formed, with details, vents etc in bronzed metal

new lightweight stud partitioning inserted into original layout, partitions are demountable and reversible.  
 existing services are utilised and therefore drainage on the principal elevation remains unaltered  
 full height fire screening and associated wall panelling is carefully removed from the balcony and at the head of the stairs, including false plaster. removal will reveal the original balustrading, restore, refurbish and repair where necessary

glass lantern with frameless silicon jointed double glazing supported on glass frames, with frameless glass side walls and a rear wall in insulated lightweight construction that incorporate controllable louvres ventilation

existing cabinetry retained and protected, restore joinery and ironmongery where necessary.  
 existing lift and plant is removed, new platform lift is smaller and allows space for a service riser, see drawings 4501-4502  
 existing door, swing is handed to improve access  
 bathroom utilises existing services and therefore drainage to the front of the house remains unaltered.

REV C 15 Jan 2021 GM/G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM/G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM/G  
 Original Planning Application marked at Revision A

PROJECT  
**The Hoo: Scheme 2**  
 17 Lyndhurst Gardens,  
 Hampstead, London

CLIENT  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

DRAWING  
**First Floor Layout**  
 as Proposed

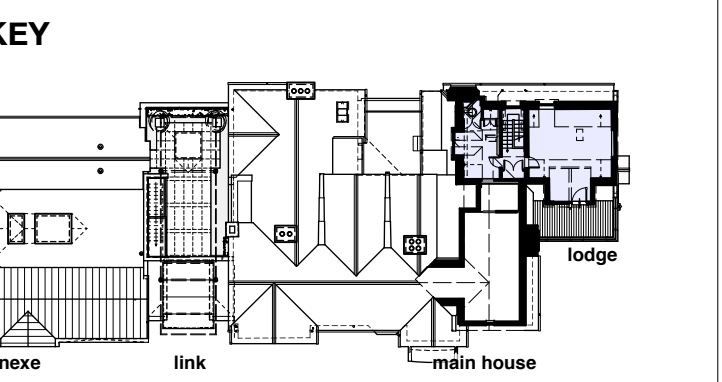
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G	GM/G	May 2021

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JOB NO: 19013  
 DRAWING NO: 1122  
 REVISION: C  
 STATUS: FOR PLANNING

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Survey drawings are kindly provided by Mutton Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



**KEY**  
 Existing Walls  
 New walls to be inserted

**Features**

- windows**
- bhc bottom hung timber casement window
  - lhc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - rt roof light (flat roof)
  - vtl velux style roof light (pitched roof)
  - ort conservation style roof light (pitched roof)
  - h ceiling hatch
  - fl floor hatch
  - sd sliding door
  - sfd sliding folding door

**drainage services and landscape**

- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber

**FWIC 01**

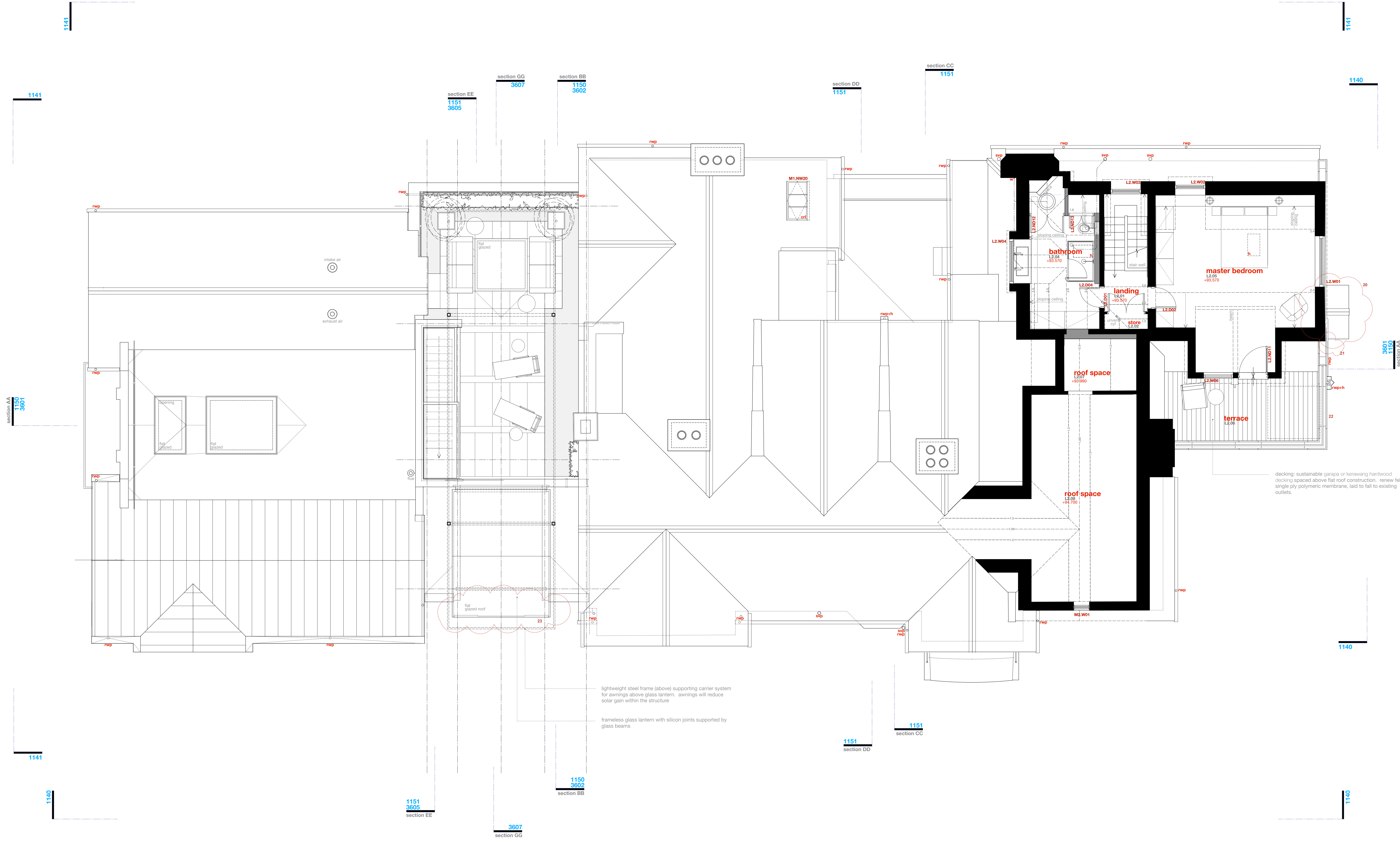
- icw inspection chamber collecting foul water drainage
- swp soil vent pipe and underground foul water drainage
- w waste pipe from washbasin/shower to foul water drainage
- rwp rainwater pipe, gully and underground surface water drainage
- rwp-h rainwater hopper draining into rainwater hopper
- sp rainwater spout

**mechanical: heating**

- g gas fire boiler and wall mounted flue
- o unvented cylinder

**scheme 2 further revisions**

- 20 proposed porch removed and existing canopy is retained.
- 21 non original ssp removed from principal facade, drainage removed to north elevation
- 22 please note that the glass glazing full protection to the terrace L2.05 was removed on the previously revised drawings REV B and replaced with conventional perforated metal louvers, based on the existing design, with vertical bar infill.
- 23 depth of glass bay reduced by 250mm to recess the proposed facade from principal facade of historic building



lightweight steel frame (above) supporting carrier system for awnings above glass lantern. awnings will reduce solar gain within the structure  
 frameless glass lantern with silicon joints supported by glass beams

decking: sustainable garapa or kerawing hardwood  
 decking spaced above flat roof construction. renew felt single ply polymeric membrane, laid to fall to existing outlets.

REV C	15 Jan 2021	GM/G	Planning Application further revised, see notes above
REV B	10 Aug 2020	GM/G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM/G	Original Planning Application marked at Revision A

**PROJECT**  
**The Hoo, Scheme 2**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU

**CLIENT**  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

**DRAWING**  
**Second Floor Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		May 2020

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**KEY**  
 Existing Walls  
 New walls to be inserted

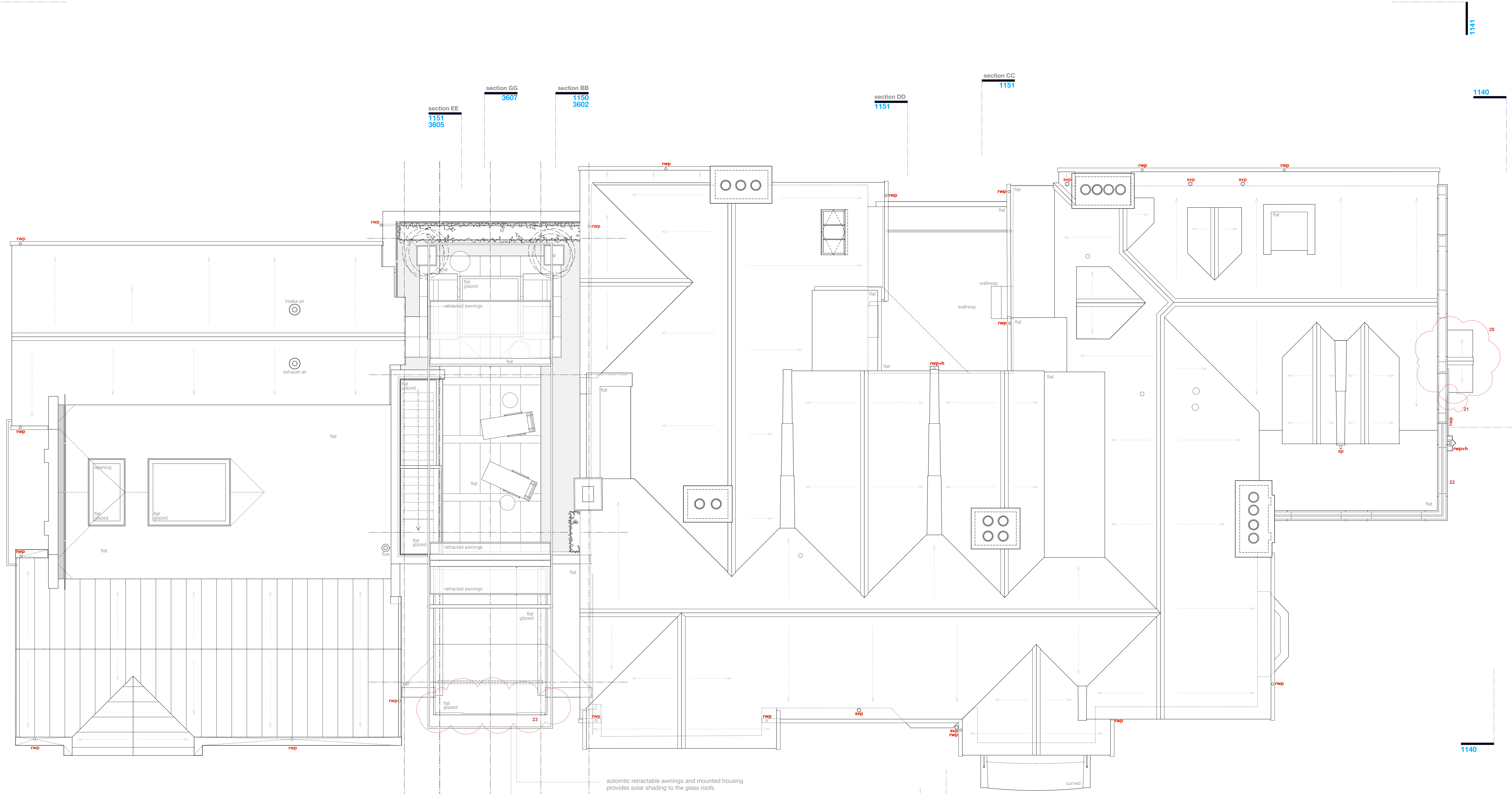
**Features**  
**windows**  
 bhc bottom hung timber casement window  
 thc top hung timber casement window  
 shc side hung casement  
 vss vertical sliding sash timber window  
 fl fixed light timber window  
 fl roof light (flat roof)  
 vrl velux style roof light (pitched roof)  
 csl conservation style roof light (pitched roof)  
 h ceiling hatch  
 fl floor hatch  
 sd sliding door  
 sld sliding folding door

**drainage services and landscape**  
 mh Existing manhole  
 ic Existing inspection chamber  
 wic Existing water service inspection chamber

**FWIC 01**  
 Inspection chamber collecting foul water drainage  
 SWP Soil vent pipe and underground foul water drainage  
 W Waste pipe from washbasin/shower to foul water drainage  
 RWP Rainwater pipe, gully and underground surface water drainage  
 RWP+H Rainwater hopper draining into rainwater hopper  
 RP Rainwater spout

**mechanical: heating**  
 gas fired boiler and wall mounted flue  
 unvented cylinder

**scheme 2 further revisions**  
 20 proposed porch removed and existing canopy is retained.  
 21 non original ssp removed from principal facade, drainage re-routed to north elevation  
 22 please note that the glass guarding fall protection to the terrace L2.00 was removed in the previously issued drawing REV B, and replaced with conventional painted metal frames, based on the existing design, with vertical bar infill.  
 23 depth of glass bay reduced by 200mm to access the proposed facade from principal facade of historic building



automatic retractable awnings and mounted housing provides solar shading to the glass roofs.  
 lightweight steel frame (above) supporting carrier system for awnings above glass lantern. awnings will reduce solar gain within the structure

REV C 15 Jan 2021 GM/G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM/G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM/G  
 Original Planning Application marked at Revision A

REV	DATE	DRN	CHKD
<b>PROJECT</b> <b>The Hoo, Scheme 2</b> <b>17 Lyndhurst Gardens,</b> <b>Hampstead, London</b> Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
<b>CLIENT</b> <b>Mr and Mrs Yu</b> REPRESENTED BY <b>JAGA Developments (London)</b>			
<b>DRAWING</b> <b>Roof Layout</b> <b>as Proposed</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A4	GM/G	May 2020

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STATUS	FOR PLANNING	