

# CONTEXT AND DORMER STATEMENT

SITE: 3 Ranulf Road, London, NW2 2TB  
DATE: 17 December 2020  
REF: 413-102-003-B

## 1.0 INTRODUCTION & CONTEXT

- 1.1 This statement is submitted to provide detail for the proposed rear dormer at 3 Ranulf Road, London, NW2 2TB. The main focus is the size and scale of dormers that have been approved in the vicinity of the property.

## 2.0 LAYOUT

- 2.1 The rear dormer is 2.5m wide by 1.6m tall. It has with 4no. windows to emulate the rhythm of the rear façade whose windows and doors work in groups of 2 and 4.
- 2.2 The dormer is 1.5m down from ridge, up 0.8m from eaves and set in 2.3m from side elevations.

## 3.0 NEIGHBOURING PROPERTIES

- 3.1 Planning permission has been previously granted for many of the properties in the vicinity of No.3 Ranulf Road, whose alterations included the creation dormers of varying types and scales. These properties include Nos.1, 5, 15 & 17 Ranulf Road, as well as Nos. 1, 5 & 7 Ardwick Road.
- 3.2 In 2015 a planning application whose alterations included the erection of rear roof extension, 2no. rear dormer roof extensions was granted for No.1 Ranulf Road - 2014/7012/P. This was following two previous approved planning applications for the provision of 2no. flat roof dormers adjacent to existing chimney stacks at roof level in in 2001 - PWX0103487, and for the provision of 2no. additional dormer windows to the front roof slope PWX0102088.



Proposed front and rear façade of No.1 Ranulf Road shown above (respectively) as per 2014/7012/P application. There are already 2no. 2 window dormers, about 1.4 m wide by 1.6m tall, on either side of the original central 1no. 5 window dormer to the front façade. These were approved as per PWX0102088.

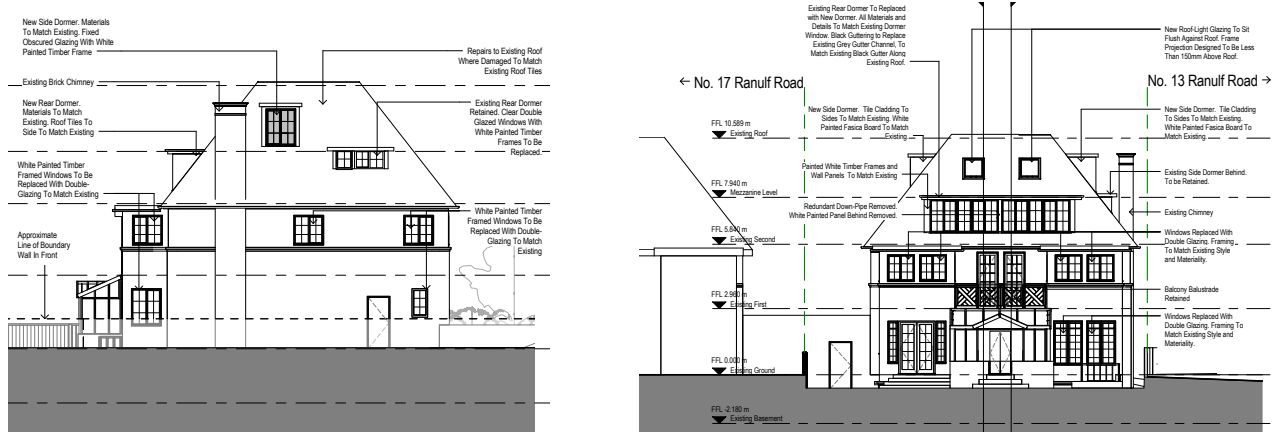
The proposed rear façade included changing the roof shape, and the addition of 1no. 3 window dormer to rear matching the original 1no. 3 window dormer, being about 2.2m wide by 1.6m tall. The two rear dormers are not symmetrical with the new roof.

- 3.3 In 2006 planning was granted for alterations including the erection of 2no. dormers to front, 2no. dormers to rear, and 1no. dormer to the side of the property behind chimney stack to No.5 Ranulf Road - 2006/1588/P.



Proposed front and rear façade of No.5 Ranulf Road shown above (respectively) as per 2006/1588/P application. There is an addition of 2no. 3 window dormers, of about 1.5 m wide by 1.6m tall, on either side of the original central 1no. 4 window dormer to the front façade. There is also the addition of 1no. 4 window dormer to the rear, being about 2.6m wide by 1.6m tall, to accompany an existing 1no. 3 window dormer.

- 3.4 In 2015 planning was granted for alterations including the addition of 2no. dormers on side elevations and the enlargement of an already very large existing 1no. 10 window rear dormer to No.15 Ranulf Road - 2015/1682/P.



The proposed 2no. 2 window side dormers to No.15 Ranulf Road shown in granted 2015/1682/P drawings above were taller and at a higher level than the existing 1no. 3 window, being about 1.6m wide by 1.6m tall. While the height of the 1no. 10 window front dormer was significantly increased, from about 1m to 1.6m tall, while its length remains just over 6.5m.

- 3.5 In 2017 planning was granted for alterations which included the addition of a 1no. 2 window side dormer and extension of 1no. existing rear dormer from 6 to 11 windows to No.17 - Ranulf Road 2017/6892/P.



Proposed rear elevation of No.17 Ranulf Road show above, as per 2017/6892/P application. The length of the proposed dormer greatly increases, going from approximately 4.5m long to 7m long while remaining just about 1.6m tall.

- 3.6 In 2017 planning was granted for alterations which included the installation of 2no. additional dormer windows to rear/side of No.1 Ardwick Road - 2017/3253/P. A previous planning application was also granted in 2015, where alterations included the addition of 2no. 2 window side dormers, being about 1.6m wide by 1.6m tall - 2015/3136/P.
- 3.7 Earlier planning applications have also been granted for Nos. 5 Ardwick Road in 1987, where alterations included the provision of a front dormer - 8700908. As well as an application for No.7 Ardwick Road, for a proposal including the construction of dormer windows in the roof - 2696.

#### 4.0 SUMMARY

- 4.1 The proposed rear dormer to No.3 Ranulf Road is in keeping with the style and scale of the dormers of surrounding properties, where LBC have approved similar sized or bigger dormers within the area in the past.



5.0 PHOTOS OF EXISTING



9. 3D view of Ranulf and Ardwick Road.



10. Satellite view of Ranulf and Ardwick Road.