



Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Polished microcement

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing P6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing P6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists, insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

FLOOR 7: Specified floor finish on new sub floor and new joists.

Proposed Notes:

01	Existing sash window to be removed and replaced with a proposed critical window
02	Proposed metal handrail
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing timber staircase and balustrade to be refurbished and redecorated.
07	Steel frame window within "Coach House" style opening with steel lintel above
08	Existing window opening modified to create six window, to match proportions of traditional six over six sash window
09	Proposed minimal frame aluminium casement window
10	Proposed built in joinery
11	Existing chimney piece and hearth to be refurbished and redecorated where necessary.
12	Proposed column radiator
13	Refurbish existing slate floor finish
14	Existing metal railings to be refurbished and redecorated
15	New timber balustrade and handrail to match existing detail
16	Proposed service riser
17	New metal gate detailed to match existing balustrade
18	Existing 'bowed' panelled wall reinforced with concealed steel post
19	Infill partition. Wall build up to match adjacent wall
20	New external infill wall to match adjacent construction
21	Proposed chimney piece and hearth
22	Proposed shower tray over existing floor boards
23	New metal stair and handrail
24	New partition wall
25	Existing sash window to be refurbished
26	Rainwater pipes and gutters to be replaced with heritage cast iron fittings
27	Existing slate tile roof to be refurbished and repaired where necessary
28	Reinstatement of sash window in enlarged opening, six over six configuration
29	Proposed traditional window shutters
30	Proposed built-in vanity unit
31	Proposed freestanding bathtub

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Lower Ground Floor Plan

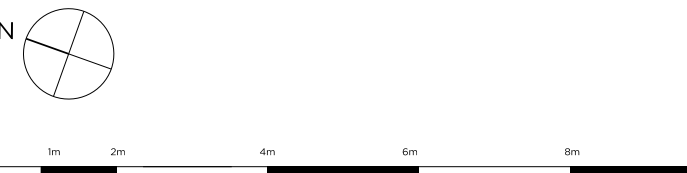
Drawing No.	Rev.
P1999	-

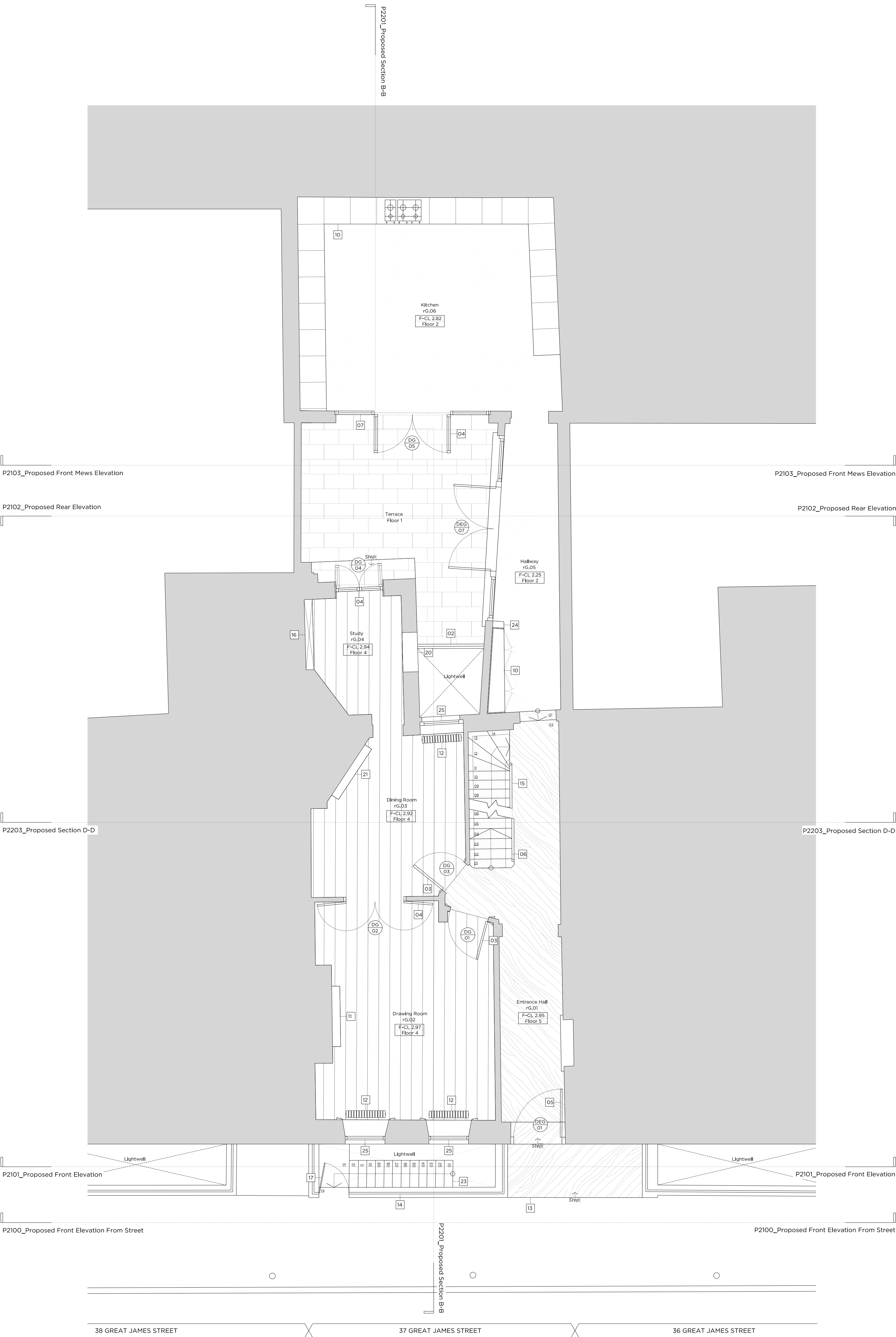
Drawn	Approved	Signed
MT	PB	AA



66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.





Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Polished microcement

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing P6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing P6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists, insulation fitted between. Floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

FLOOR 7: Specified floor finish on new sub floor and new joists.

Proposed Notes:

01	Existing sash window to be removed and replaced with a proposed critical window
02	Proposed metal handrail
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing timber staircase and balustrade to be refurbished and redecorated.
07	Steel frame window within "Coach House" style opening with steel lintel above
08	Existing window opening modified to create tax window, to match proportions of traditional six over six sash window
09	Proposed minimal frame aluminium casement window
10	Proposed built in joinery
11	Existing chimney piece and hearth to be refurbished and redecorated where necessary.
12	Proposed column radiator
13	Refurbish existing slate floor finish
14	Existing metal railings to be refurbished and redecorated
15	New timber balustrade and handrail to match existing detail
16	Proposed service riser
17	New metal gate detailed to match existing balustrade
18	Existing 'bowed' panelled wall reinforced with concealed steel post
19	Infill partition. Wall build up to match adjacent wall
20	New external infill wall to match adjacent construction
21	Proposed chimney piece and hearth
22	Proposed shower tray over existing floor boards
23	New metal stair and handrail
24	New partition wall
25	Existing sash window to be refurbished
26	Rainwater pipes and gutters to be replaced with heritage cast iron fittings
27	Existing slate tile roof to be refurbished and repaired where necessary
28	Reinstatement of sash window in enlarged opening, six over six configuration
29	Proposed traditional window shutters
30	Proposed built-in vanity unit
31	Proposed freestanding bathtub

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Ground Floor Plan

Drawing No. P2000 Rev. -

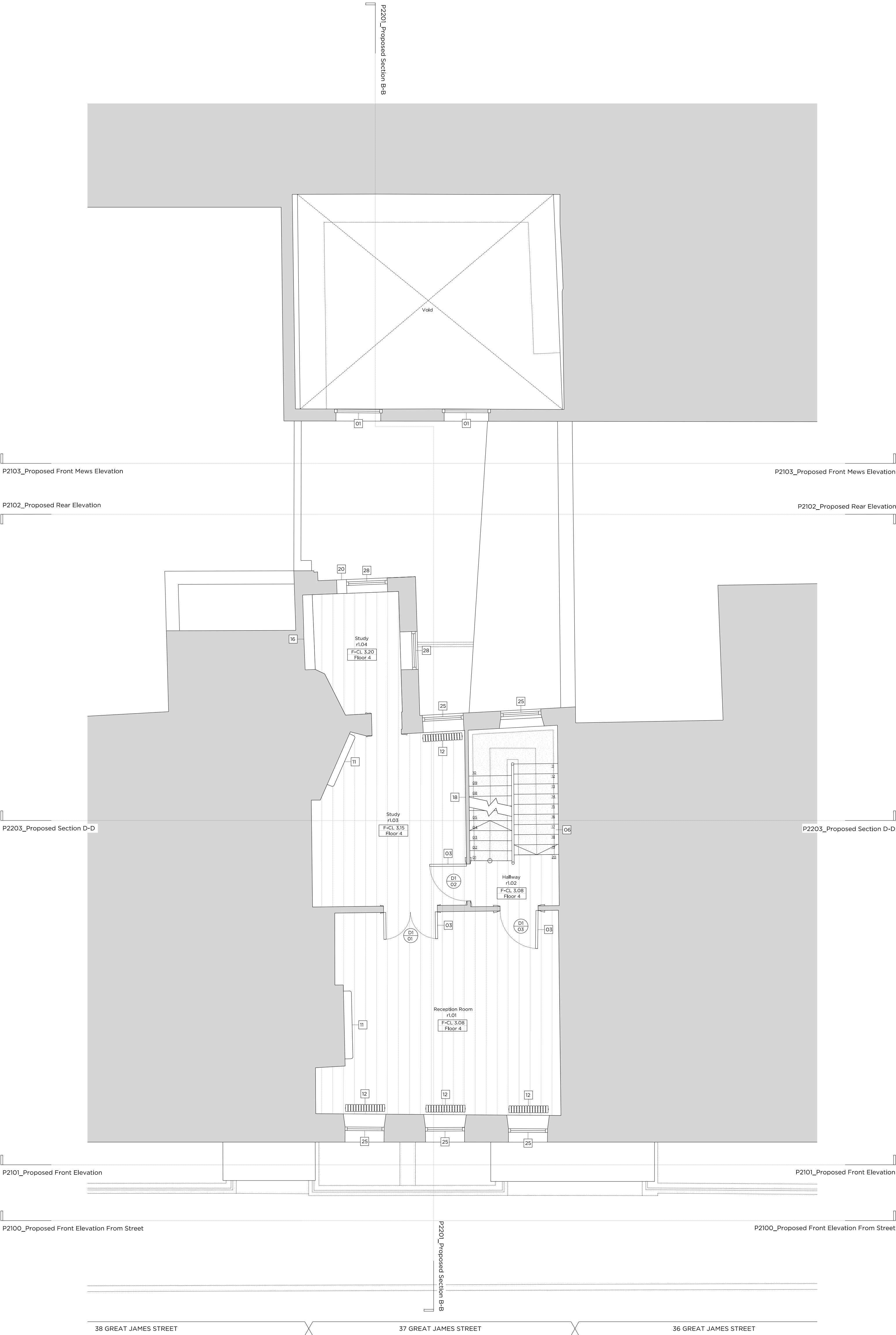
Drawn MT Approved PB Signed AA



66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.





Key:	
	Existing structure / earth
	New Structure
Legend: Proposed Finishes	
	Existing floor boards
	Reclaimed floor boards
	Engineered timber floor
	External paving
	Carpet
	Natural stone
	Tile
	Polished microcement

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
 - Retain and refurbish all existing window boxes, architraves and shutters.
 - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer. to drawing P6900
 - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed. refer to drawing P6900
 - All existing walls and ceilings to be locally re-skimmed and painted where required.
 - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing structural slab.
- FLOOR 4: Specified floor finish on existing levelled floor joists, insulation fitted between. Floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.
- FLOOR 7: Specified floor finish on new sub floor and new joists.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a proposed critall window
 - 02 Proposed metal handrail
 - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
 - 07 Steel frame window within "Coach House" style opening with steel lintel above
 - 08 Existing window opening modified to create tax window, to match proportions of traditional six over six sash window
 - 09 Proposed minimal frame aluminium casement window
 - 10 Proposed built in joinery
 - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
 - 12 Proposed column radiator
 - 13 Refurbish existing slate floor finish
 - 14 Existing metal railings to be refurbished and redecorated
 - 15 New timber balustrade and handrail to match existing detail
 - 16 Proposed service riser
 - 17 New metal gate detailed to match existing balustrade
 - 18 Existing 'bowed' panelled wall reinforced with concealed steel post
 - 19 Infill partition. Wall build up to match adjacent wall
 - 20 New external infill wall to match adjacent construction
 - 21 Proposed chimney piece and hearth
 - 22 Proposed shower tray over existing floor boards
 - 23 New metal stair and handrail
 - 24 New partition wall
 - 25 Existing sash window to be refurbished
 - 26 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
 - 27 Existing slate tile roof to be refurbished and repaired where necessary
 - 28 Reinstatement of sash window in enlarged opening, six over six configuration
 - 29 Proposed traditional window shutters
 - 30 Proposed built-in vanity unit
 - 31 Proposed freestanding bathtub

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

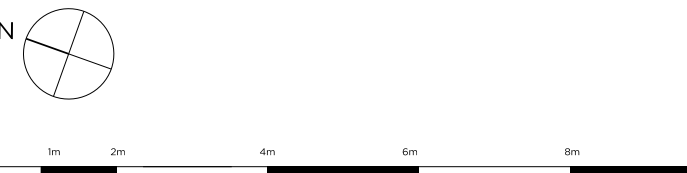
Drawing Title: Proposed First Floor Plan

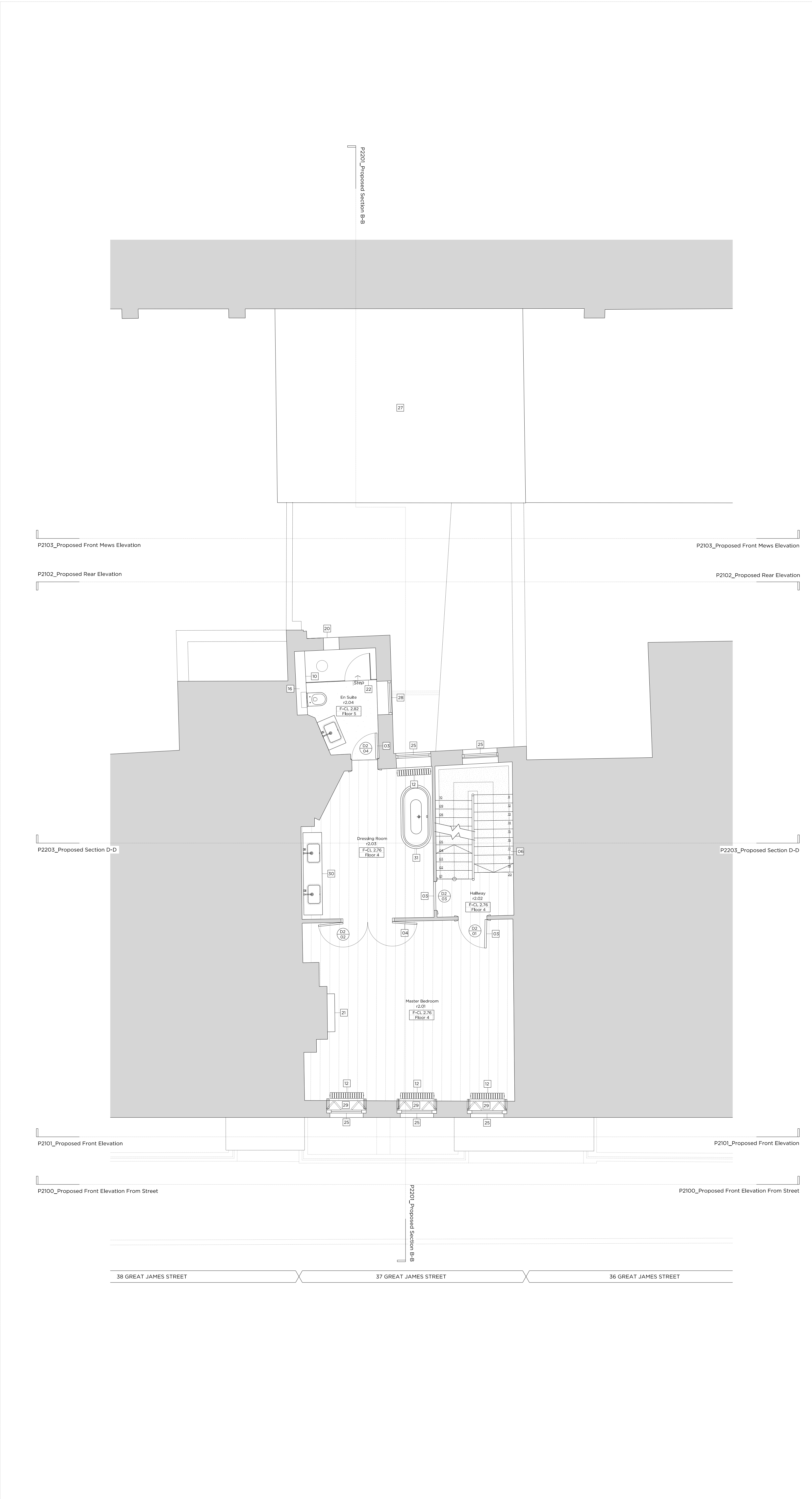
Drawing No.		Rev.
P2001		-
Drawn MT	Approved PB	Signed AA



66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.





Key Site Plan 1:1000

Key:

Existing structure / earth New Structure

Legend: Proposed Finishes

Existing floor boards Carpet

Reclaimed floor boards Natural stone

Engineered timber floor Tile

External paving Polished microcement

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing P6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing P6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists, insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

FLOOR 7: Specified floor finish on new sub floor and new joists.

Proposed Notes:

- Existing sash window to be removed and replaced with a proposed critical window
- Proposed metal handrail
- Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- Existing timber staircase and balustrade to be refurbished and redecorated.
- Steel frame window within "Coach House" style opening with steel lintel above
- Existing window opening modified to create six window, to match proportions of traditional six over six sash window
- Proposed minimal frame aluminium casement window
- Proposed built in joinery
- Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- Proposed column radiator
- Refurbish existing slate floor finish
- Existing metal railings to be refurbished and redecorated
- New timber balustrade and handrail to match existing detail
- Proposed service riser
- New metal gate detailed to match existing balustrade
- Existing 'bowed' panelled wall reinforced with concealed steel post
- Infill partition. Wall build up to match adjacent wall
- New external infill wall to match adjacent construction
- Proposed chimney piece and hearth
- Proposed shower tray over existing floor boards
- New metal stair and handrail
- New partition wall
- Existing sash window to be refurbished
- Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- Existing slate tile roof to be refurbished and repaired where necessary
- Reinstatement of sash window in enlarged opening, six over six configuration
- Proposed traditional window shutters
- Proposed built-in vanity unit
- Proposed freestanding bathtub

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Second Floor Plan

Drawing No. P2002 Rev. -

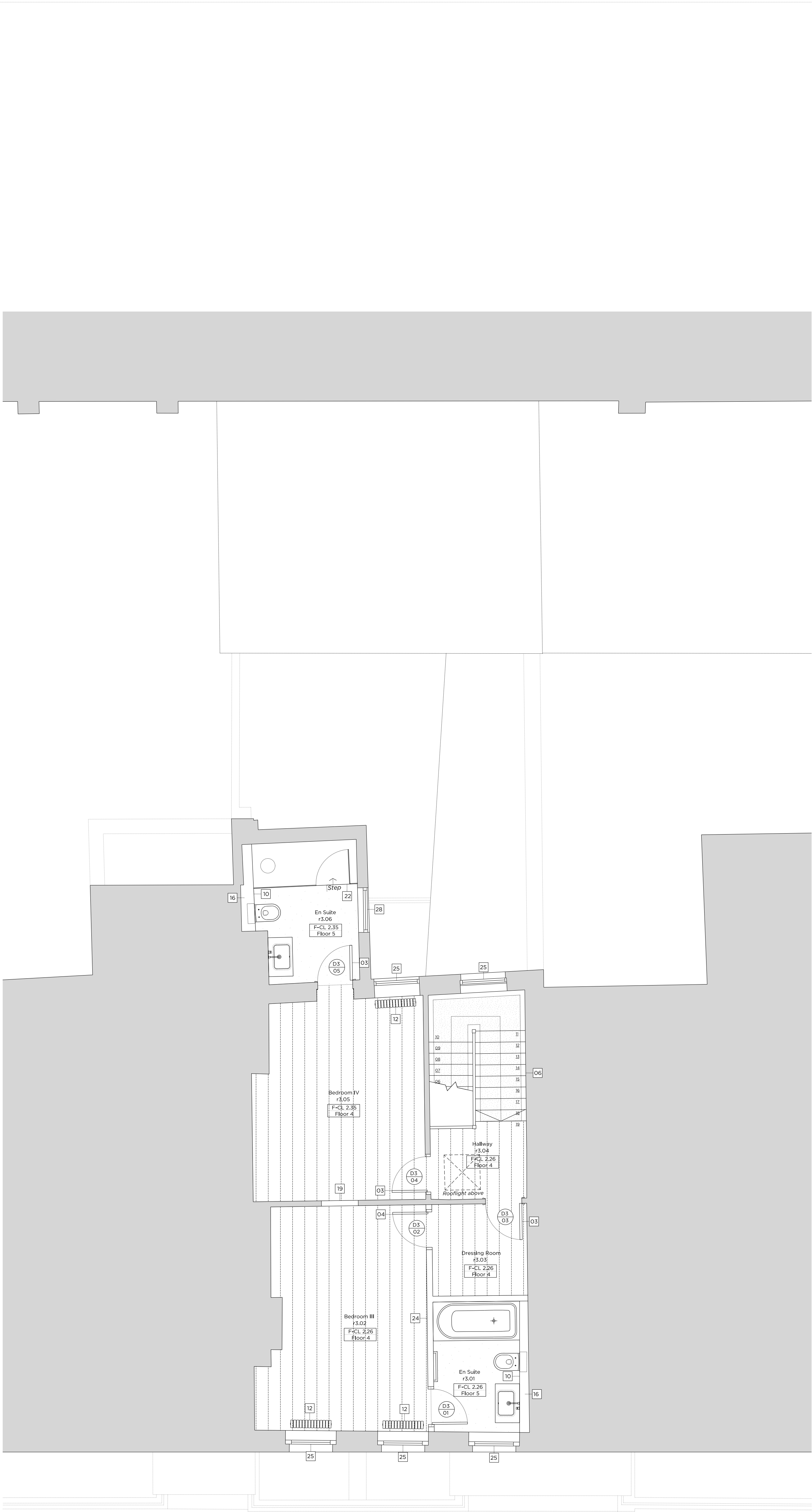
Drawn MT	Approved PB	Signed AA
----------	-------------	-----------

66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

N

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m



Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Polished microcement

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
 - Retain and refurbish all existing window boxes, architraves and shutters.
 - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing P6900
 - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing P6900
 - All existing walls and ceilings to be locally re-skimmed and painted where required.
 - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing structural slab.
- FLOOR 4: Specified floor finish on existing levelled floor joists, insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.
- FLOOR 7: Specified floor finish on new sub floor and new joists.

- Proposed Notes:
- Existing sash window to be removed and replaced with a proposed critical window
 - Proposed metal handrail
 - Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - Existing timber staircase and balustrade to be refurbished and redecorated.
 - Steel frame window within "Coach House" style opening with steel lintel above
 - Existing window opening modified to create six window, to match proportions of traditional six over six sash window
 - Proposed minimal frame aluminium casement window
 - Proposed built in joinery
 - Existing chimney piece and hearth to be refurbished and redecorated where necessary.
 - Proposed column radiator
 - Refurbish existing slate floor finish
 - Existing metal railings to be refurbished and redecorated
 - New timber balustrade and handrail to match existing detail
 - Proposed service riser
 - New metal gate detailed to match existing balustrade
 - Existing 'bowed' panelled wall reinforced with concealed steel post
 - Infill partition. Wall build up to match adjacent wall
 - New external infill wall to match adjacent construction
 - Proposed chimney piece and hearth
 - Proposed shower tray over existing floor boards
 - New metal stair and handrail
 - New partition wall
 - Existing sash window to be refurbished
 - Rainwater pipes and gutters to be replaced with heritage cast iron fittings
 - Existing slate tile roof to be refurbished and repaired where necessary
 - Reinstatement of sash window in enlarged opening, six over six configuration
 - Proposed traditional window shutters
 - Proposed built-in vanity unit
 - Proposed freestanding bathtub

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Third Floor Plan

Drawing No. P2003

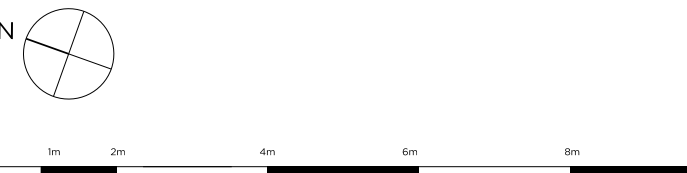
Rev. -

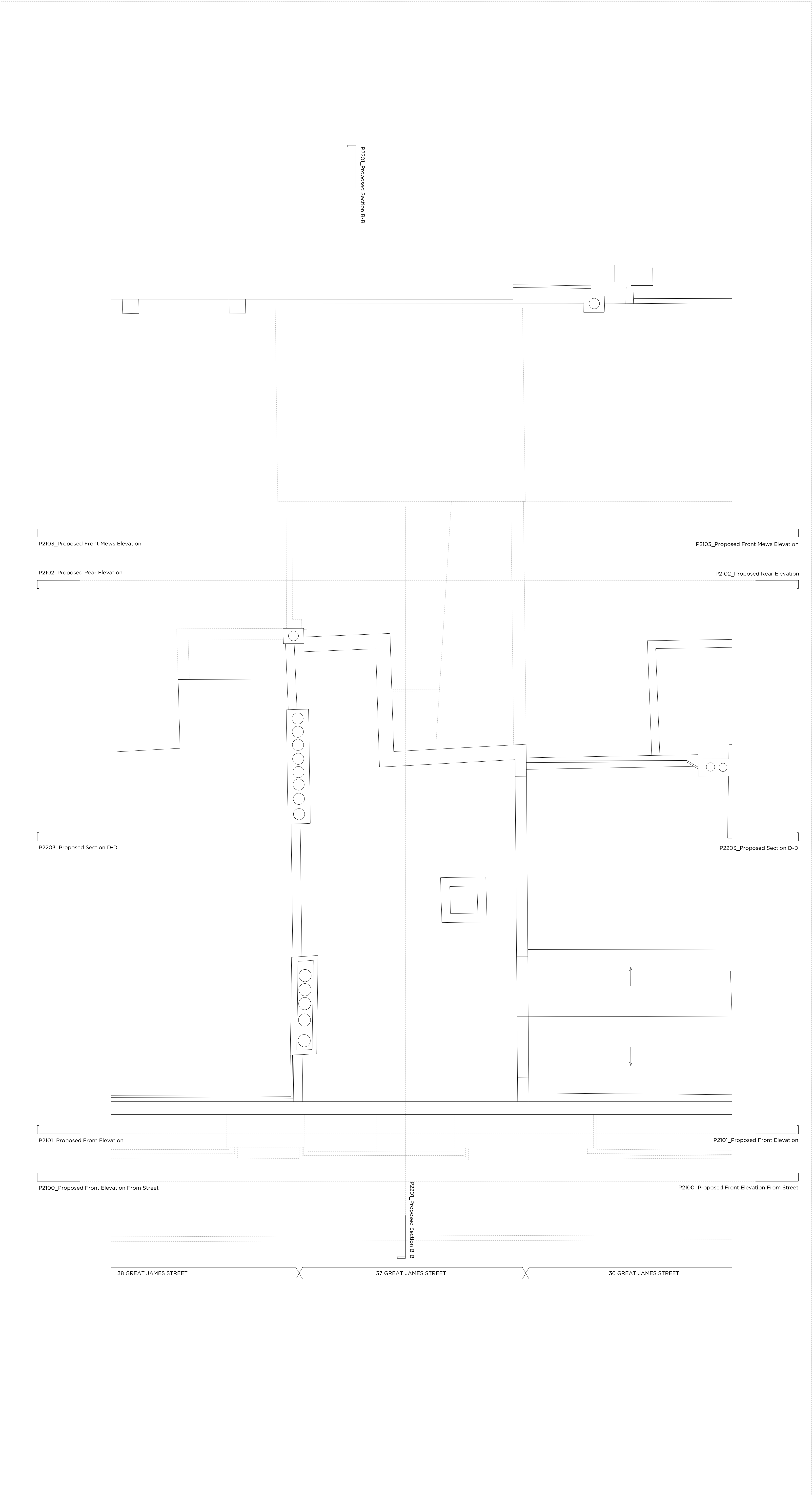
Drawn MT	Approved PB	Signed AA
----------	-------------	-----------

 Marek Wojciechowski Architects Ltd.

66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.





Key Site Plan 1:1000

Key:

Existing structure / earth

New Structure

Legend: Proposed Finishes

Existing floor boards

Reclaimed floor boards

Engineered timber floor

External paving

Carpet

Natural stone

Tile

Polished microcement

General Notes:

1. Existing brickwork to be re-pointed and repaired throughout.

2. Retain and refurbish all existing window boxes, architraves and shutters.

3. All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer, to drawing P6900

4. All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing P6900

5. All existing walls and ceilings to be locally re-skimmed and painted where required.

6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists, insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

FLOOR 7: Specified floor finish on new sub floor and new joists.

Proposed Notes:

01 Existing sash window to be removed and replaced with a proposed critical window

02 Proposed metal handrail

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Existing timber staircase and balustrade to be refurbished and redecorated.

07 Steel frame window within "Coach House" style opening with steel lintel above

08 Existing window opening modified to create tax window, to match proportions of traditional six over six sash window

09 Proposed minimal frame aluminium casement window

10 Proposed built in joinery

11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.

12 Proposed column radiator

13 Refurbish existing slate floor finish

14 Existing metal railings to be refurbished and redecorated

15 New timber balustrade and handrail to match existing detail

16 Proposed service riser

17 New metal gate detailed to match existing balustrade

18 Existing 'bowed' panelled wall reinforced with concealed steel post

19 Infill partition. Wall build up to match adjacent wall

20 New external infill wall to match adjacent construction

21 Proposed chimney piece and hearth

22 Proposed shower tray over existing floor boards

23 New metal stair and handrail

24 New partition wall

25 Existing sash window to be refurbished

26 Rainwater pipes and gutters to be replaced with heritage cast iron fittings

27 Existing slate tile roof to be refurbished and repaired where necessary

28 Reinstatement of sash window in enlarged opening, six over six configuration

29 Proposed traditional window shutters

30 Proposed built-in vanity unit

31 Proposed freestanding bathtub

Rev. -xx.10.2020Issued for Planning

PLANNING

Project No.

20079

Client

GFZ Developments

Date

January 2021

Scale

1:50 @ A1 / 1:100 @ A3

Project

37 Great James Street

Drawing Title:

Proposed Roof Plan

Drawing No.

P2004

Rev.

-

Drawn


Approved

Signed

MT

PB

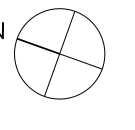
AA


Marek Wojciechowski Architects Ltd.

66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

N







Key Site Plan 1:1000

Key:

Existing structure / earth

New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with proposed critical window
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Existing window opening modified to create six over six sash window, to match proportions of traditional six over six sash window.
- 07 Proposed minimal frame aluminium casement window
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Proposed chimney piece and hearth
- 10 Existing metal railings to be refurbished and redecorated
- 11 Existing timber staircase and balustrade to be refurbished and redecorated.
- 12 Existing slate tile roof to be refurbished and repaired where necessary
- 13 All roof flashings to be refurbished and replaced where necessary
- 14 Existing sash window to be refurbished
- 15 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 16 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
- 17 Rear elevations to be repointed
- 18 Proposed built-in joinery
- 19 New metal stair and handrail
- 20 Steel frame window within "Coach House" style opening with steel lintel above
- 21 New timber balustrade and handrail to match existing detail
- 22 New metal gate detailed to match existing balustrade
- 23 White glazed brick made good, repointed and replaced with matching brick where required
- 24 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
- 25 New cast iron RWP, to connect to existing stack
- 26 New partition wall
- 27 Proposed minimal frame aluminium casement window
- 28 Existing timber wall panelling to be refurbished
- 29 New timber panelling to be installed to match existing
- 30 Proposed built-in vanity unit

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Front Elevation from Street

Drawing No. P2100

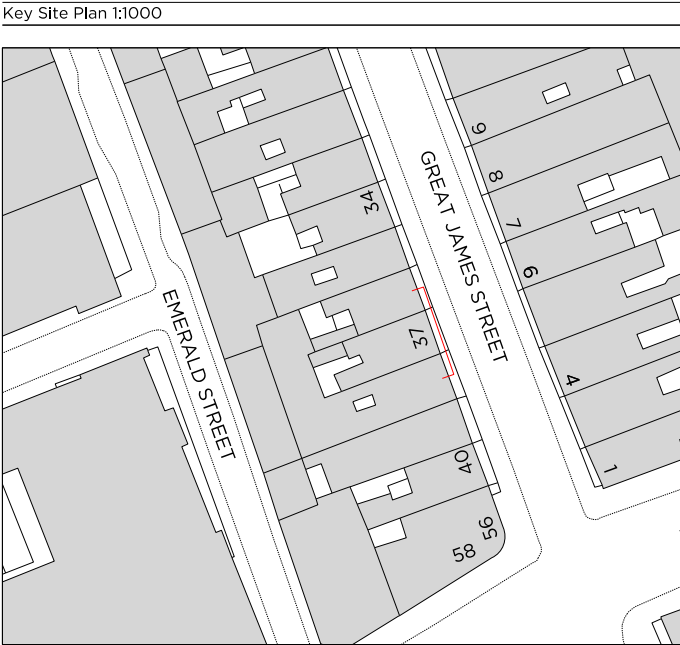
Drawn MT Approved PB Signed AA



66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m



Key:

Existing structure / earth New Structure

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with proposed critical window
 - 02 Proposed metal handrail
 - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 06 Existing window opening modified to create six sash window, to match proportions of traditional six over six sash window.
 - 07 Proposed minimal frame aluminium casement window
 - 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
 - 09 Proposed chimney piece and hearth
 - 10 Existing metal railings to be refurbished and redecorated
 - 11 Existing timber staircase and balustrade to be refurbished and redecorated.
 - 12 Existing slate tile roof to be refurbished and repaired where necessary
 - 13 All roof flashings to be refurbished and replaced where necessary
 - 14 Existing sash window to be refurbished
 - 15 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
 - 16 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
 - 17 Rear elevations to be repointed
 - 18 Proposed built-in joinery
 - 19 New metal stair and handrail
 - 20 Steel frame window within "Coach House" style opening with steel lintel above
 - 21 New timber balustrade and handrail to match existing detail
 - 22 New metal gate detailed to match existing balustrade
 - 23 White glazed brick made good, repointed and replaced with matching brick where required
 - 24 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
 - 25 New cast iron RWP, to connect to existing stack
 - 26 New partition wall
 - 27 Proposed minimal frame aluminium casement window
 - 28 Existing timber wall panelling to be refurbished
 - 29 New timber panelling to be installed to match existing
 - 30 Proposed built-in vanity unit

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Front Elevation

Drawing No. P2101 Rev. -

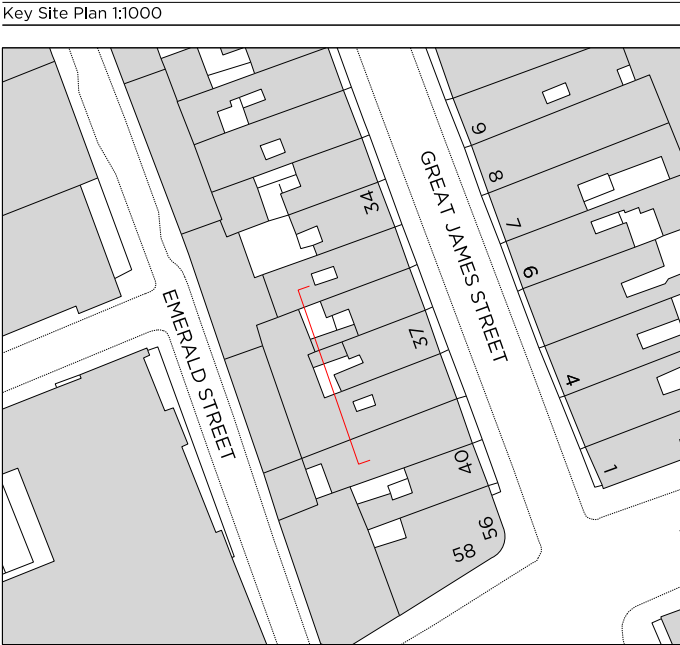
Drawn MT Approved PB Signed AA



66 - 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m



Key:

<div></div>	Existing structure / earth	<div></div>	New Structure
-------------	----------------------------	-------------	---------------

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with proposed critical window
 - 02 Proposed metal handrail
 - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 06 Existing window opening modified to create six window, to match proportions of traditional six over six sash window.
 - 07 Proposed minimal frame aluminium casement window
 - 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
 - 09 Proposed chimney piece and hearth
 - 10 Existing metal railings to be refurbished and redecorated
 - 11 Existing timber staircase and balustrade to be refurbished and redecorated.
 - 12 Existing slate tile roof to be refurbished and repaired where necessary
 - 13 All roof flashings to be refurbished and replaced where necessary
 - 14 Existing sash window to be refurbished
 - 15 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
 - 16 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
 - 17 Rear elevations to be repointed
 - 18 Proposed built-in joinery
 - 19 New metal stair and handrail
 - 20 Steel frame window within "Coach House" style opening with steel lintel above
 - 21 New timber balustrade and handrail to match existing detail
 - 22 New metal gate detailed to match existing balustrade
 - 23 White glazed brick made good, repointed and replaced with matching brick where required
 - 24 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
 - 25 New cast iron RWP, to connect to existing stack
 - 26 New partition wall
 - 27 Proposed minimal frame aluminium casement window
 - 28 Existing timber wall panelling to be refurbished
 - 29 New timber panelling to be installed to match existing
 - 30 Proposed built-in vanity unit

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No.	20079		
Client	GFZ Developments		
Date	January 2021		
Scale	1:50 @ A1 / 1:100 @ A3		
Project	37 Great James Street		
Drawing Title:	Proposed Rear Elevation		

Drawing No.	P2102	Rev.	-
Drawn	Approved	Signed	
MT	PB	AA	



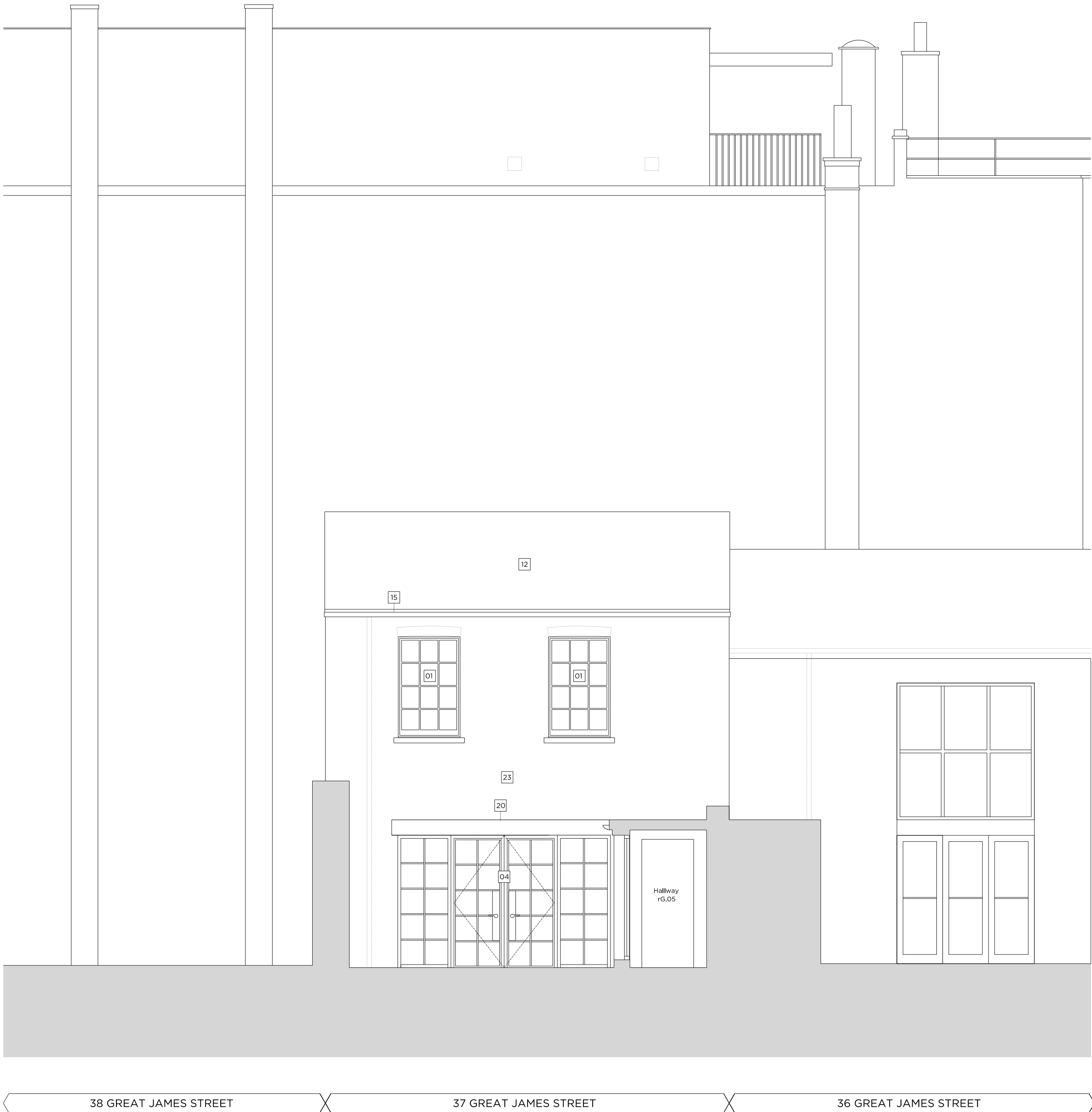
66 + 68 Margaret Street WIV 8SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.



Existing Mews First Floor Level

Existing Mews Ground Floor Level



Key Site Plan 1:1000

Key:

Existing structure / earth New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with proposed critical window
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Existing window opening modified to create a sash window, to match proportions of traditional six over six sash window.
- 07 Proposed minimal frame aluminium casement window
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Proposed chimney piece and hearth
- 10 Existing metal railings to be refurbished and redecorated
- 11 Existing timber staircase and balustrade to be refurbished and redecorated.
- 12 Existing slate tile roof to be refurbished and repaired where necessary
- 13 All roof flashings to be refurbished and replaced where necessary
- 14 Existing sash window to be refurbished
- 15 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 16 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
- 17 Rear elevations to be repointed
- 18 Proposed built-in joinery
- 19 New metal stair and handrail
- 20 Steel frame window within "Coach House" style opening with steel lintel above
- 21 New timber balustrade and handrail to match existing detail
- 22 New metal gate detailed to match existing balustrade
- 23 White glazed brick made good, repointed and replaced with matching brick where required
- 24 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
- 25 New cast iron RWP, to connect to existing stack
- 26 New partition wall
- 27 Proposed minimal frame aluminium casement window
- 28 Existing timber wall panelling to be refurbished
- 29 New timber panelling to be installed to match existing
- 30 Proposed built-in vanity unit

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Front Mews Elevation

Drawing No. P2103 Rev. -

Drawn MT Approved PB Signed AA



66 + 68 Margaret Street W1W 8SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects.
No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m



Key:

Existing structure / earth New Structure

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with proposed critical window
 - 02 Proposed metal handrail
 - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
 - 06 Existing window opening modified to create six window, to match proportions of traditional six over six sash window.
 - 07 Proposed minimal frame aluminium casement window
 - 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
 - 09 Proposed chimney piece and hearth
 - 10 Existing metal railings to be refurbished and redecorated
 - 11 Existing timber staircase and balustrade to be refurbished and redecorated.
 - 12 Existing slate tile roof to be refurbished and repaired where necessary
 - 13 All roof flashings to be refurbished and replaced where necessary
 - 14 Existing sash window to be refurbished
 - 15 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
 - 16 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
 - 17 Rear elevations to be repointed
 - 18 Proposed built-in joinery
 - 19 New metal stair and handrail
 - 20 Steel frame window within "Coach House" style opening with steel lintel above
 - 21 New timber balustrade and handrail to match existing detail
 - 22 New metal gate detailed to match existing balustrade
 - 23 White glazed brick made good, repointed and replaced with matching brick where required
 - 24 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
 - 25 New cast iron RWP, to connect to existing stack
 - 26 New partition wall
 - 27 Proposed minimal frame aluminium casement window
 - 28 Existing timber wall panelling to be refurbished
 - 29 New timber panelling to be installed to match existing
 - 30 Proposed built-in vanity unit

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Section BB

Drawing No. P2201 Rev. -

Drawn MT Approved PB Signed AA



66 + 68 Margaret Street WIV 8SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m



Key Site Plan 1:1000

Key:

- Existing structure / earth
- New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with proposed critical window
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Existing window opening modified to create six window, to match proportions of traditional six over six sash window.
- 07 Proposed minimal frame aluminium casement window
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Proposed chimney piece and hearth
- 10 Existing metal railings to be refurbished and redecorated
- 11 Existing timber staircase and balustrade to be refurbished and redecorated.
- 12 Existing slate tile roof to be refurbished and replaced where necessary
- 13 All roof flashings to be refurbished and replaced where necessary
- 14 Existing sash window to be refurbished
- 15 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 16 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
- 17 Rear elevations to be repointed
- 18 Proposed built-in joinery
- 19 New metal stair and handrail
- 20 Steel frame window within "Coach House" style opening with steel lintel above
- 21 New timber balustrade and handrail to match existing detail
- 22 New metal gate detailed to match existing balustrade
- 23 White glazed brick made good, repointed and replaced with matching brick where required
- 24 Reinstatement of timber sash window with 6 over 6 configuration within enlarged opening
- 25 New cast iron RWP, to connect to existing stack
- 26 New partition wall
- 27 Proposed minimal frame aluminium casement window
- 28 Existing timber wall panelling to be refurbished
- 29 New timber panelling to be installed to match existing
- 30 Proposed built-in vanity unit

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 37 Great James Street

Drawing Title: Proposed Section DD

Drawing No. P2203

Rev. -

Drawn	Approved	Signed
MT	PB	AA

Marek Wojciechowski Architects Ltd.

66 + 68 Margaret Street WIV BSR T. 020 7580 9336 www.mwa.co.uk

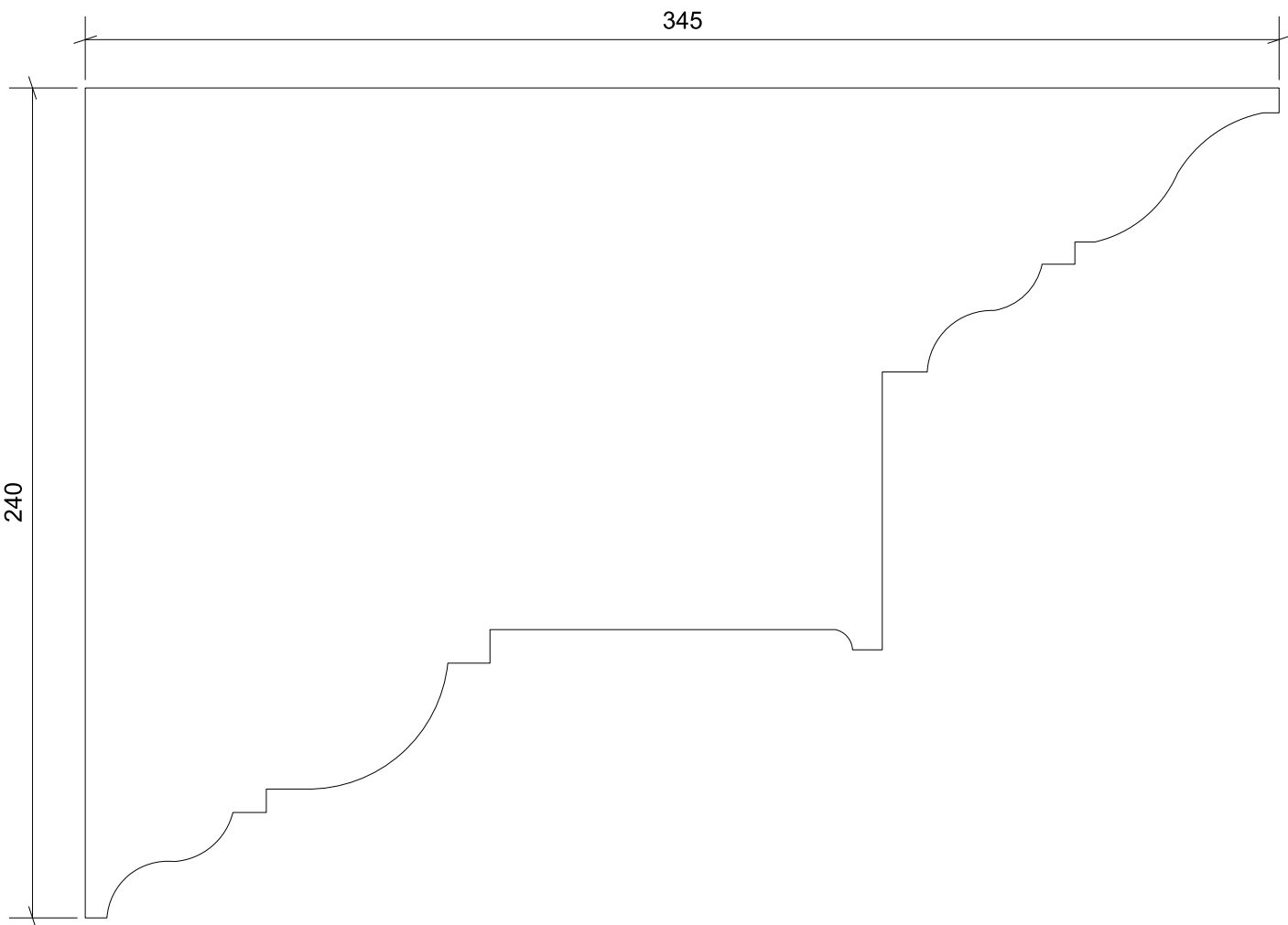
Copyright Marek Wojciechowski Architects. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

0 1m 2m 4m 6m 8m 10m

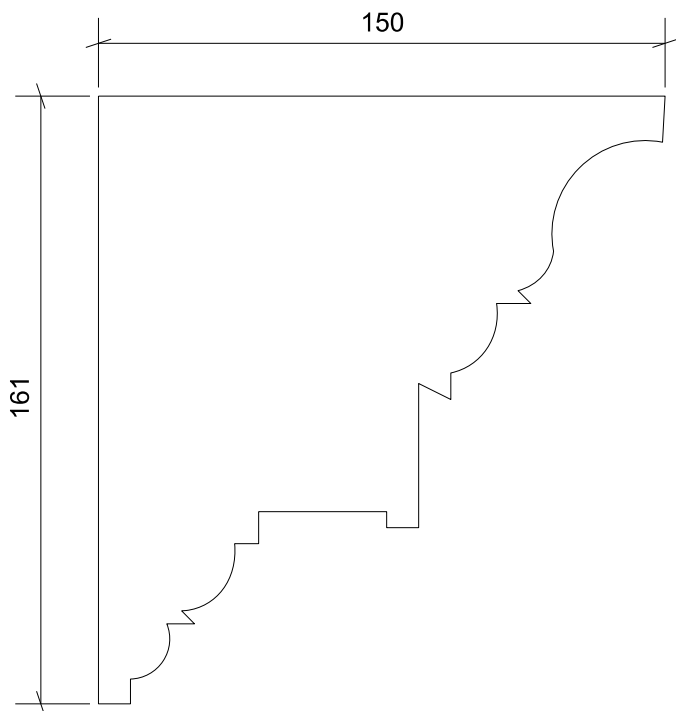
CORNICE AND SKIRTING
PROFILES TO BE
TIMBER MOULDINGS



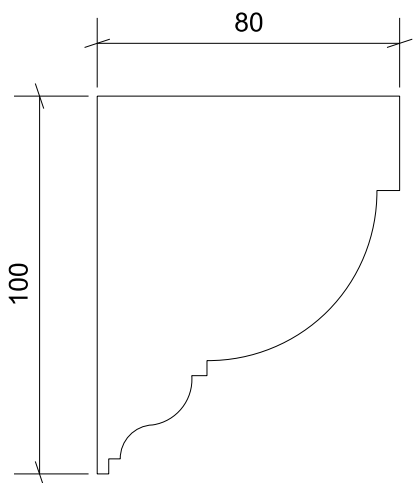
01
A6900
Cornice Type A
Proposed typical ground floor
cornice profile
rG.02 rG.03



02
A6900
Cornice Type B
Proposed typical first floor
cornice profile
r1.04



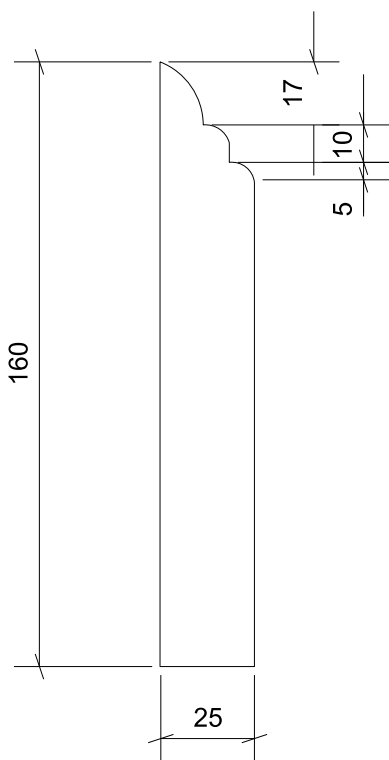
03
A6900
Cornice Type C
Proposed typical second floor
cornice profile
r2.01 r2.03 r2.04



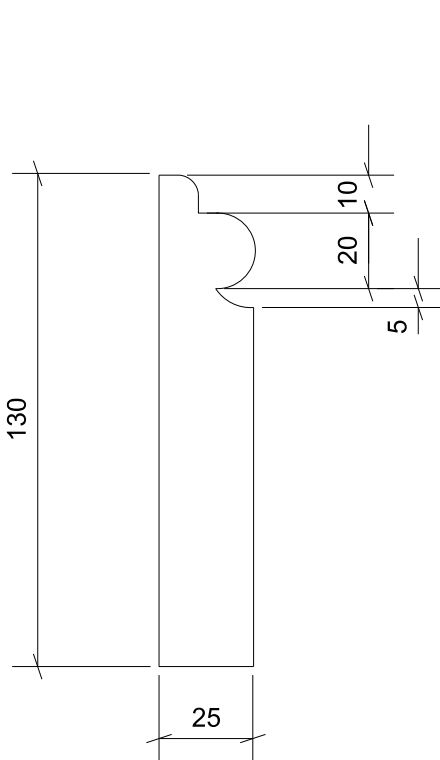
04
A6900
Cornice Type D
Proposed typical third floor
cornice profile
r3.01 r3.02 r3.03 r3.05 r3.06



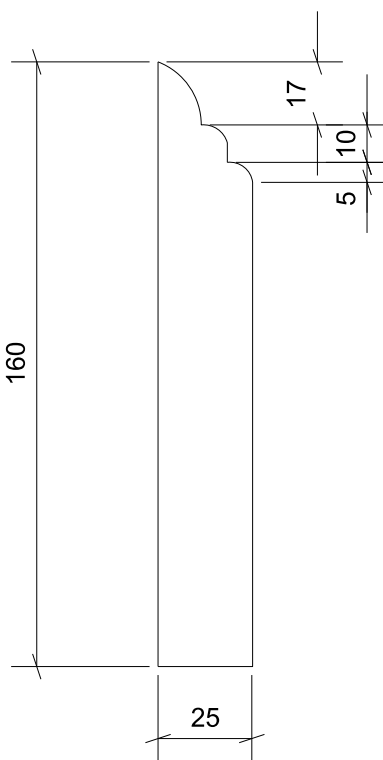
05
A6900
Skirting Type A
Proposed typical lower ground
floor skirting profile
rLG.01 rLG.02 rLG.03 rLG.04 rLG.05 rLG.07



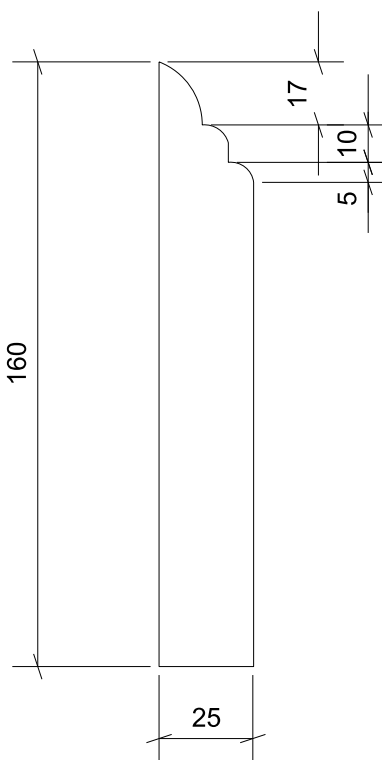
06
A6900
Skirting Type B
Proposed typical ground floor
skirting profile
rG.02 rG.03



07
A6900
Skirting Type C
Proposed typical first floor skirting
profile (for closet wing only)
r1.04



08
A6900
Skirting Type B
Proposed typical second floor
skirting profile
r2.01 r2.03 r2.04



09
A6900
Skirting Type B
Proposed typical third floor
skirting profile
r3.01 r3.02 r3.03 r3.05 r3.06

Rev. - xx.10.2020 Issued for Planning

PLANNING

Project No. 20079

Client GFZ Developments

Date January 2021

Scale

Project 37 Great James Street

Drawing Title: Proposed Skirting and Cornice Details

Drawing No. P6900 Rev. -

Drawn	Approved	Signed
MT	PB	AA



66 + 68 Margaret Street WIV 8SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects
No implied license exists. This drawing should not be used to calculate areas for the
purposes of valuation. All dimensions to be checked on site by the contractor and such
dimensions to be their responsibility. Do not scale drawings. All work must comply with
relevant British Standards and Building Regulations requirements. Drawing errors and
omissions to be reported to the architect.