

118 ST PANCRAS WAY LONDON NW1 9NB

LISTED BUILDING / HERITAGE ASSESEMENT AND DESIGN AND ACCESS STATEMENT

LISTED BUILDING ASSEMENT

118 St Pancras Way is a single family dwelling house, on the north side of St Pancras Way, opposite College Gardens, comprising a single terrace house as part of a larger group of listed buildings.

The building dates from the 1820s and faces onto the small College Green open space. The building is listed at Grade II, as part of the terrace of dwellings and shop units that run from 108 to 132 (even nos.) St Pancras Way. These properties share a general appearance as well as some common detailing, although some modern alterations to windows and decorations have impinged upon this. The building also falls within the Jeffrey's Street Conservation Area. Many of the buildings and properties within the Conservation Area are also Grade II listed because of their own architectural or design merits. The property is a short distance north of the retail, entertainment and leisure offerings of Camden Town centre. It also experiences an 'excellent' PTAL rating in terms of public transport accessibility, the highest rating achievable. The Underground, Overground, National Rail and London Bus networks are all within reasonable walking distance of the application site.



The listing entry reads as follows

TQ2984SW ST PANCRAS WAY 798-1/66/1773 (North East side) 28/10/94 Nos. 108-132 (Even) and attached railings

GV II

Terrace of 13 houses, 4 with shops. Mid-1820s. Stock brick and stucco, slate roofs.

EXTERIOR: 3 storeys and basements, No. 112 with added mansard storey not of special interest. Each house is 2 windows wide except for No. 108 (one window wide), with doors to right reached up steps over basement areas; the end houses with entrances on side returns. Stuccoed ground floors and basements with banded rustication treated as keystones over openings. A hierarchy of 12- and 8-light glazing bar sashes to the upper windows. The ground floors have always had a variety of fenestration, with margin lights to No. 120 and round-arched windows to the remainder, Nos 114 and 130 with 12 lights and central round-arched glazing bars. Nos 116 and 122 with modern casement windows of no interest. Original doors except to No. 122. All doorcases with engaged, fluted pilasters and semicircular toplights, No. 130 with decorative fanlight, save Nos 108, 110, 112 and 132 which have shopfronts. Those to Nos 108 and 132 of particular interest as early C19 examples, with corner entrances. No. 108 has moulded eaves cornice, deep frieze, engaged unmoulded pilasters and small panels under 6- and 4-light windows, these with thin mullions and central transoms. That to No. 132 has simpler cornice and sides, but 12 and 10 smaller panes between slender glazing bars, and margin lights to top; square top-light over modern door at corner. Shopfront to No. 114 with pleasant early C20 margin-light decoration to top, and contemporary door.

INTERIORS not inspected but many are noted to retain original cornices and shutterboxes as well as staircases. SUBSIDIARY FEATURES: spearhead railings to basement areas and entrance steps in the properties without shopfronts. This terrace forms a strong and cohesive piece of townscape seen across College Green.

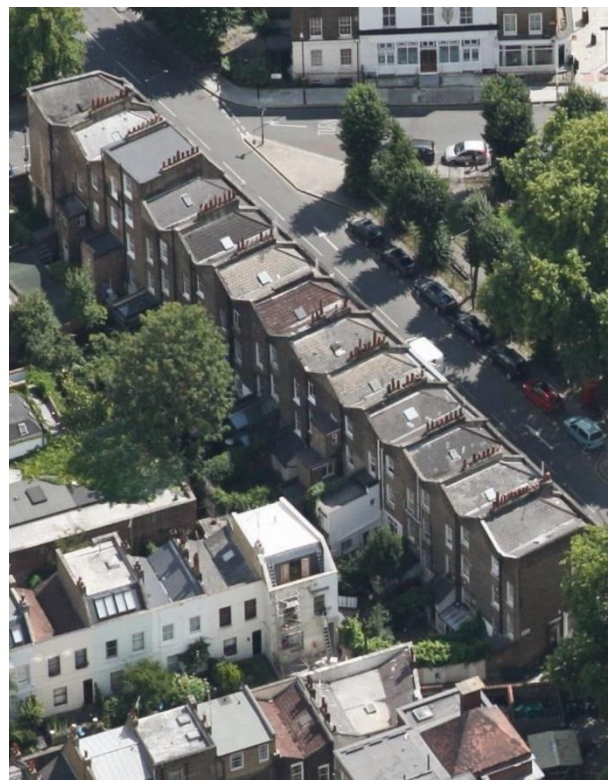
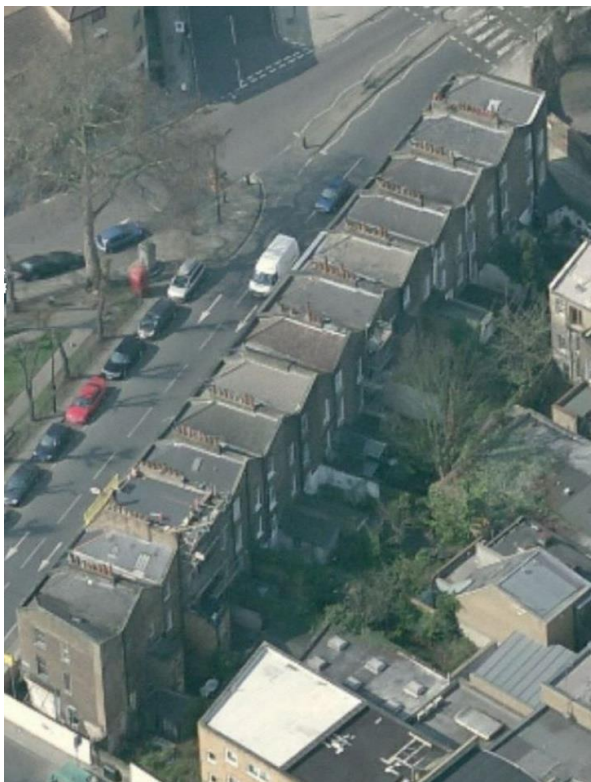
SETTING

As noted above the group of houses and shops forms a fairly unified piece of townscape with consistent rooflines (with the exception of one roof extension to No 112), and 3 storeys of stock brick Georgian terrace houses with stuccoed basements and ground floors, sash windows, lightwells and front railings.



ST PANCRAS WAY OPPOSITE COLLEGE GREEN

However to the rear of the terrace there has been a number of interventions to give a more eclectic appearance, with a variety of rear extension solutions at different heights, and with varying detailing from traditional to very contemporary.



REAR OF ST PANCRAS WAY OPPOSITE COLLEGE GREEN

REAR ELEVATION

The rear of the building has a largely rebuilt closet wing which was subject to an earlier planning approval to insert new windows and infill brickwork. It has been totally re built on the inside as a shower room and utility room.



REAR ELEVATION SHOWING REBUILT CLOSET WING TO LEFT HAND SIDE AND EXISTING WALL TO EXTENSION TO 120 ST PANCRAS WAY TO RIGHT HAND SIDE

The basement at low level has a very small lightwell to give some light to the rear basement room, and the rear terrace area has a high wall to No 120 St Pancras way which encloses a large fully glazed rear extension.

Above basement level the house is fairly intact as originally built, with traditional sash windows and stock brick and gauged brick arches.



REAR ELEVATION SHOWING REBUILT CLOSET WING TO LEFT HAND SIDE
AND EXISTING WALL TO EXTENSION TO 120 ST PANCRAS WAY TO RIGHT
HAND SIDE



VIEWS OF REAR EXTENSION ROOFS

INTERIORS

UPPER FLOORS

The Ground , first and second floor plans are fairly intact, retaining original features such as shutter boxes and sash windows. They have replacement fire places.

No works are proposed to Ground, First or Second floors

BASEMENT

The existing basement retains the original floorplan, but has been largely stripped of any original features, fire places , and with a new window to the front room and shelving units and doors between front and rear room.

The rear room has a new door to the rear garden, and has suffered water damage with the ceiling falling down, and in need of replacement.



EXISTING BASEMENT FRONT ROOM



EXISTING BASEMENT FRONT ROOM



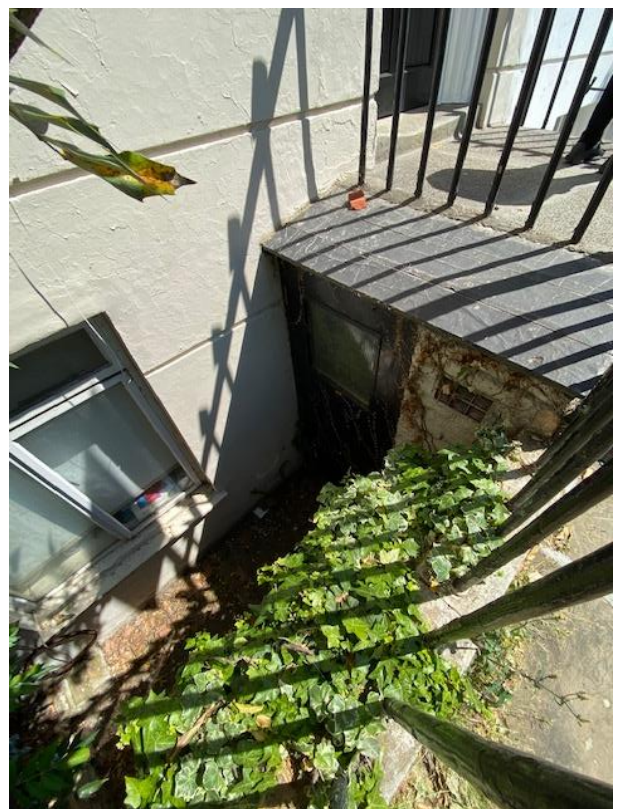
EXISTING BASEMENT REAR ROOM



EXISTING BASEMENT
STAIRCASE

FRONT ELEVATION

The front elevation is fairly intact as originally built. There has been a small front extension below the front entrance steps to enlarge the under stair area. Also the front window has been changed from the traditional sash window to a steel window.



PLANNING HISTORY FOR 118 ST PANCRAS WAY

2009/2322/L

Listed planning consent was granted in 2009 for alterations to door and window of existing single storey rear extension including internal alterations. This consent has now been implemented.

RELAVANT DECISIONS ON NEIGHBOURING SITES

116 St Pancras Way 2013/5503/L and 2013/1280/P116

Planning and listed buildings consent was granted for for internal and external works including erection of a single storey rear extension at basement floor level to existing dwellinghouse (Class C3). This consent has now been implemented.



NEW EXTENSION TO ADJACENT HOUSE 116 ST PANCRAS WAY

116 St Pancras Way 2020/1991/P116 Consent was granted to install PV solar panels and replace existing cement tiles on the main roof with slate tiles.

108 St Pancras Way 2010/0203/P and 2010/0289/L

Planning permission and listed building consent were granted at 108 St Pancras Way for 'change of use of ground floor from retail (Class A1) to residential (Class C3), erection of a two-storey rear extension and external alterations including a replacement side boundary wall, all in connection with the use of the whole building as a single family dwellinghouse'

120 St Pancras Way

The adjacent house at 120 St Pancras way has a 2 storey fully glazed extension behind a high party wall and parapet.



ADJACENT REAR EXTENSION TO 120 ST PANCRAS WAY

THE PROPOSAL

It is proposed to add a glazed conservatory style extension at basement level in a similar configuration to the two basement extensions at 116 and 120 St Pancras Way. It is proposed to lower the internal floor levels by 450mm to create better head height from the current situation which is restricted. The existing ground floor extension will retain the parapet height on the party wall but the sloping roof changed to a flat roof to obtain better head height internally.



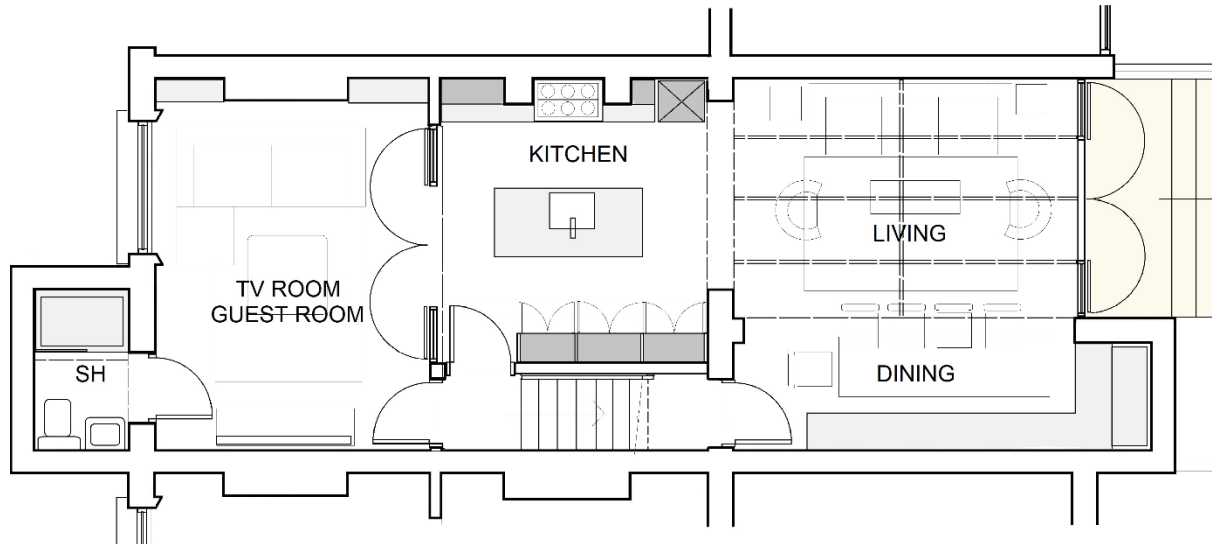
PROPOSED REAR ELEVATION



**EXAMPLE OF CRITTALL
STEEL WINDOWS AND
DOORS**

INTERIORS

Amendments are only planned at basement level to open up the existing rooms, whilst maintaining the form of the original spaces through downstand beams and nibs of wall to either side of new openings.



The existing floor to ceiling height is very restricted and the proposal involves lowering the floor levels within the existing building by around 450mm. As the two adjacent properties have already lowered the floor areas to the rear extension areas the excavation relative to adjacent levels is minimal.



APPRAISAL OF IMPACT ON HERITAGE ASSETS

As previously noted, this property is statutorily listed at Grade II as part of the terrace of properties from 110-132 (even nos.) St Pancras Way and also falls within the Jeffrey's Street Conservation Area. Core Strategy Policy CS14 and Development Policy DP25 both set out to preserve and enhance heritage assets within the Borough. Any development that proposes alterations to a heritage asset should be considered in the context of these policies. Section 12 of the NPPF ('Conserving and Enhancing the Historic Environment').

Given that public views of the external alterations proposed are effectively nil (the rear elevation cannot be seen from the street), it is considered the proposals have no negative impact on the conservation area. No views around the Conservation Area (specifically designated or otherwise) are materially altered as a result of the current proposal.

In terms of the property's status as a listed building, the statutory list entry makes reference predominantly to the front elevation of the property, particularly as a part of the terrace. Most pertinently, it is stated that 'This terrace forms a strong and cohesive piece of townscape seen across College Green'. No reference is made to the rear elevation of either this property or any others within the terrace. All heritage value is seemingly drawn from the shared appearance of the terrace's front elevation and its position with the surrounding streetscape. Despite this, specific comments on the heritage value of the rear outbuilding were made by officers in relation to the adjacent property at 116 St Pancras Way to the effect that examples of these traditional domestic ancillary spaces and outbuildings are becoming increasingly rare in central London and as such offer particular value to the significance of the building. In the case of 118 St Pancras Way the outbuilding has largely been rebuilt following the consent granted in 2009. However in order to retain the appearance of the ancillary wing this element has been retained, and the infill glazing element limited to the gap between the outrigger wing and the adjacent high wall to the full width extensions to 120 St Pancras Way.

The form and fabric of the existing outbuilding will be maintained and incorporated into a larger living area. The use of lightweight and glazed materials to the new construction ensures that the original and modern elements remain distinct from one another.

The form and fabric of the outbuilding, as well as its relationship to the main dwellinghouse, is retained and remains clearly legible. This proposal will have no material impact upon either the Jeffrey's Street Conservation Area or the property as a listed building, both individually and within the group value of the terrace. By retaining the form and fabric of the existing outbuilding, no elements of the listed building are lost. The outbuilding's relationship with the main dwelling will be maintained and remain visible. All aspects of heritage value will be preserved as part of the proposed development, in the context of providing an alteration that will enhance the quality of accommodation available in this property. This is in line with the requirements of Core Strategy Policy CS14, Development Policy DP25 and the relevant parts of the NPPF. 6.17.

Core Strategy Policy CS14 and Development Policy DP24 both support the provision of a high quality design that respects the character, setting and context of any development. This is supported by Section 7 of the NPPF. More specific guidance on the design of rear extensions is offered by Camden Planning Guidance 1 – The general principles regarding rear extensions set out in CPG1 are as follows; - be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing; respect and preserve the original design and proportions of the building, including its architectural period and style; - respect and preserve existing architectural features, such as projecting bays, decorative balconies or chimney stacks; - respect and preserve the historic pattern and established townscape of the surrounding area, including the ratio of built to unbuilt space; - not cause a loss of amenity to adjacent properties with regard to sunlight, daylight, outlook, overshadowing, light pollution/spillage, privacy/overlooking, and sense of enclosure; - allow for the retention of a reasonable sized garden; and - retain the open character of existing natural landscaping and garden amenity, including that of neighbouring properties, proportionate to that of the surrounding area.

The proposal is considered to meet all of these principles. By utilising lightweight and glazed materials, the addition will be clearly secondary in appearance to the existing building. It is also limited to a single storey, reflecting the existing relationship between the main dwelling and the original outbuilding. The glazed finish means that the existing form of the building will remain visible. All original design elements, proportions and features will remain visible and readable. The existing form of the property will not be lost or obscured as a result of this development. It has already been established that a development of this height, contained below the height of the existing boundary walls, will cause no harm to neighbouring properties in terms of overlooking, privacy, sense of enclosure or loss of any other form of amenity, given the developments to either side of the property.

Further guidance is given within CPG1 regarding the width of rear extensions, as follows: - The width of rear extensions should be designed so that they are not visible from the street and should respect the rhythm of existing rear extensions. In addition, the rear of some buildings may be architecturally distinguished, either forming a harmonious composition, or visually contributing to the townscape. The Council will seek to preserve these where appropriate. Some of the Borough's important rear elevations are identified in conservation area statements, appraisals and management plans. Again, the proposed extension is considered to reflect all aspects of this guidance. As discussed above

No specific heritage importance is attributed to the rear elevations of properties in this terrace by the statutory list entry. All heritage value set out relates to the front of the terrace and the group appearance within the street scene. Given that no part of this rear alteration will be visible from the street frontage, it will have no impact upon this designated heritage value. Although there is no specific group value remaining given the alterations that have occurred to other outbuildings in the terrace, the relationship between this individual element and its host building is unchanged by the proposed alterations.

AMENITY TO ADJACENT BUILDINGS

Given the height of the extension below the existing boundary walls, this proposal will have no impact upon neighbouring residents in terms of amenity, overlooking or loss of light.

ACCESS

The proposals have no impact to the access into the building from street level.

CONCLUSION

There is only a minimal loss of usable garden space with the extension set in the dead space between the existing outrigger wing and high wall to No 120 St Pancras Way. A large, usable garden area remains. This development is therefore considered to preserve the heritage aspects of the listed building and presents a proposal that supports the modernisation and refurbishment of a family dwellinghouse alongside the protection of a heritage asset within the Borough.