

1 Introduction

1.1 The following Heritage Appraisal Addendum has been prepared in support of a proposal to provide an outbuilding within the residential curtilage of no. 45 Highgate West Hill, London, N6 6DB. This report should be read in conjunction with the Design and Access Statement prepared by Chris Dyson Architects.

Application ref: 2020/3067/P

1.2 An application for a garage/outbuilding on the site is currently in the process of determination (2020/3067/P) and a Heritage Appraisal has been submitted in support of the scheme.

1.3 During the course of the application process, concerns have been raised locally over the fact that the proposed site once formed part of Highgate Common or waste land previously owned by the manor of Canteloves. LB Camden has advised that the proposals (as they relate to 2020/3067/P) are inappropriate given the historic context of the site in terms of the setting of the listed buildings at nos. 45-47 Highgate West Hill (see below) and also that the site formerly formed part of Highgate Common. Concerns have also been raised over the provision of additional parking on site. This addendum provides comments only on historic environment matters.

1.4 LB Camden's Tree Officer has assessed the submitted scheme and found that *'The wooded area in which the outbuilding is proposed is highly visible from the public realm, forms an important landscape feature and is considered to significantly contribute to the character and appearance of the conservation area.'* This is entirely in accordance with the conclusions of the submitted Heritage Appraisal in terms of its assessment of the site's contribution to the Highgate Conservation Area. It is also in accordance with the Highgate Conservation Area Appraisal and Management Proposals.

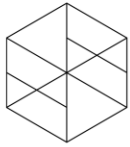
1.5 Having evaluated the proposed site and its value, the Tree Officer's comments conclude that *'the impact of the scheme on the wooded area will be of an acceptable level'*, subject to conditions.

1.6 In these comments, it has therefore been acknowledged that no harm would be caused to the visual quality and contribution made by the site to surrounding heritage assets. This also was the conclusion of the submitted Heritage Appraisal.

1.7 The proposals will provide a single-storey, shingle clad building. They do not necessitate the removal of trees and the proposed building would be constructed in an entirely sympathetic manner to its landscape context. The proposed building will not be seen from the public realm. New hedging will be provided around the building to prohibit visibility.

1.8 Although it is considered that the proposals would not cause harm to the heritage value of the site or its contribution to the setting of nearby listed buildings or the character and appearance of the conservation area, this clearly needs to be demonstrated in the context of this addendum. The following report therefore provides further discussion of the effects of the proposals on nearby heritage assets, taking into account the findings of the submitted Heritage Appraisal.

1.9 This addendum has been prepared by Kate Graham of The Heritage Practice. Kate Graham (MA (Hons) MA PG Dip Cons AA) has extensive experience in dealing with proposals that affect the historic environment having in recent years been Design and Conservation Manager at the London Borough of Islington and Senior Historic Buildings at Areas Adviser at Historic England. She also has an extensive background in research, in policy analysis and in understanding historic buildings and places. She has trained as a historian and has a specialist qualification in building conservation. Kate is also a member of the London Borough of Islington Design Review Panel.



2 Designations

2.1 The proposed site forms part of the Highgate Conservation Area. It also forms part of the curtilage of a grade II* listed building at no. 45 Highgate West Hill. It is privately owned and demarcated and made distinct as such through the timber fence and hedging which form its boundaries.

2.2 The site is not a designated open space (in terms of LB Camden's Local Plan Policy A2: Open Space) and does not feature on LB Camden's proposals map as protected open space.

2.3 The proposed site is not included within LB Camden's *Local List* (2015). The Introduction to the *Local List* states that '*Some parts of Camden's historic environment are already well documented and protected through designation (e.g. listed buildings). A Local List contains elements of the historic environment that are not already designated but which nonetheless contribute to a sense of place, local distinctiveness and civic pride. These are known as 'non-designated heritage assets'.*

2.4 The proposed site falls within the setting of listed buildings at nos. 45-47 Highgate West Hill. As set out in Historic England's *The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3* (2017), setting is not itself a heritage asset, nor a heritage designation: '*Its importance lies in what it contributes to the significance of the heritage asset or to the ability to appreciate that significance.*' As set out in the submitted Heritage Appraisal at paragraphs 2.10-2.15 and 3.9-3.18 (Appendix A), the proposed site is considered to contribute to the setting of nearby listed buildings due to a number of factors. This appraisal concludes that these factors would not be harmed by the submitted scheme or the scheme currently proposed.

2.5 As noted above, the site forms part of the Highgate Conservation Area. In the *Highgate Conservation Area Appraisal*, there is

no mention of the site other than to note that the '*wooded landscape of the northern part of Highgate West Hill*' contributes to the a rural character. 'Mature trees' are noted in Appendix 5 of the appraisal as being a positive feature on Highgate West Hill.

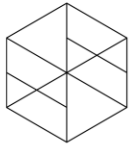
2.6 The proposed site is not identified in any of the appendices to the conservation area appraisal (mapping) as being a feature of local landscape interest.

2.7 The principal designation that therefore applies to the site is the Highgate Conservation Area of which the site forms part. It is generally agreed that the site makes a positive contribution to the character and appearance of the Highgate Conservation Area.

2.8 As a positive contributor, the proposed site can be said to be a non-designated heritage asset (NDHA) forming part of a larger designated heritage asset. In order to assess the effects of the scheme now proposed on both levels of asset, it is important to understand the significance of the asset in question.

2.9 As set out in the Heritage Appraisal that originally accompanied the application, an open area in various forms as depicted in historic sources has long existed between nos. 45 and 46 and Highgate West Hill. Much of this area of Highgate was formerly part of the manor of Canteloves, a large estate that occupied much of the parish of St Pancras. Areas of Highgate, including nos. 45-47 Highgate West Hill, were developed principally through the annexation of common or waste land in agreement with the manor of Canteloves. The houses and their surrounding gardens, including the site, were ultimately enfranchised and are now held in private ownership. The proposed site has been in private ownership since 1919.

2.10 The proposed site has some heritage value for its contribution to the setting of nearby listed buildings and for its contribution to the character and appearance of the conservation



area. It also has some value for its historic associations with the manor of Cantelowes as do other areas of Highgate.

2.11 Heritage Assets are defined in the NPPF's glossary as 'A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).'

2.12 As noted in Mynors and Hewitson (2017) (1-008), in order to be a 'Heritage Asset', it follows from the NPPF that a building or area (*inter alia*) must therefore have a degree of significance because of that building or area's heritage interest.'

2.13 The idea of heritage interest is explained further in the NPPF's Glossary under the definition of Significance: '*The interest may be archaeological, architectural, artistic or historic*'. The government's **Planning Practice Guidance** (PPG) is a resource that provides advice, guidance and definitions on the many aspects of planning, including the historic environment. The PPG adds further detail and context to the NPPF and the two documents are intended to be complementary and used together. The PPG states that ¹:

- archaeological interest: '*there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point*'.
- architectural and artistic interest: '*These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in*

the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.'

- historic interest: '*An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity*'.

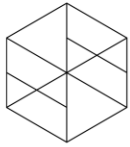
2.14 The various aspects of a building's or area's heritage interest contribute to its overall significance. The NPPF's Glossary sets out that Significance is: '*The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.*'

2.15 It is therefore important to consider the archaeological, artistic/architectural and historic interest of the proposed site as an independent feature as well as in terms of the contribution the site makes to the character and appearance of the conservation area.

Archaeological interest

2.16 It is unknown whether the proposed site has the potential to hold archaeological evidence of past human activity that would be worthy of investigation at some point. There are no associated records held by the Greater London Historic Environment Record. The site does fall into the Archaeological Priority Area for Highgate (Tier 2) which means it has the potential '*to contain a range of medieval and*

¹ Paragraph 006: Reference ID: 18a-006-20190723,
Revision Date: 23/07/2019



postmedieval settlement deposits associated with the historic settlement.'

2.17 Historic England has not been consulted on the proposals which suggests that the Council considers the potential for archaeological evidence on the site to be low/negligible. In any event, given that the proposed building would be constructed to minimise the effect on tree roots, any archaeological deposits would remain undisturbed. It is therefore considered that the potential archaeological interest of the proposed site is low.

Artistic/Architectural interest

2.18 The appearance of the site has obviously evolved over time and there is no purposeful design or artistic intent in its current character and appearance. The appearance of the site is distinct from other nearby areas of open space in that it is comparatively densely planted with modern tree and hedge planting and self-seeded plants and trees that have grown up over the 20th century.

2.19 The existing site boundaries give an appearance of a private treed garden. The density of planting and height of existing trees provide the most obvious aesthetic interest, together with the fortuitous way in which the site softens the surrounding built environment and its relationship with nearby listed buildings including no. 45 Highgate West Hill.

Historic interest

2.20 The historic interest of the site is documented but less tangible in the site's current physical character and appearance. It was once formerly part of a manor's holdings but this is no longer the case and the site has been in private ownership for some time. The site, as with other areas of Highgate and LB Camden, had an association with the Canteloves manor at a point in time. It no longer has this association of ownership or use. The site is no longer 'open' as other parts of the

former common are and is distinct from those areas. It is now planted and has evolved over time and while still a townscape feature, it retains its own character. Its original historic character and appearance cannot be known with any certainty.

Summary

2.21 The proposed site has some significance derived principally from its evolved aesthetic value. It also has some historic interest in association with its past ownership and land use. This association no longer exists and the existing site is the result of its evolution over the 20th and 21st centuries. The greatest focus of the site's significance is in its aesthetic/artistic value and in its contribution to the character and appearance of the wider conservation area because of its aesthetic value.

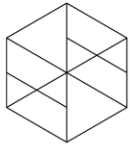
2.23 This conclusion is supported by the fact that there is no designation that applies to the site in its own right despite relatively recent assessments of the character and appearance of the conservation area, the preparation of a local list and the designation of relevant open space within the borough.

3 The proposals and their effects

3.1 The following paragraphs consider the effects of the proposed scheme against the character and appearance of the existing site as a NDHA and of the Highgate Conservation Area.

Effect on the non-designated heritage asset

3.2 As set out above, the proposed site has aesthetic and some historic value although the latter is less tangible than the former. The proposed scheme would cause no harm to the aesthetic value of the site. The proposals would not be seen from the public realm and they would not affect the aesthetic quality of the site



to which they relate. This is confirmed by LB Camden's tree officer in their comments on the submitted scheme. The lack of visibility would be emphasised through additional hedging planted around the proposed building.

3.3 The proposals would also not cause harm to the less tangible historic associations of the site. Those historic, documented associations would remain. The proposed site would remain as a vestige of historic open space in the record and the green/open quality of the site would be preserved.

3.4 Paragraph 197 of the National Planning Policy Framework states that *'The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.'*

3.5 As a positive contributor and in its own right as a NHDA, the proposed site could be considered under paragraph 197. In this case, the proposals would directly affect the NHDA but consideration has to be given to the scale of harm or loss caused. The proposals do not result in the loss of trees or other visual qualities of the site that contribute to its green, wooded or general character and appearance. The townscape value and visual interest of the site would not be harmed.

3.6 Given that there are no specific local, regional or national historic environment designations that apply to the site, the level of its comparative significance is not considered sufficient to prevent the construction of an outbuilding, particularly where there is no harm or loss caused to its general character and appearance or aesthetic or historic interest.

Effect on designated heritage assets

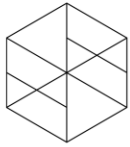
3.7 The setting of heritage assets is a relatively broad concept. It is defined in the Glossary to the NPPF as *'The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.'*

3.8 This means that setting includes how an asset is experienced in its context and that aspects of its setting can contribute to overall significance.

3.9 Historic England's *Good Practice Advice Note 3: Setting of Heritage Assets* (GPA3) was issued in July 2015 and replaced an earlier similar document of 2011. The guidance advocates an approach to assessing the effect of development proposals on the setting of heritage assets against the background of the NPPF and the associated Planning Policy Guidance.

3.10 It sets out that at paragraph 9 that *'Setting is not a heritage asset, nor a heritage designation, though land within a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset [our emphasis]. This depends on a wide range of physical elements within, as well as perceptual and associational attributes pertaining to, the heritage asset's surroundings.'*

3.11 The importance of setting, and the degree to which it can be affected, is inextricably linked therefore to what setting contributes to the significance of the heritage asset – in this case, nearby listed buildings. The setting of a listed building in a densely built up locality could in theory encompass a wide variety of buildings. In order for setting to be important and to be appropriately protected in planning decisions, it must contribute to the overall significance of the listed building.



- 3.12 In this case, it is considered that the site:
- contributes to an understanding of the historic development of the wider site at no. 45;
 - acts as a means of enclosure to the 18th century group;
 - provides a soft barrier between the listed buildings at nos. 45 and 46 and the street and later phases of development;
 - contributes to a verdant setting in the foreground of nos. 45 and 46 together with street planting, the reservoir and garden planting – the site is one element in an open and green context;
 - provides a degree of texture, colour and visual interest within the setting of the listed buildings;
 - contributes to the semi-rural character of the listed building's context;
 - may reflect the aim of past owners to provide screening from the street or to provide additional amenity, thereby reflecting a degree of design intent in the absence of a formal planting scheme or a more formal garden space.

3.13 The site contributes to the setting and therefore the significance of the listed buildings at nos. 45-47 Highgate West Hill for these reasons. It is not the principal focus of the buildings' significance and the special interest of the buildings does not depend on the site to be of value. In this way, the site makes a limited, as opposed to substantial, contribution to the significance of the listed buildings.

3.14 Statute and relevant policy provision rightly seek to protect the setting of listed buildings where it contributes to their significance and special interest. Causing harm to setting should clearly be avoided unless it is justified and/or outweighed by other considerations.

3.15 Taking the various elements as noted in 3.12 above, it is considered that all of these

contributing factors will be retained following the implementation of the proposed scheme. The site:

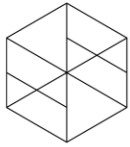
- will continue to contribute to the site's history of ownership and historic development;
- will continue to act as a means of enclosure;
- will continue to provide a soft barrier between nos. 45 and 46 and the street;
- will continue to contribute to a verdant setting (with trees on the site unaffected by the proposals);
- will continue to provide visual interest;
- will continue to contribute to the local semi-rural character which more broadly contributes to the significance of the listed buildings;
- will continue to reflect any historic design intent to provide screening and amenity.

3.16 In short, the proposals would not cause harm to the site or the contribution that it makes to the setting of nearby listed buildings. The proposed scheme would not be visible from any of the listed buildings because of the existing planting – there would be no distinct visual interrelationship. The proposals would also not be visible from the public realm and additional planting is proposed to ensure this.

Highgate Conservation Area

3.17 Local policy is in line with the statutory provision in that development should preserve the character and appearance of conservation areas. It is acknowledged that the existing site contributes positively to local character and appearance and has townscape value.

3.18 The proposed scheme would not affect the appearance of the site and its relationship with the surrounding conservation area and would not in any way affect its townscape value. The proposed building would not be visible from the public realm as noted above. The principal townscape contribution is in the site's planting



and as inferred from the tree officer's comments for the submitted scheme, harm would not arise through the proposed development. The site would:

- continue to contribute to Highgate's semi-rural feel;
- continue to visually coalesce and relate to the green character and planting of the reservoir, street planting and nearby garden planting – the site is not isolated in its townscape contribution but is part of a wider planted landscape in this part of the conservation area;
- continue to provide a break in the built environment together with the reservoir which contributes to the green and spacious character of this part of Highgate West Hill;
- continue to provide a leafy backdrop to Pond Square and other nearby development;
- continue to separate the early 18th century houses at nos. 45 and 46 from the street and later phases of development within the conservation area; and,
- would continue to form part of a series of green spaces within the conservation area context.

3.19 Again, it is the case that the site's contribution to local character and appearance would remain unaffected by the proposed scheme. The trees within the site which essentially provide the contribution to local character will be unaffected by the proposals. Further planting on the site will ensure that the proposed building is not visible from the public realm. Therefore, the proposals will not cause harm to the Highgate Conservation Area but will preserve its character and appearance.

Summary

3.20 It is therefore considered that the proposed scheme does not cause harm to those qualities of the site that contribute to the

setting and therefore the significance of nearby listed buildings. Further, it is considered that the proposed scheme does not cause harm to the characteristics of the site that contribute to the character and appearance of the Highgate Conservation Area.

3.21 In addition, if the site is considered as a non-designated heritage asset in its own right, the scale of harm or loss must be balanced against its significance according to local and national policy relating to non-designated heritage assets. It is considered that the effects of the proposal on the site and its significance are not sufficient to the warrant refusal on these grounds and that the proposals would not cause harm to the non-designated heritage asset.

3.21 The main statutory and policy provision for the site beyond those designed to protect NDHAs are those that relate to conservation areas and listed buildings. Here the statutory test is whether proposals preserve or enhance the character and appearance of conservation areas or preserve the setting of listed buildings. Taking national guidance on setting matters (that elaborates on listed buildings and setting) into account, the proposed scheme would preserve those elements of the relevant listed buildings' setting that contribute to their significance. As already noted, the proposals are considered to preserve the character and appearance of the Highgate Conservation Area.

3.22 For these reasons and for those set out above, it is considered that the proposals comply with the relevant statutory provision and relevant historic environment policy.