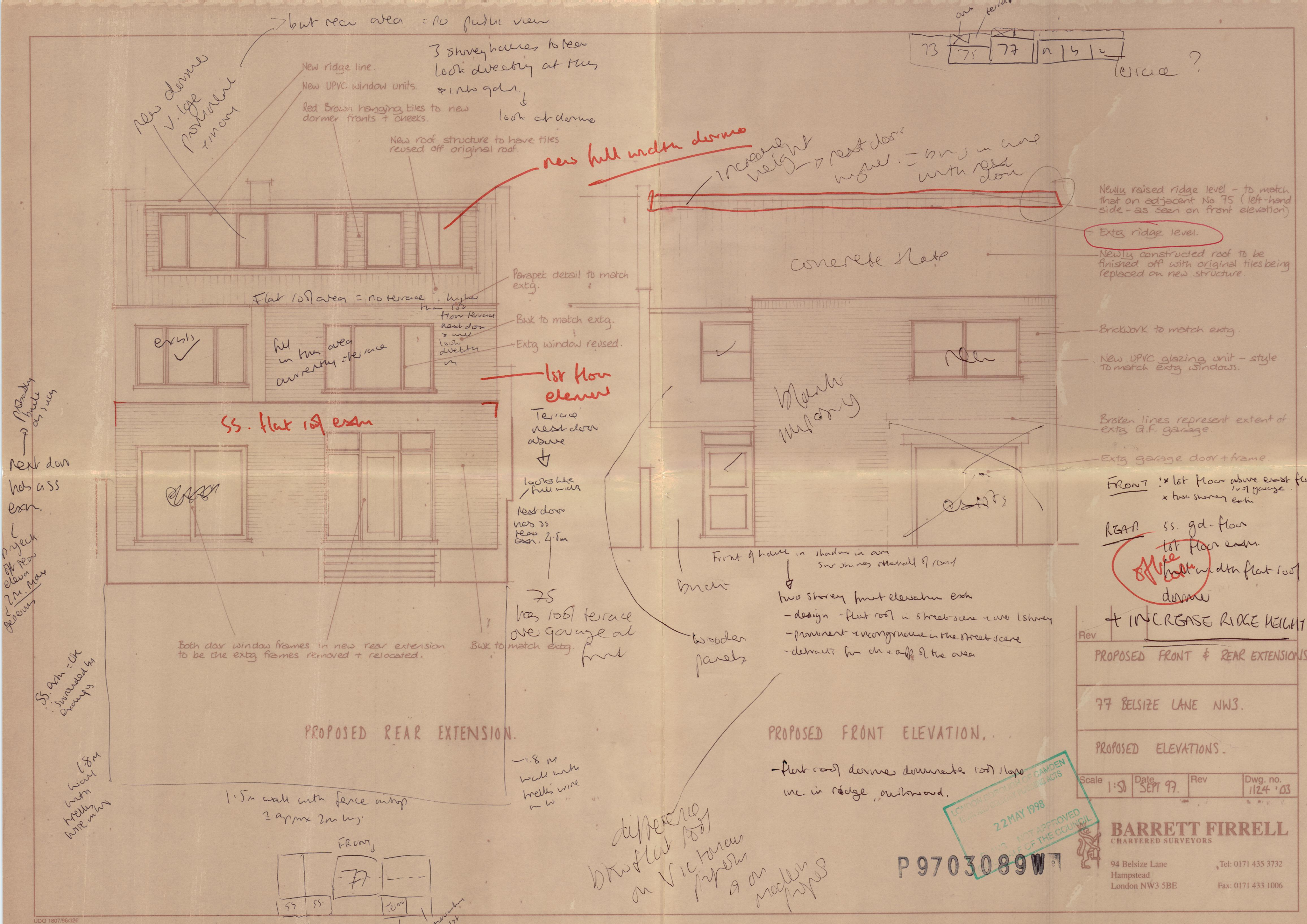




but rear area = no public view
3 storey houses to rear
look directly at this
into garden
look at dormer

73 75 77 79 81
terrace?

New dormer
V. large
prominent
chimney
New ridge line.
New UPVC window units.
Red Brown hanging tiles to new
dormer fronts + cheeks.
New roof structure to have tiles
reused off original roof.

new full width dormer
increased height
rest door
height = 1.5m in wall
with red
down

Newly raised ridge level - to match
that on adjacent No 75 (left-hand
side - as seen on front elevation)

Extg ridge level.

Newly constructed roof to be
finished off with original tiles being
replaced on new structure.

Brickwork to match extg.

New UPVC glazing unit - style
to match extg windows.

Broken lines represent extent of
extg G.F. garage

Extg garage door + frame

FRONT: 1st floor above crest of
road of garage
x two storey each

REAR: ss. gd. floor
1st floor each
full width flat roof
dormer

+ INCREASE RIDGE HEIGHT

PROPOSED FRONT & REAR EXTENSIONS.

77 BELSIZE LANE NW3.

PROPOSED ELEVATIONS.

Scale 1:50 Date SEPT 97. Rev Dwg. no. 1124-03

BARRETT FIRRELL
CHARTERED SURVEYORS

94 Belsize Lane
Hampstead
London NW3 5BE
Tel: 0171 435 3732
Fax: 0171 435 1006

Project
at rear
2m. max
protrusion

ss. alm = 1.8m
surrounding
drainage

1.8m
wall
with
hells wire
on top

Flat roof area = no terrace
higher
1st floor terrace
next door
will
look directly
in

ss. flat roof extension

1st floor
extension

Terrace
next door
above

looks like
full width

next door
has ss
rear
door. 2.5m

75
has 100' terrace
over garage at
front

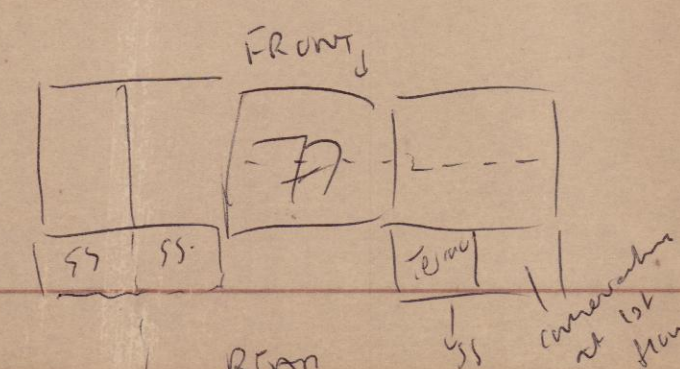
Both door window frames in new rear extension
to be the extg frames removed + relocated.

Back to match extg.

PROPOSED REAR EXTENSION.

1.8m
wall with
hells wire
on top

1.5m wall with fence on top
approx 2m long



different
flat roof
on Victorian
property
on modern
plans

PROPOSED FRONT ELEVATION.

- flat roof dormer dominates roof line
inc. in ridge, awkward.

two storey front elevation extg
- design - flat roof in street scene + one 1 storey
- prominent incongruence in the street scene
- detracts from the appearance of the area

P 9703089W

LONDON BOROUGH OF CAMDEN
PLANNING ACTS
22 MAY 1998
NOT APPROVED
BY THE COUNCIL