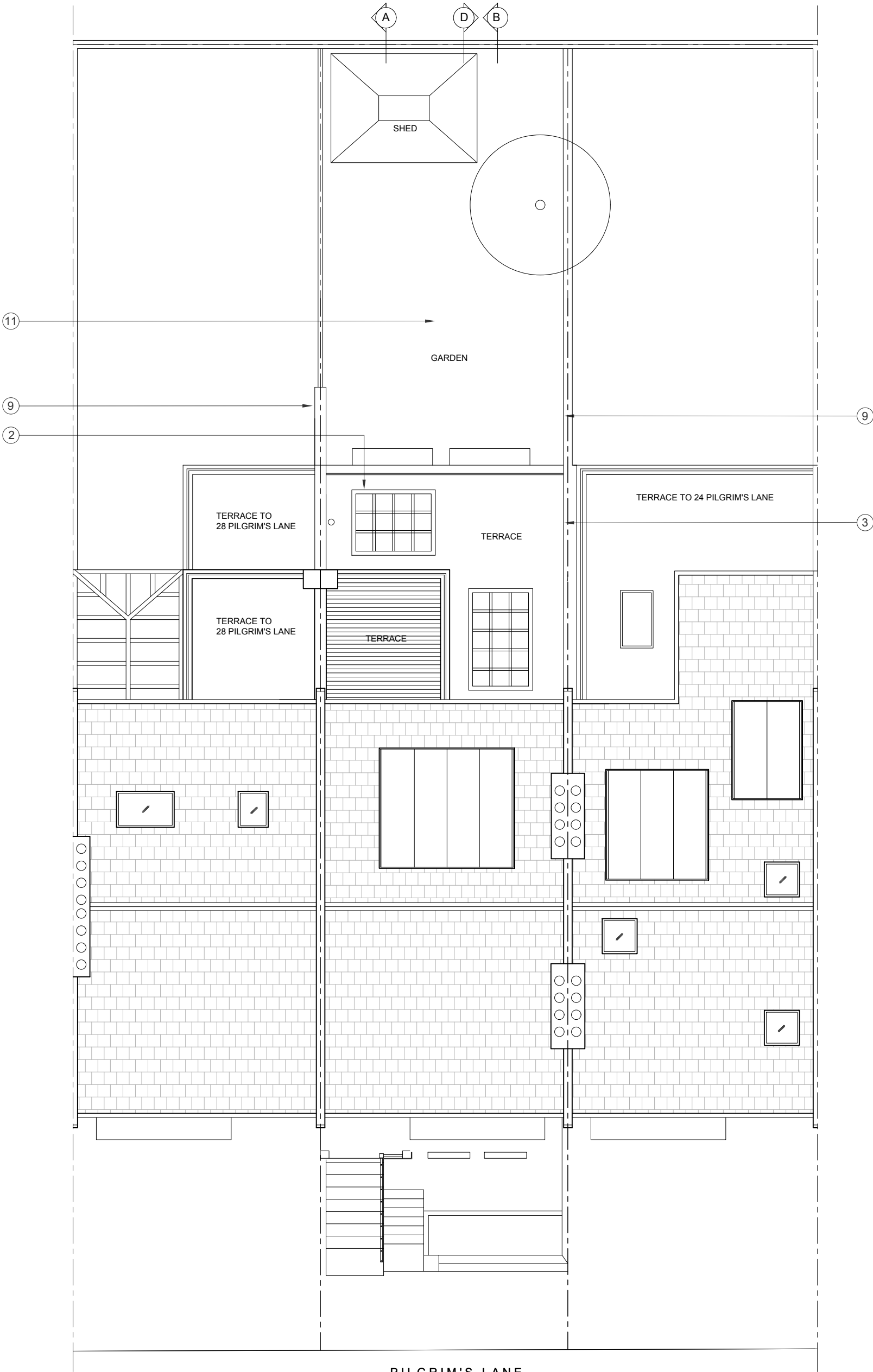


General Notes

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To be read in conjunction with all relevant Architects', Services and Structural Engineers' drawings. For all structural details and information refer to Structural Engineers drawings.  
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Any discrepancies between drawings to be reported immediately to the Architect.  
Refer to drawing number for details.

REAR OF PROPERTIES TO WEST SIDE OF DOWNSHIRE HILL



KEY

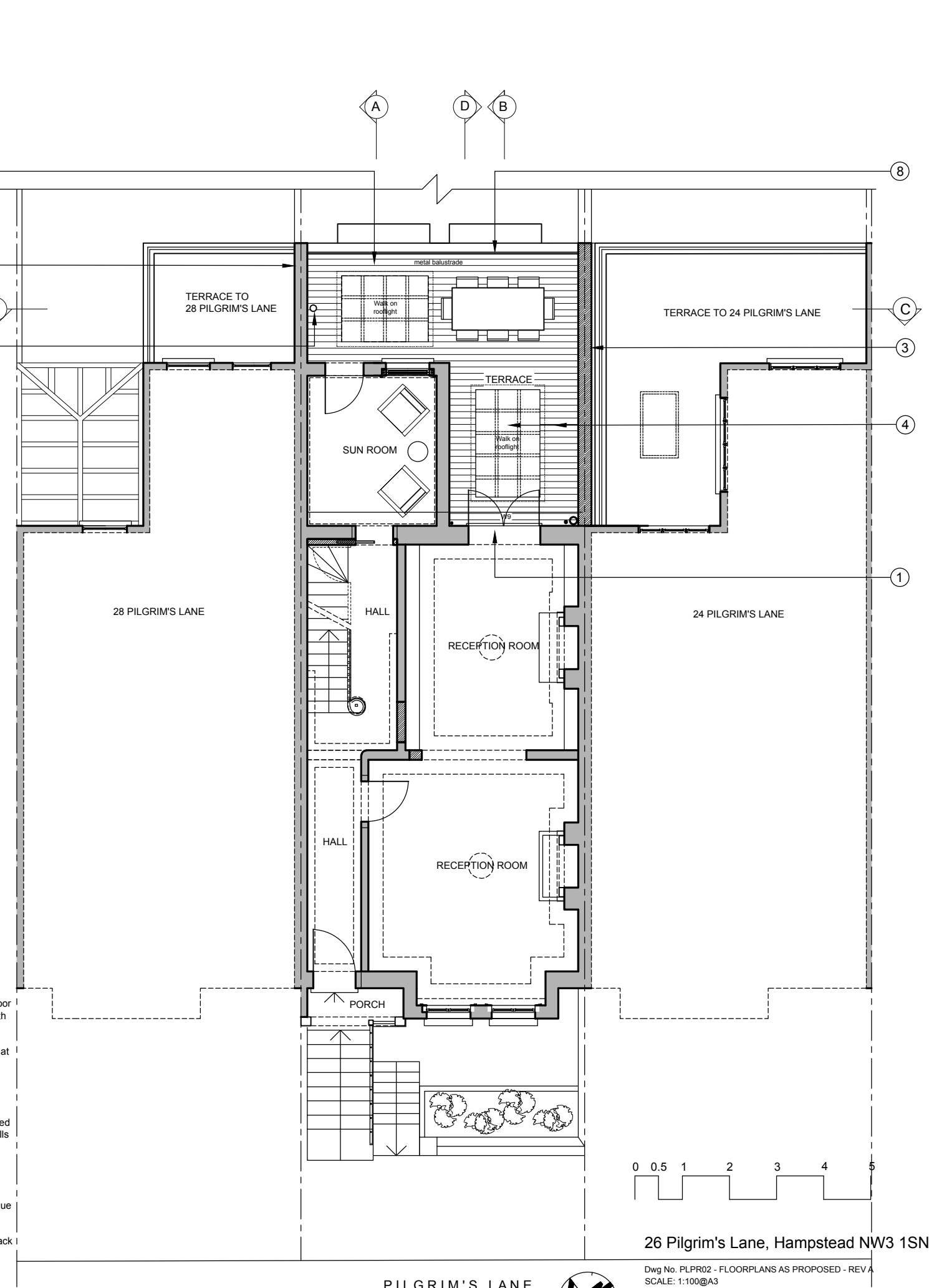
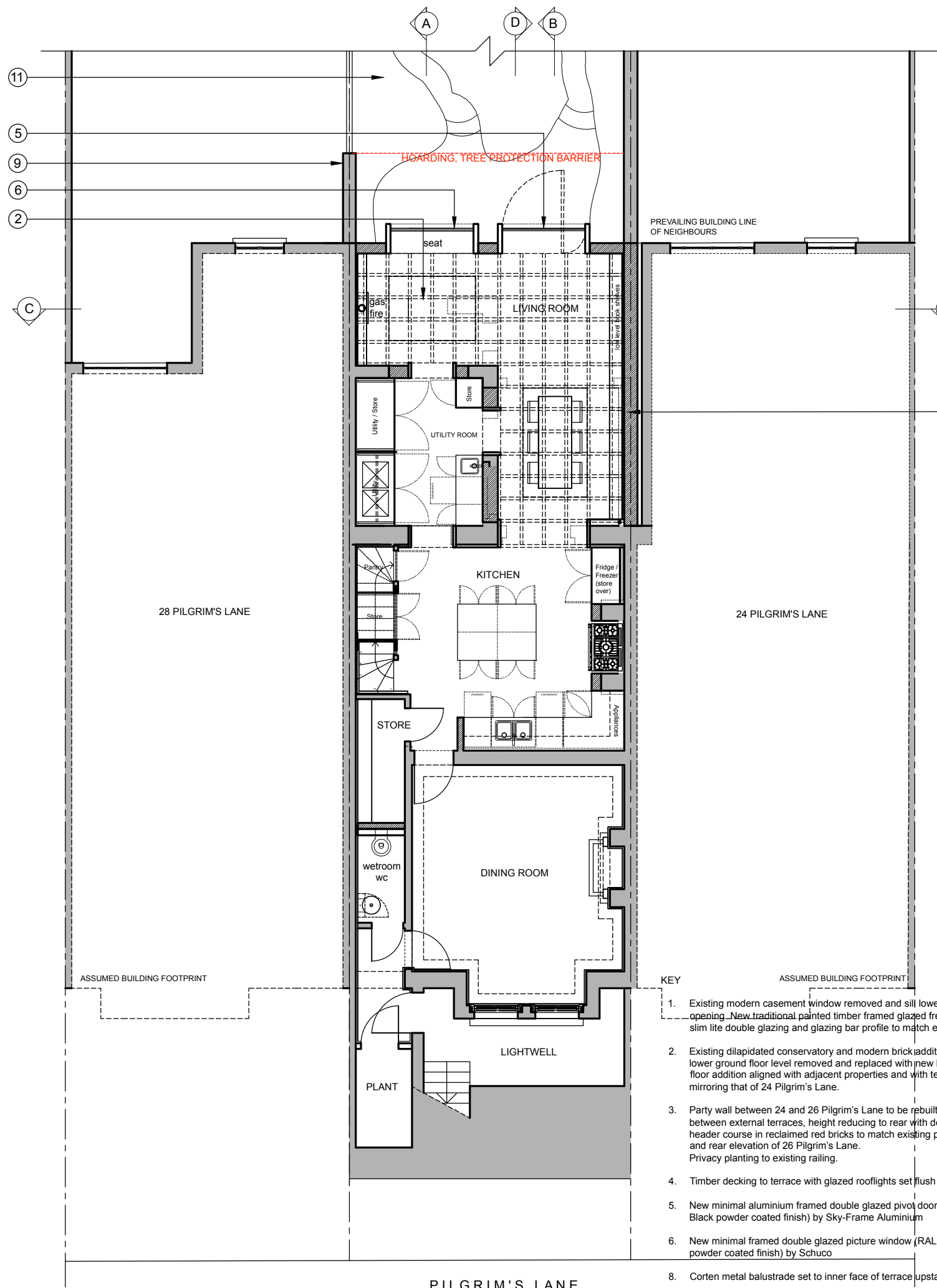
1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
2. Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
3. Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane.
4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door
6. New minimally metal framed double glazed picture window
7. Corten metal cladding to lower ground floor addition
8. Frameless glazed balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
12. Existing mature tree unaffected
13. Flue to gas fire at low level



26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR01 - SITE PLAN AS PROPOSED  
SCALE: 1:100@A3  
SEPTEMBER 2020

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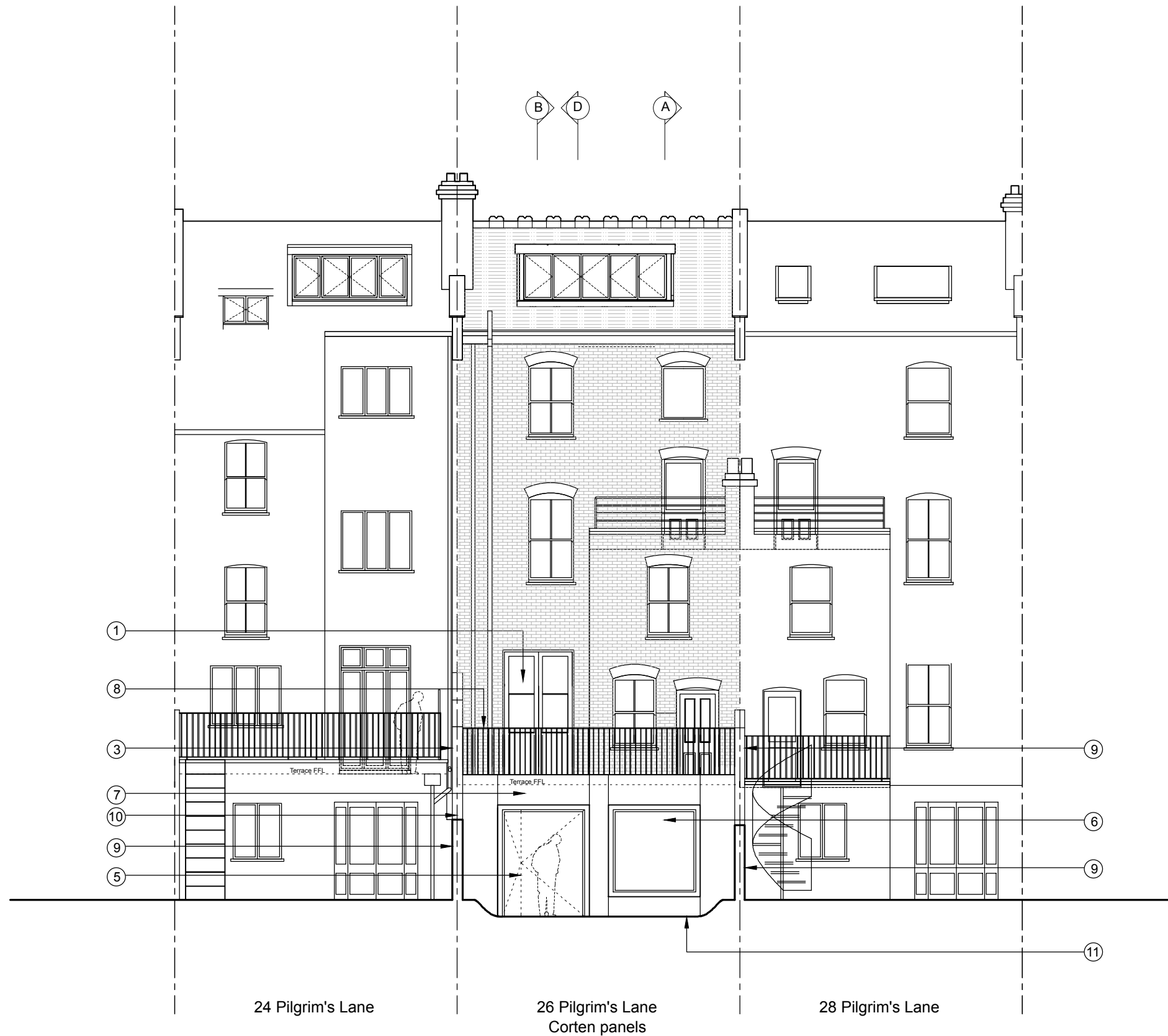
01 LOWER GROUND FLOOR PLAN AS PROPOSED

02 RAISED GROUND FLOOR PLAN AS PROPOSED

26 Pilgrim's Lane, Hampstead NW3 1SN

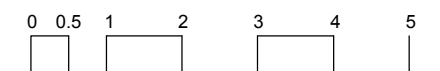
Dwg No. PLPR02 - FLOORPLANS AS PROPOSED - REV A  
SCALE: 1:100@A3  
DECEMBER 2020

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#### KEY

1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
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4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door (RAL 5004 powder coated finish)
6. New minimally metal framed double glazed picture window (RAL 5004 powder coated finish)
7. Corten metal cladding to lower ground floor addition
8. Corten metal balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
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01 REAR ELEVATION AS PROPOSED

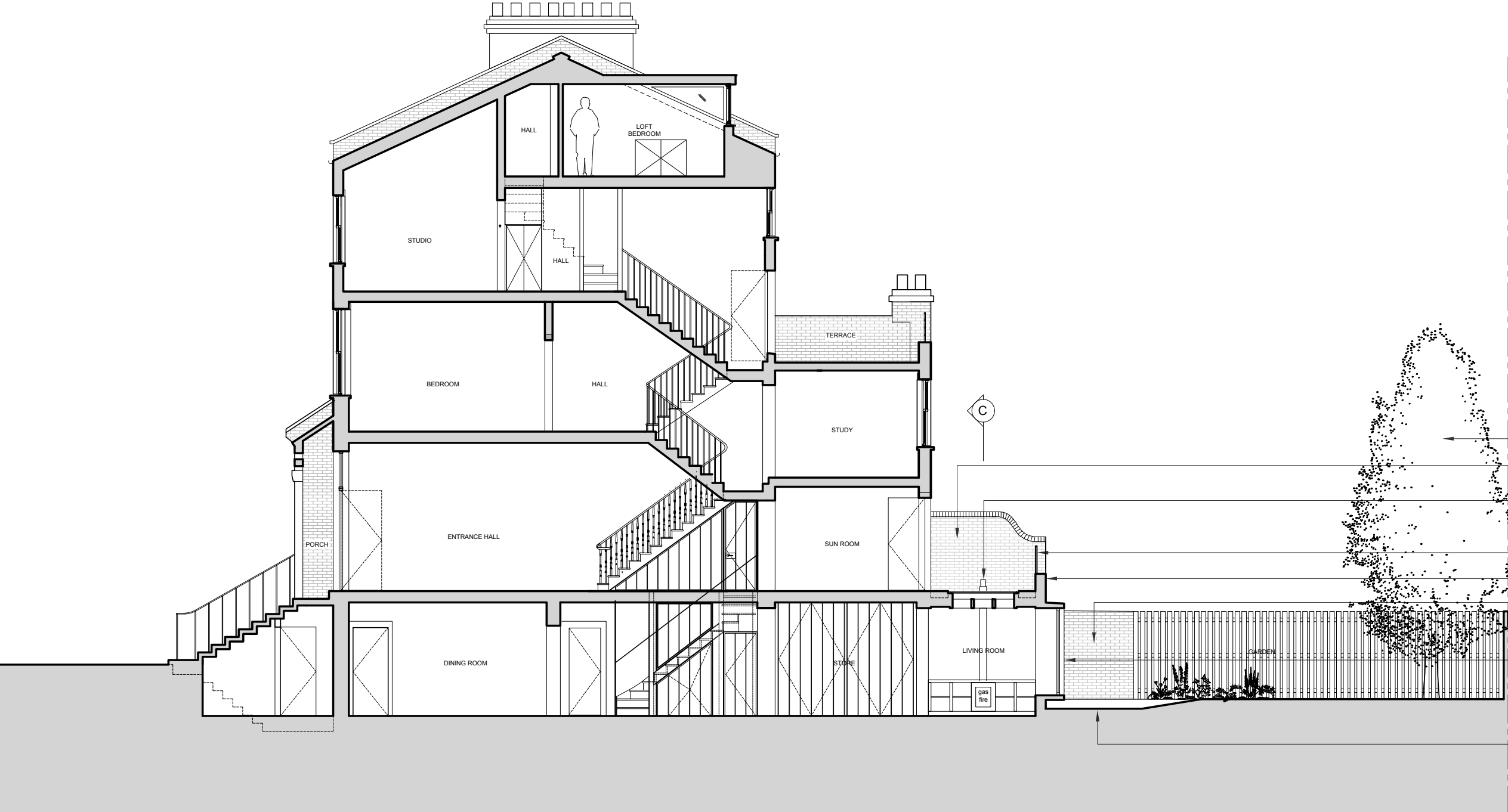
26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR03 - REAR ELEVATION AS PROPOSED - REV A  
SCALE: 1:100@A3  
SEPTEMBER 2020

**FOR PLANNING**  
**Malcolm Fryer Architects Limited**  
Unit 7, The Ivories, 6 Northampton Street, N1 2HY  
www.mfryer-architects.com 020 7354 7370

General Notes

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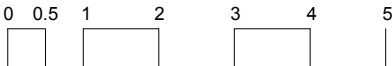


KEY

- Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
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- New minimally metal framed double glazed picture window
- Corten metal cladding to lower ground floor addition
- Frameless glazed balustrade set to inner face of terrace upstand
- Existing brick party fence walls unaffected
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- Garden ground level adjusted locally to match existing internal
- Existing mature tree unaffected
- Flue to gas fire at low level

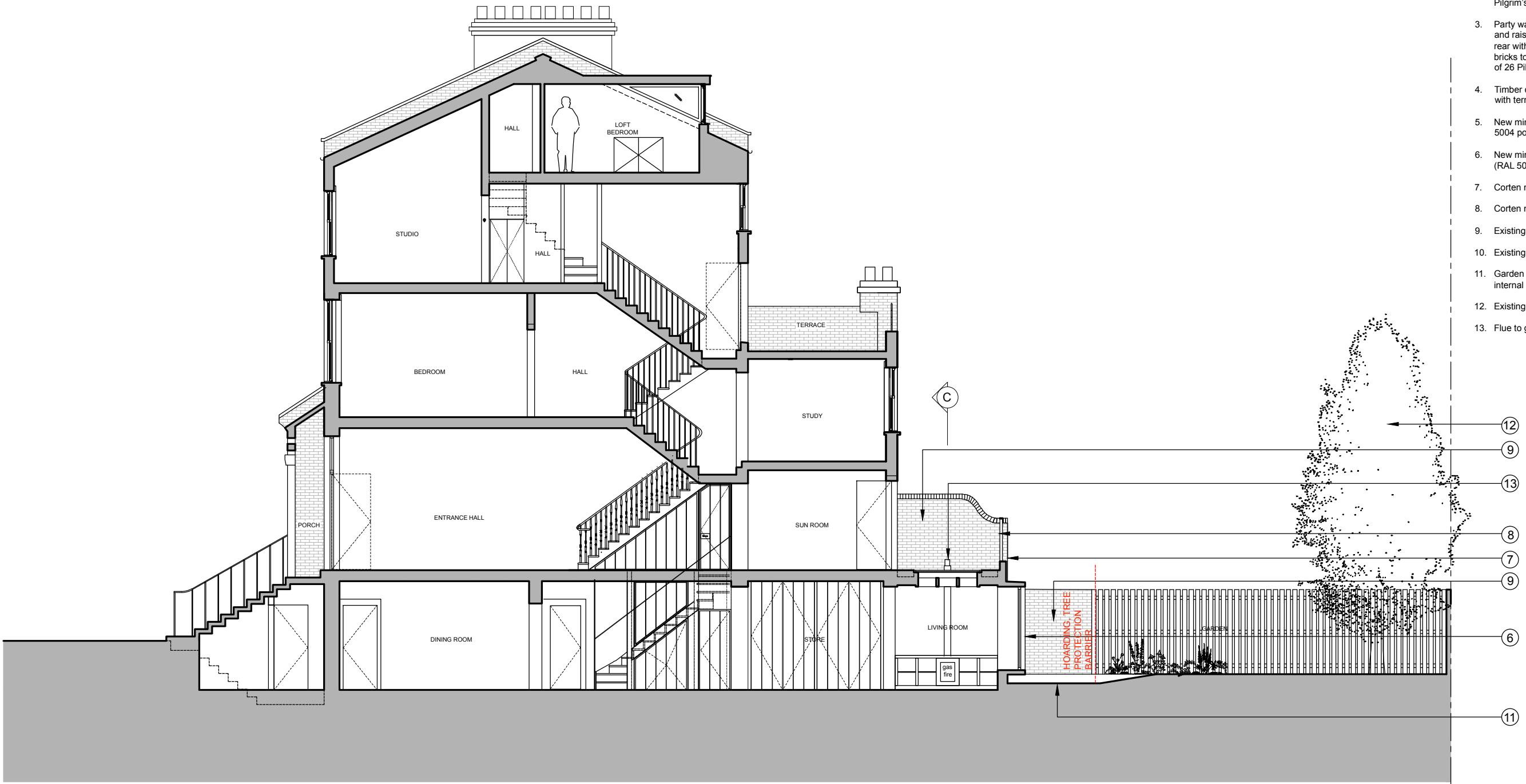
01

SECTION A-A AS PROPOSED



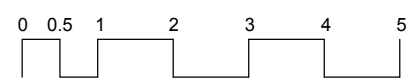
26 Pilgrim's Lane, Hampstead NW3 1SN

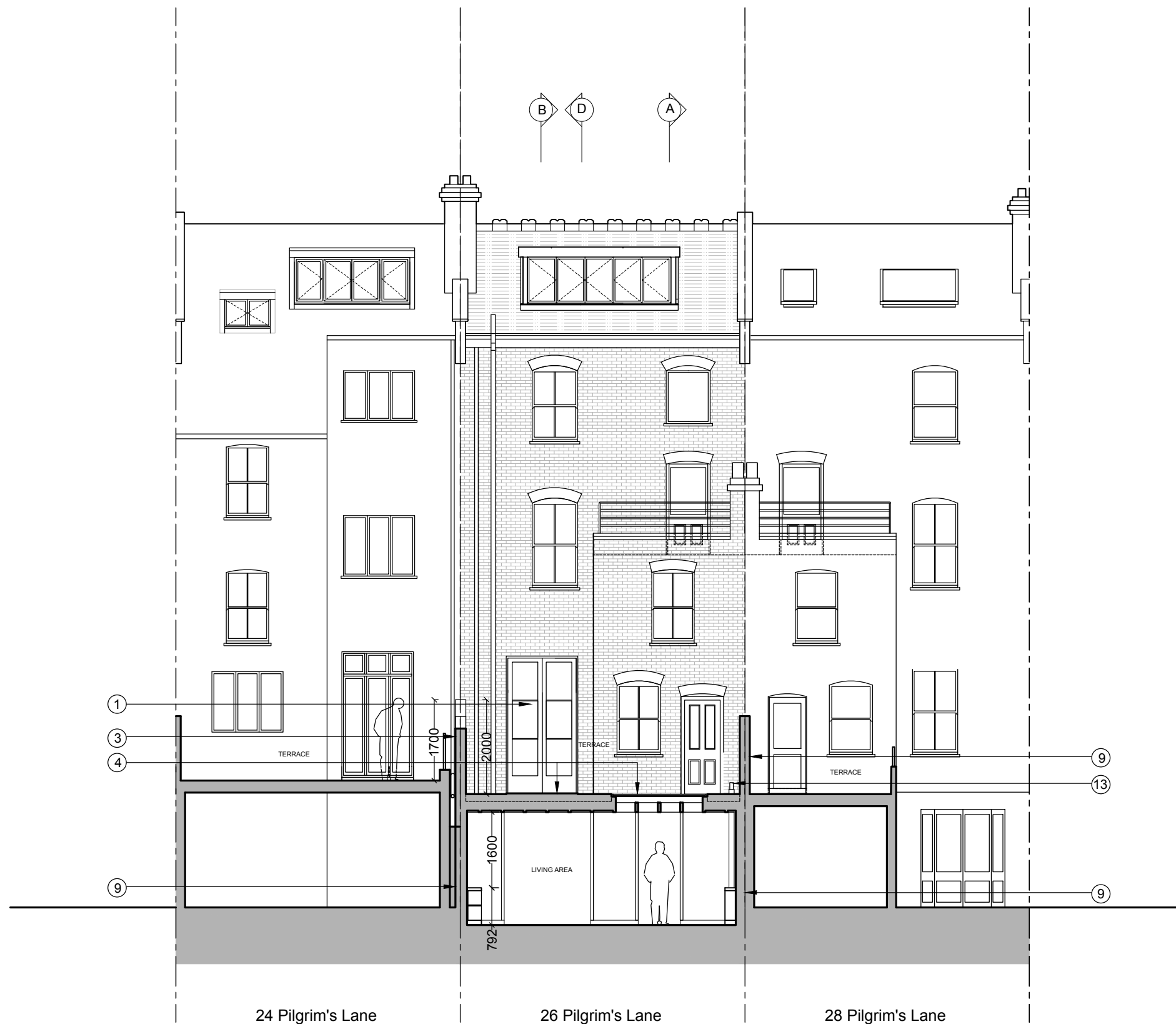
Dwg No. PLPR04 - SECTION A A AS PROPOSED  
SCALE: 1:100@A3  
SEPTEMBER 2020  
**FOR PLANNING**  
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- KEY
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  - Existing brick party fence walls unaffected
  - Existing dilapidated timber trellis replaced with new matching
  - Garden ground level adjusted locally to match existing internal
  - Existing mature tree unaffected
  - Flue to gas fire at low level

01 SECTION A-A AS PROPOSED





#### KEY

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26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR06 - SECTION C C AS PROPOSED - REV A

SCALE: 1:100@A3

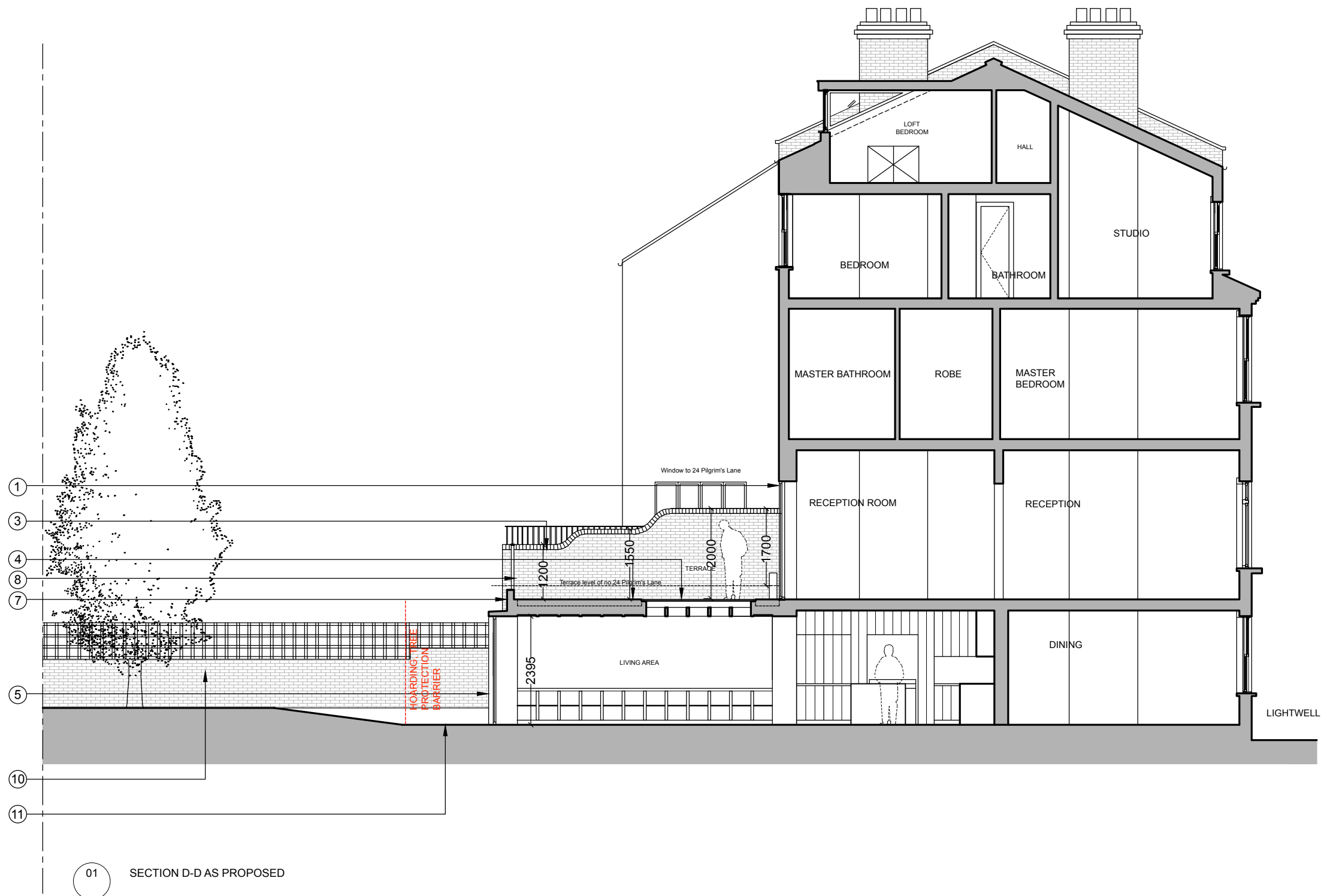
DECEMBER 2020

**FOR PLANNING**

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26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR07 - SECTION D D AS PROPOSED - REV A

SCALE: 1:100@A3

DECEMBER 2020

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