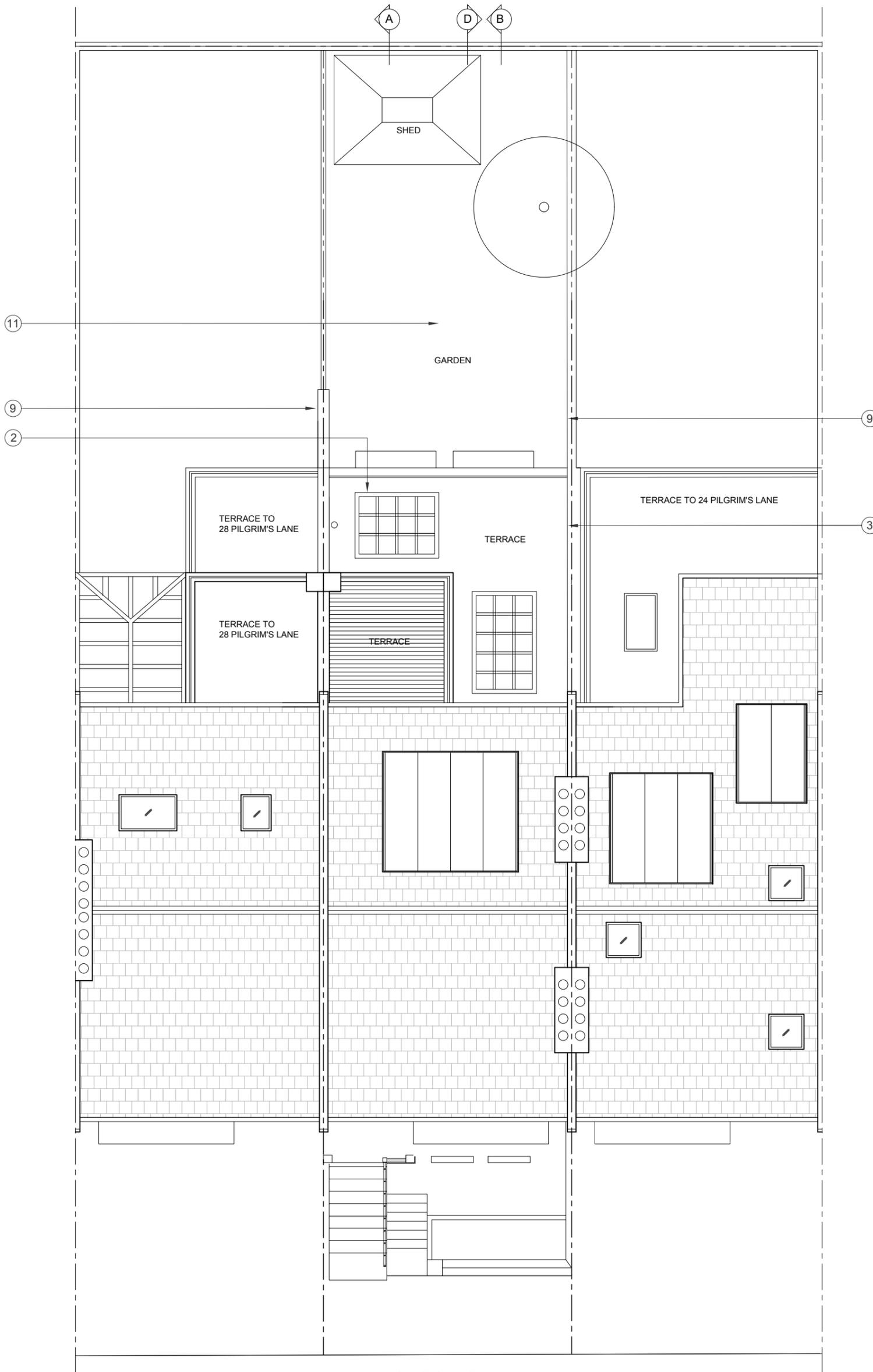


General Notes

Do not scale from drawings.
 All dimensions must be checked on site and discrepancies verified with the Architect.
 Unless shown otherwise all dimensions are to be to structural surfaces and are in mm.
 Unless shown refer to internal door schedule for door sizes. Door openings to be set out to give full specified architrave either side.
 To be read in conjunction with all relevant Architects', Services and Structural Engineers' drawings. For all structural details and information refer to Structural Engineers drawings.
 For all mechanical and electrical information refer to M&E consultants drawings and information unless shown otherwise.
 Any discrepancies between drawings to be reported immediately to the Architect.
 Refer to drawing number for details.

REAR OF PROPERTIES TO WEST SIDE OF DOWNSHIRE HILL



KEY

1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim life double glazing and glazing bar profile to match existing.
2. Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
3. Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane.
4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door
6. New minimally metal framed double glazed picture window
7. Corten metal cladding to lower ground floor addition
8. Frameless glazed balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
12. Existing mature tree unaffected
13. Flue to gas fire at low level

01 SITE PLAN AS PROPOSED

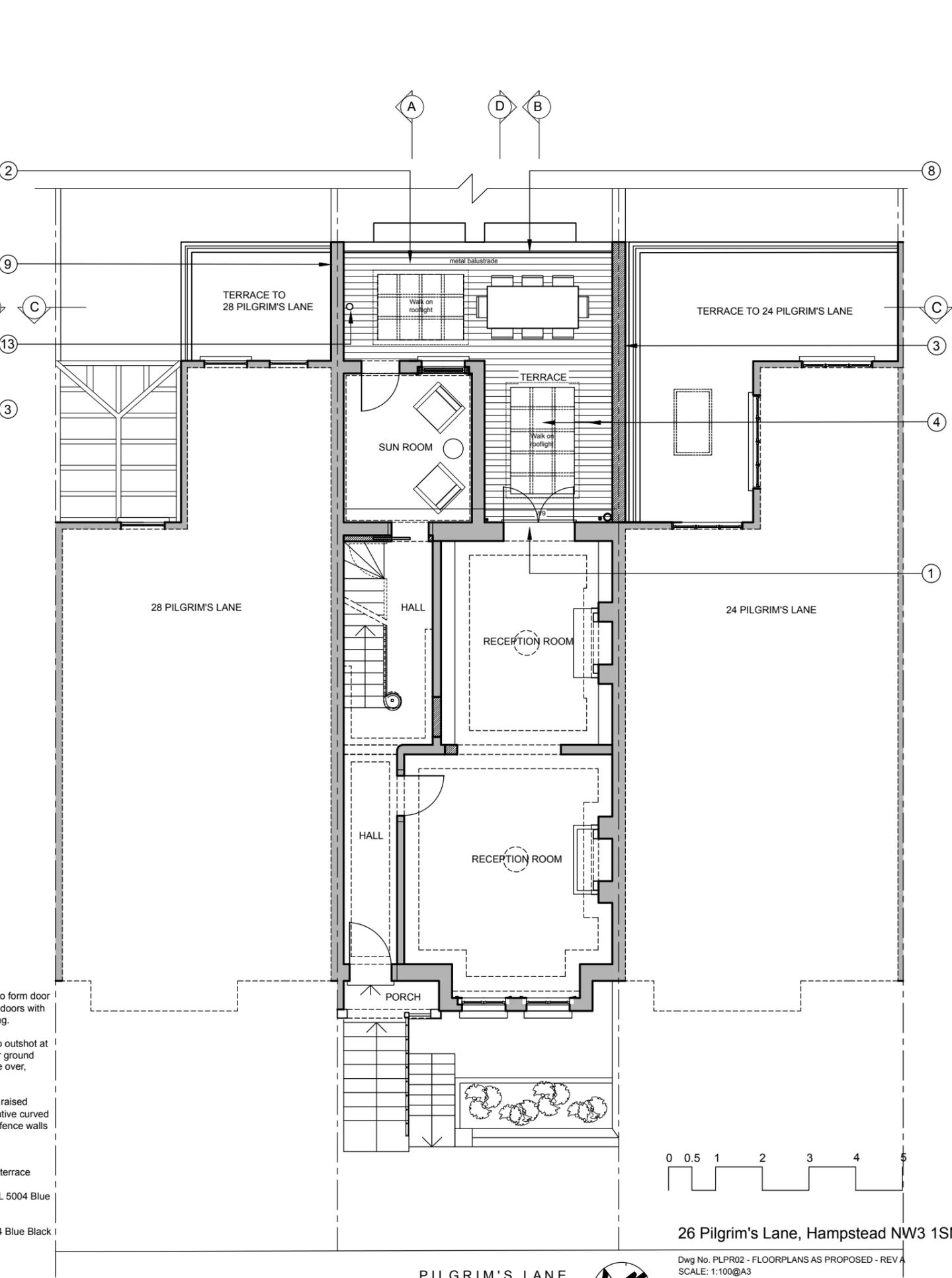
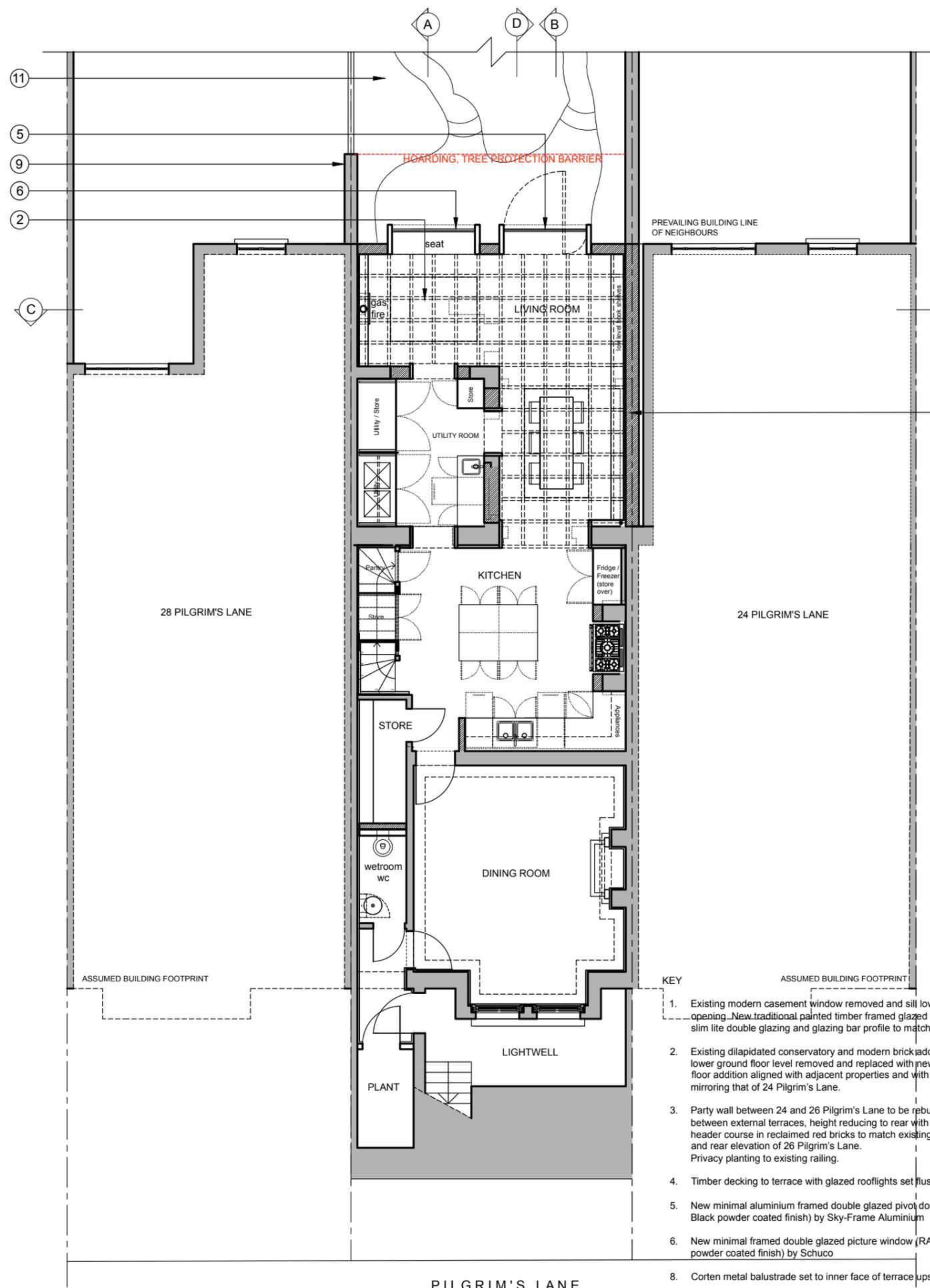
PILGRIM'S LANE



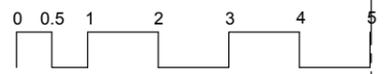
26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR01 - SITE PLAN AS PROPOSED
 SCALE: 1:100@A3
 SEPTEMBER 2020

FOR PLANNING
Malcolm Fryer Architects Limited
 Unit LG05, Screenworks, 22 Highbury Grove, N5 2EF
 www.mfryer-architects.com 020 7354 7370



- KEY**
- Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
 - Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
 - Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane. Privacy planting to existing railing.
 - Timber decking to terrace with glazed rooflights set flush with terrace
 - New minimal aluminium framed double glazed pivot door (RAL 5004 Blue Black powder coated finish) by Sky-Frame Aluminium
 - New minimal framed double glazed picture window (RAL 5004 Blue Black powder coated finish) by Schuco
 - Corten metal balustrade set to inner face of terrace upstand
 - Existing brick party fence walls unaffected
 - Garden ground level adjusted locally to match existing internal
 - Flue to gas fire at low level



01 LOWER GROUND FLOOR PLAN AS PROPOSED

02 RAISED GROUND FLOOR PLAN AS PROPOSED

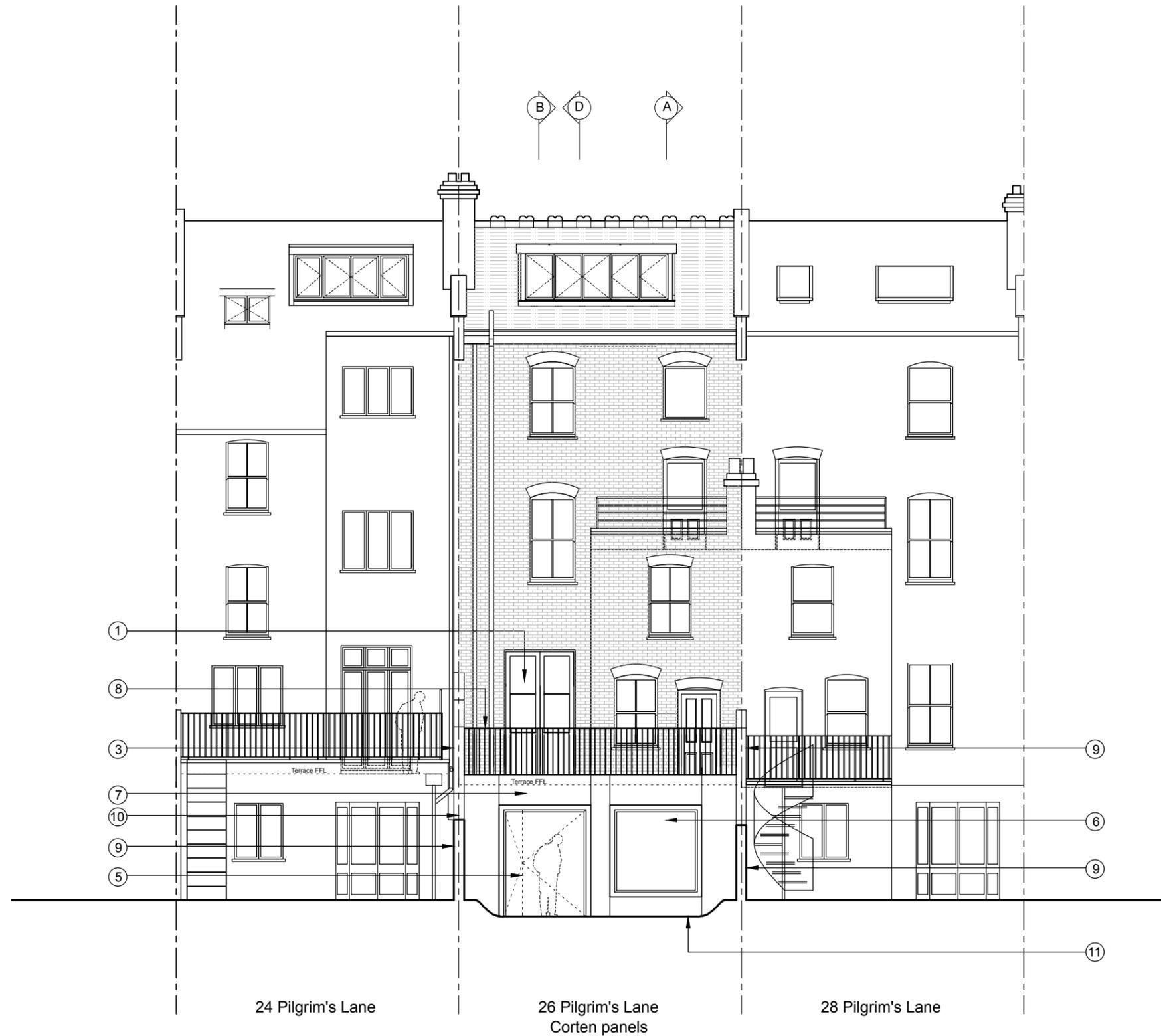
26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR02 - FLOORPLANS AS PROPOSED - REV A
 SCALE: 1:100@A3
 DECEMBER 2020
FOR PLANNING
Malcolm Fryer Architects Limited
 Unit LG05, Screenworks, 22 Highbury Grove, N5 2EF
 www.mfryer-architects.com 020 7354 7370



KEY

1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
2. Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
3. Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane. Privacy planting to existing railing
4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door (RAL 5004 powder coated finish)
6. New minimally metal framed double glazed picture window (RAL 5004 powder coated finish)
7. Corten metal cladding to lower ground floor addition
8. Corten metal balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
12. Existing mature tree unaffected
13. Flue to gas fire at low level



01 REAR ELEVATION AS PROPOSED



26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR03 - REAR ELEVATION AS PROPOSED - REV A
 SCALE: 1:100@A3
 SEPTEMBER 2020

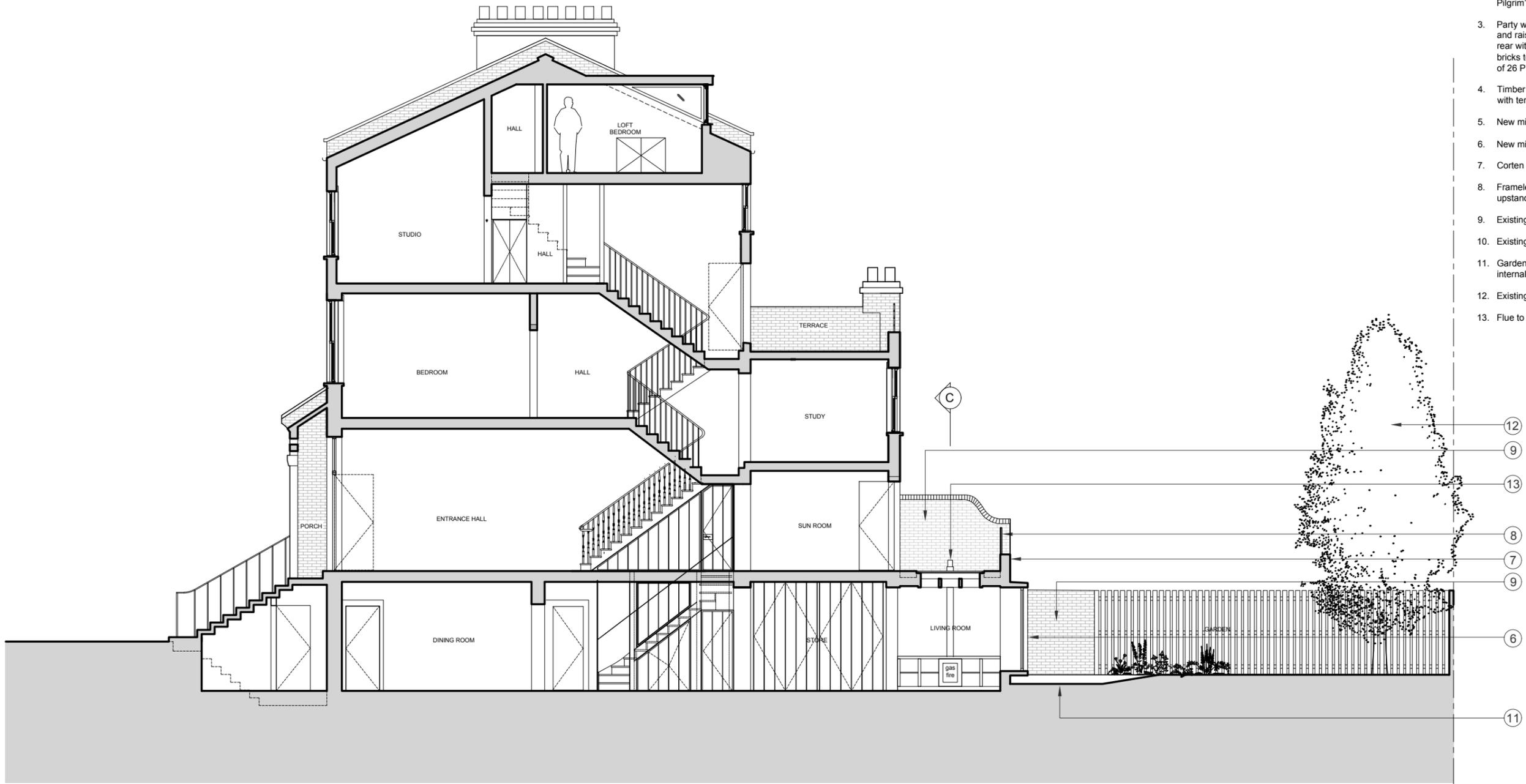
FOR PLANNING
Malcolm Fryer Architects Limited
 Unit 7, The Ivories, 6 Northampton Street, N1 2HY
 www.mfryer-architects.com 020 7354 7370

General Notes

Do not scale from drawings.
 All dimensions must be checked on site and discrepancies verified with the Architect.
 Unless shown otherwise all dimensions are to be to structural surfaces and are in mm.
 Unless shown refer to internal door schedule for door sizes. Door openings to be set out to give full specified architrave either side.
 To be read in conjunction with all relevant Architects', Services and Structural Engineers' drawings. For all structural details and information refer to Structural Engineers drawings.
 For all mechanical and electrical information refer to M&E consultants drawings and information unless shown otherwise.
 Any discrepancies between drawings to be reported immediately to the Architect.
 Refer to drawing number for details.

KEY

1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
2. Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
3. Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane.
4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door
6. New minimally metal framed double glazed picture window
7. Corten metal cladding to lower ground floor addition
8. Frameless glazed balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
12. Existing mature tree unaffected
13. Flue to gas fire at low level



01 SECTION A-A AS PROPOSED



26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR04 - SECTION A A AS PROPOSED
 SCALE: 1:100@A3
 SEPTEMBER 2020
FOR PLANNING
Malcolm Fryer Architects Limited
 Unit LG05, Screenworks, 22 Highbury Grove, N5 2EF
 www.mfryer-architects.com 020 7354 7370



KEY

1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
2. Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
3. Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane.
4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door (RAL 5004 powder coated finish)
6. New minimally metal framed double glazed picture window (RAL 5004 powder coated finish)
7. Corten metal cladding to lower ground floor addition
8. Corten metal balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
12. Existing mature tree unaffected
13. Flue to gas fire at low level

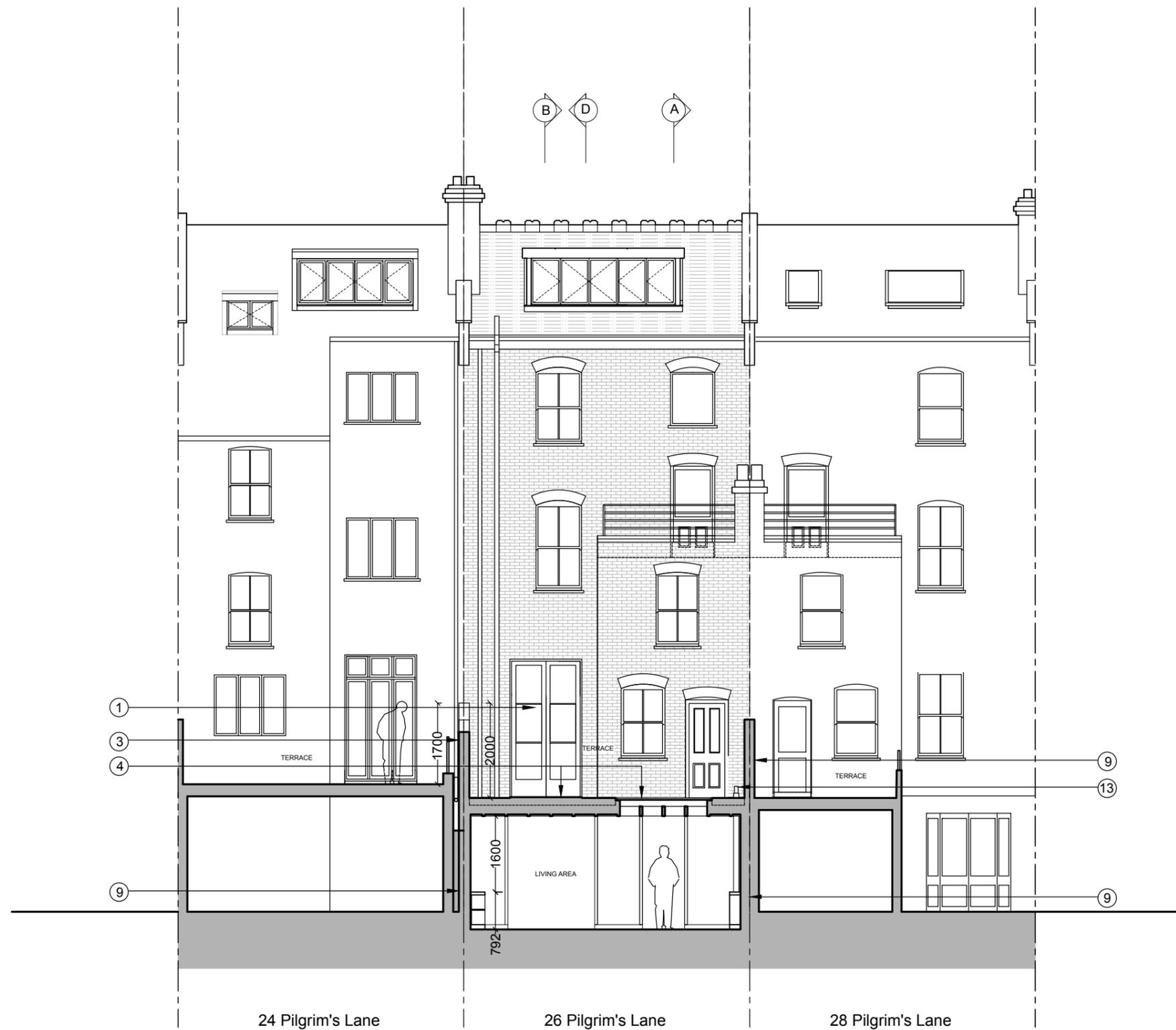
01 SECTION A-A AS PROPOSED



26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR05 - SECTION B AS PROPOSED - REV A
 SCALE: 1:100@A3
 DECEMBER 2020

FOR PLANNING
Malcolm Fryer Architects Limited
 Unit 7, The Ivories, 6 Northampton Street, N1 2HY
 www.mfryer-architects.com 020 7354 7370



01 SECTION C-C AS PROPOSED

KEY

1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
2. Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
3. Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane. Privacy planting to existing railing
4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door (RAL 5004 powder coated finish)
6. New minimally metal framed double glazed picture window (RAL 5004 powder coated finish)
7. Corten metal cladding to lower ground floor addition
8. Frameless glazed balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
12. Existing mature tree unaffected
13. Flue to gas fire at low level



26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR06 - SECTION C C AS PROPOSED - REV A

SCALE: 1:100@A3

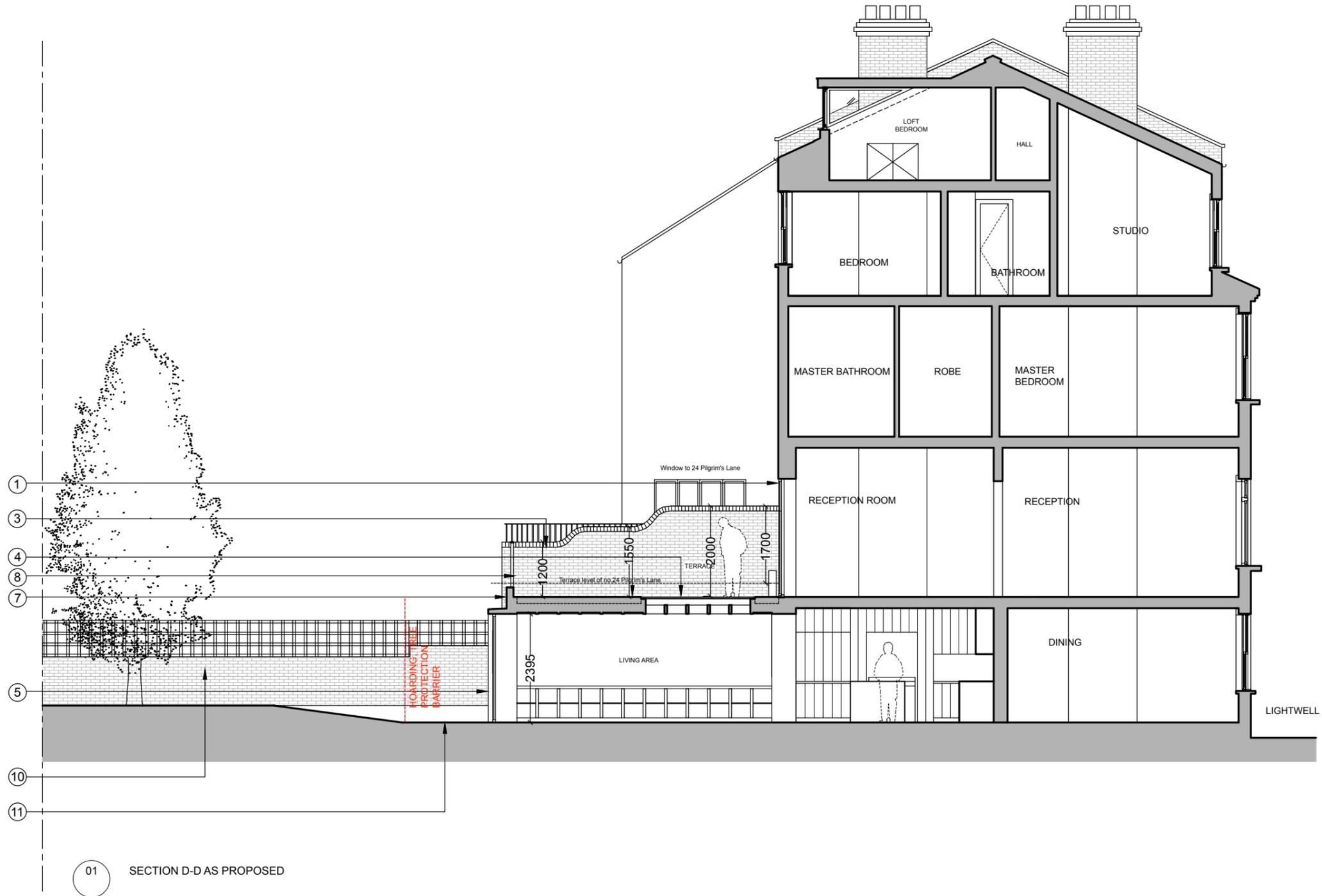
DECEMBER 2020

FOR PLANNING

Malcolm Fryer Architects Limited

Unit LG05, Screenworks, 22 Highbury Grove, N5 2EF

www.mfryer-architects.com 020 7354 7370



KEY

1. Existing modern casement window removed and sill lowered to form door opening. New traditional painted timber framed glazed french doors with slim lite double glazing and glazing bar profile to match existing.
2. Existing dilapidated conservatory and modern brick addition to outshot at lower ground floor level removed and replaced with new lower ground floor addition aligned with adjacent properties and with terrace over, mirroring that of 24 Pilgrim's Lane.
3. Party wall between 24 and 26 Pilgrim's Lane to be rebuilt and raised between external terraces, height reducing to rear with decorative curved header course in reclaimed red bricks to match existing party fence walls and rear elevation of 26 Pilgrim's Lane. Privacy planting to existing railing
4. Timber decking to terrace with glazed rooflights set flush with terrace
5. New minimally metal framed double glazed pivot door (RAL 5004 powder coated finish)
6. New minimally metal framed double glazed picture window (RAL 5004 powder coated finish)
7. Corten metal cladding to lower ground floor addition
8. Corten metal balustrade set to inner face of terrace upstand
9. Existing brick party fence walls unaffected
10. Existing dilapidated timber trellis replaced with new matching
11. Garden ground level adjusted locally to match existing internal
12. Existing mature tree unaffected
13. Flue to gas fire at low level

01 SECTION D-D AS PROPOSED



26 Pilgrim's Lane, Hampstead NW3 1SN

Dwg No. PLPR07 - SECTION D D AS PROPOSED - REV A
 SCALE: 1:100@A3
 DECEMBER 2020

FOR PLANNING
Malcolm Fryer Architects Limited
 Unit LG05, Screenworks, 22 Highbury Grove, N5 2EF
 www.mfryer-architects.com 020 7354 7370