

2.1 Proposal

The improvement of current access and internal circulation in general is key to the successful implementation of retail uses within the upper floors of the Provender Store and the Chalk Farm Stable. This is to be achieved by the inclusion of new circulation cores at the east and west ends of the Provender Store; that to the east end creating a new ground floor entrance space comprising a staircase, lift and WC's and that to the west end, a new first floor entrance space comprising a staircase and WC's. The existing arrangement of ad hoc modern staircases, toilets and partitions will be removed to facilitate the new proposals.

The refurbishment works will include stripping-out of the existing limited services within the spaces, but retaining existing Electrical LV Installations, existing domestic mains cold water, (MCWS), Gas and Communications Containment at 1st Floor level within the building, all of which will be supplemented with additional new containment of a similar type at both 1st & 2nd floor levels. Please refer to the attached document D6055 - MEPH Design Statement – 1st December 2020 for further details.



2.2 Concept

In order to preserve the fundamental spatial character of the interiors of both buildings, retail tenants will be chosen and accommodated to best suit the buildings' existing plan forms and patterns of internal sub-division. In this way, any further subdivision of interiors or new openings will be avoided except for that implicit in the installation of the two circulation cores.

Furthermore, the detailed design of the interiors of individual retail units will also be required to preserve this particular spatial character and this will be achieved by the proposed design in the following way:

- *Internal fit out and space defining elements (partitioning/screening, etc) will be set out in relation to the structural grid - a defining characteristic in both buildings. Ideally the positioning of the partitions should be flexible along the proposed grids.*
- *Any partitions further defining retail areas will be in white painted plasterboard with shadow gaps at interfaces with existing structure and no more than 2/3rds the floor to ceiling height of the particular space (see concept figure1).*
- *Fit-out units to be bespoke black metal freestanding framed units incorporating shelves, drawers, panels - timber or perforated metal mesh - and display panels (see concept figure 2).*

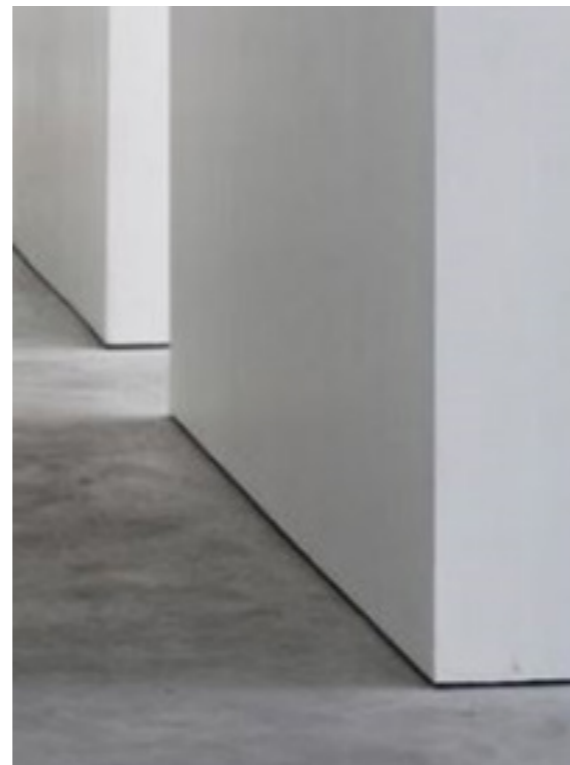


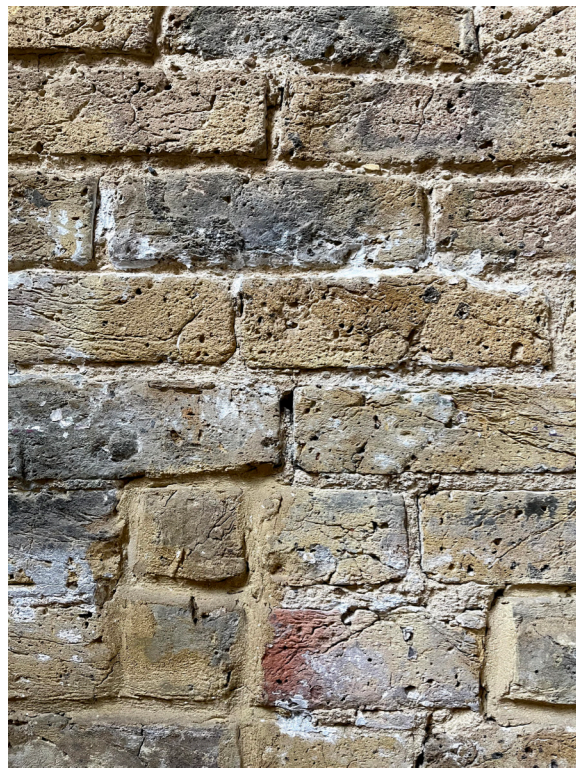
Figure 1



Figure 2

2.3 Existing Elements

The existing interior building elements are to be treated in the following way:



Walls

- Exposed brickwork is not to be painted and any fixings are to be made within the mortar joints only.
- One third of the total wall surface area of each individual retail space is to remain visible (not covered). Wall coverings or linings will be capable of easy removal and therefore temporary in nature.
- Rendered wall surfaces to be painted with vapour permeable paint.



Ceilings

- Exposed brick and timber surfaces not to be painted and no fixings will be allowed.
- Existing plaster ceilings to be painted using vapour permeable paint.
- No existing historic ceilings are to be covered as part of any fitting out.



Floor finishes

- Historic floor to the new entrance area in Unit 16 to be retained. Local areas of existing floors (at ground, first and second floor levels) to be removed to facilitate staircase and lift installation (refer to accompanying design drawings).



Cast iron columns and beams

- Anti-rust treatment and white paint decoration where required.



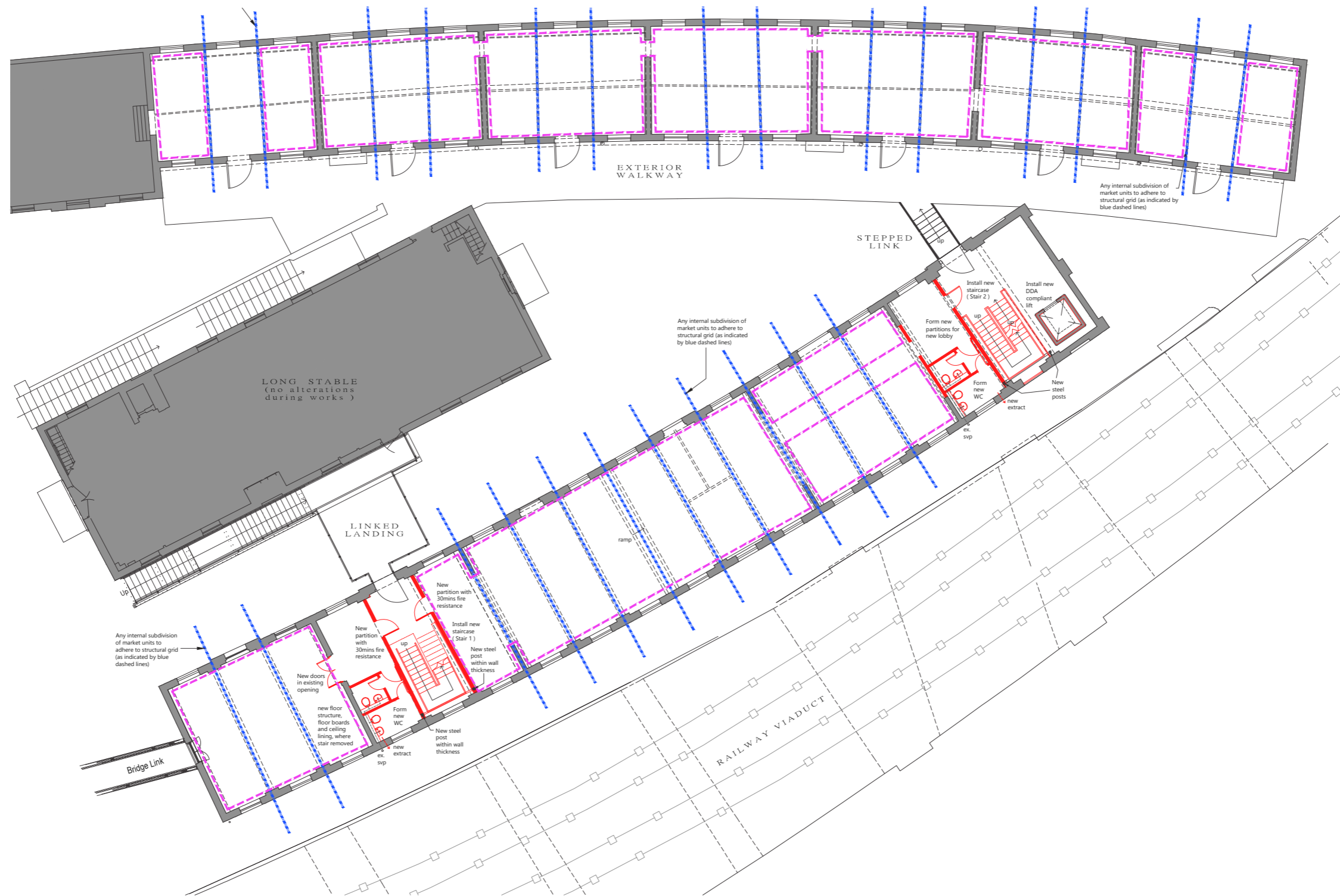
Doors and windows

- All windows black paint decoration with glass to remain clear. External doors to be paint finished with 'Little Green Obsidian green 216 matt'.
- All doors and windows to remain uncovered internally.

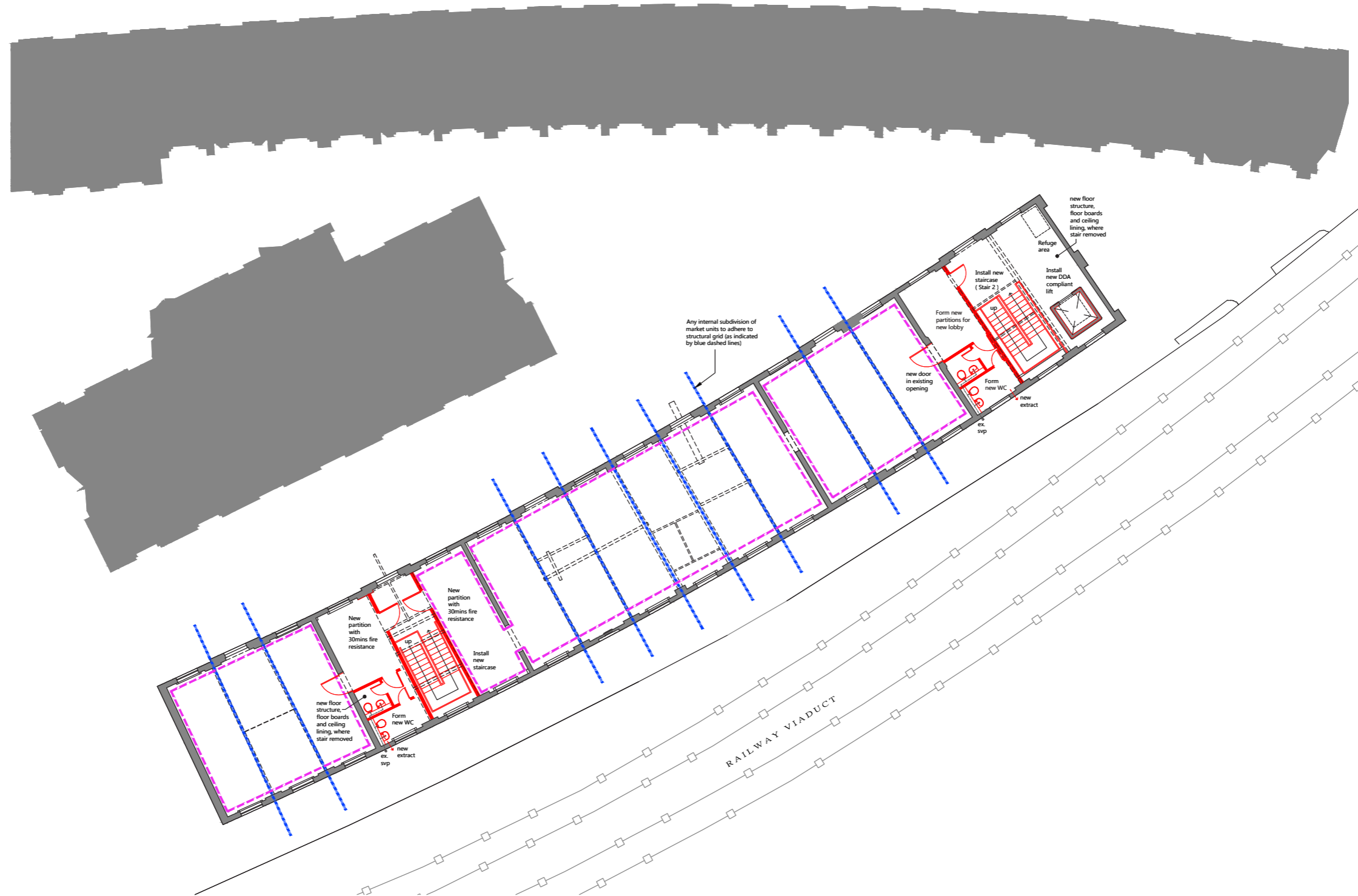
2.4 Ground Floor Entrance Layout



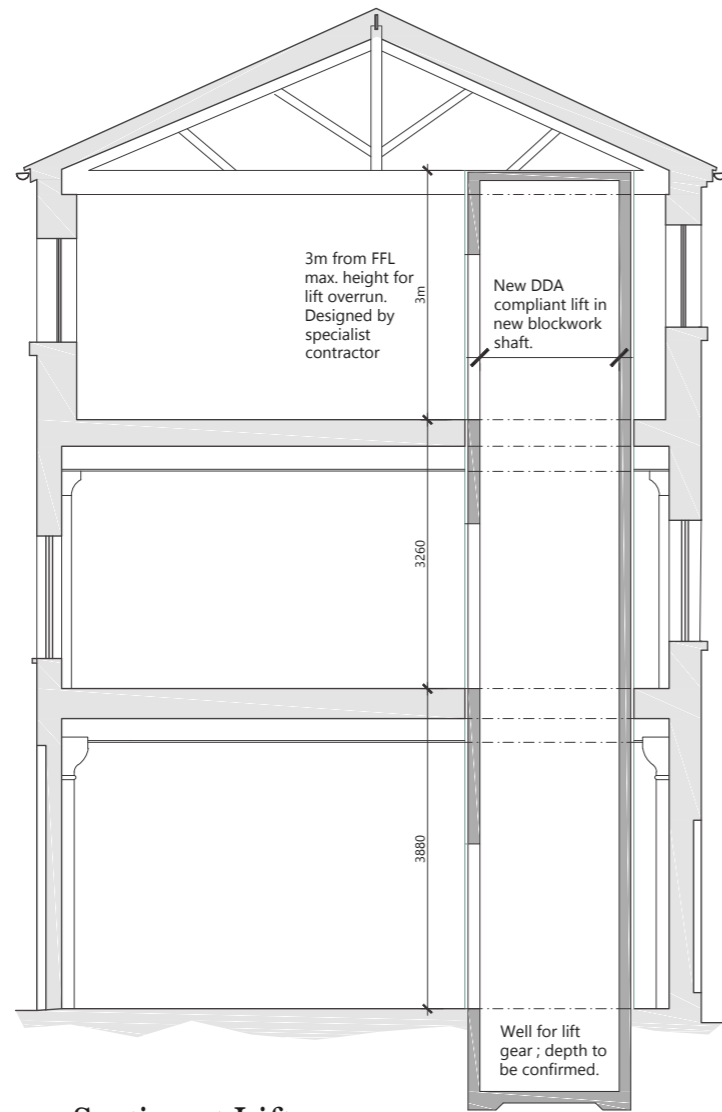
2.5 First Floor Layout



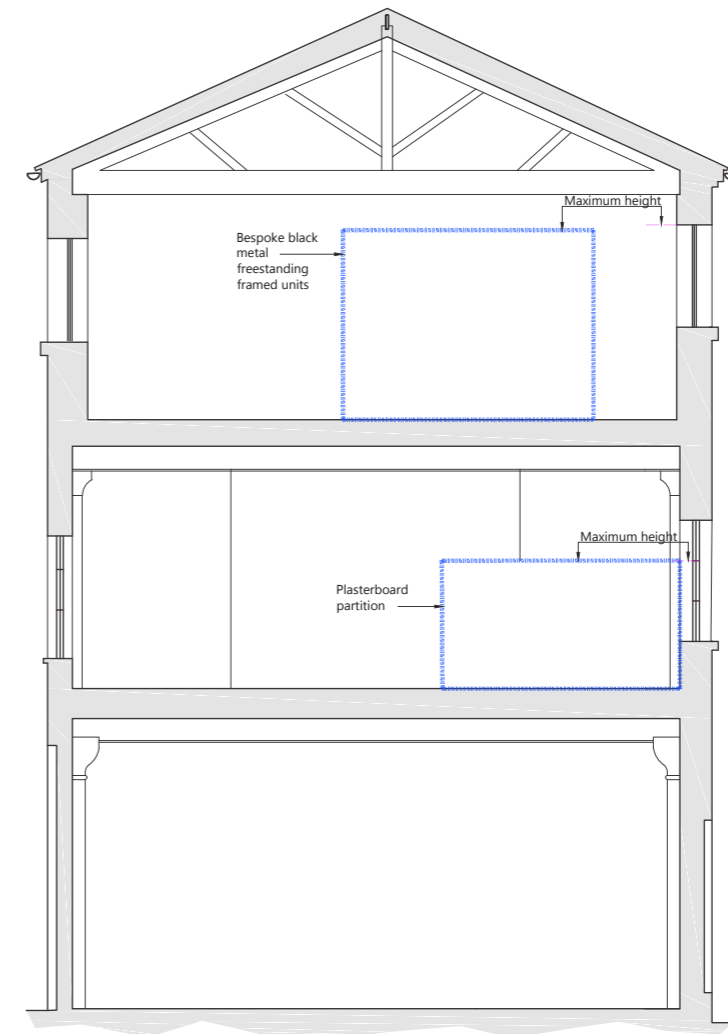
2.6 Second Floor Layout



2.7 Provender Store Sections

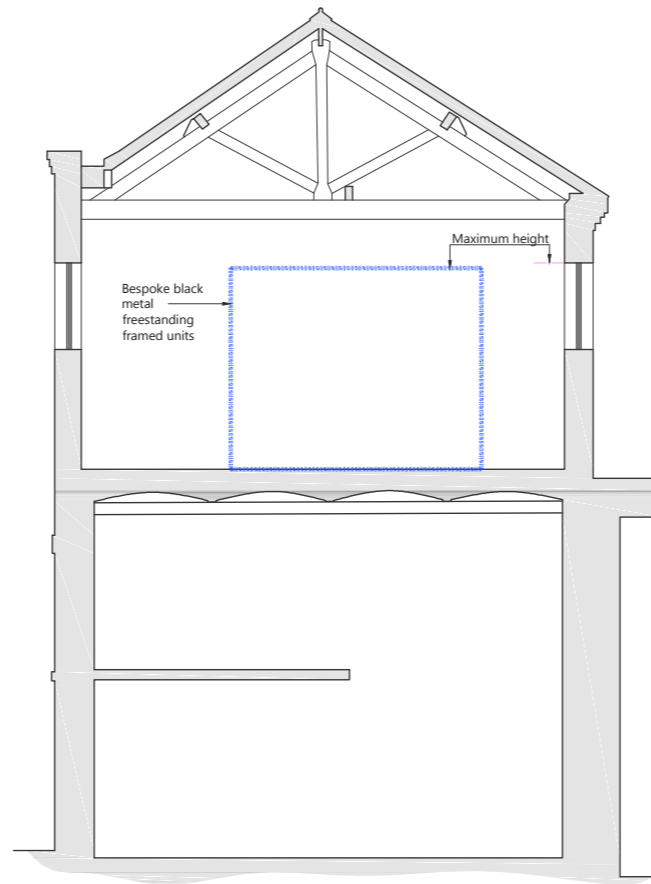


Section at Lift - 1:50
(Provender Store)



Typical Section - 1:50
(Provender Store)

2.8 99's Section



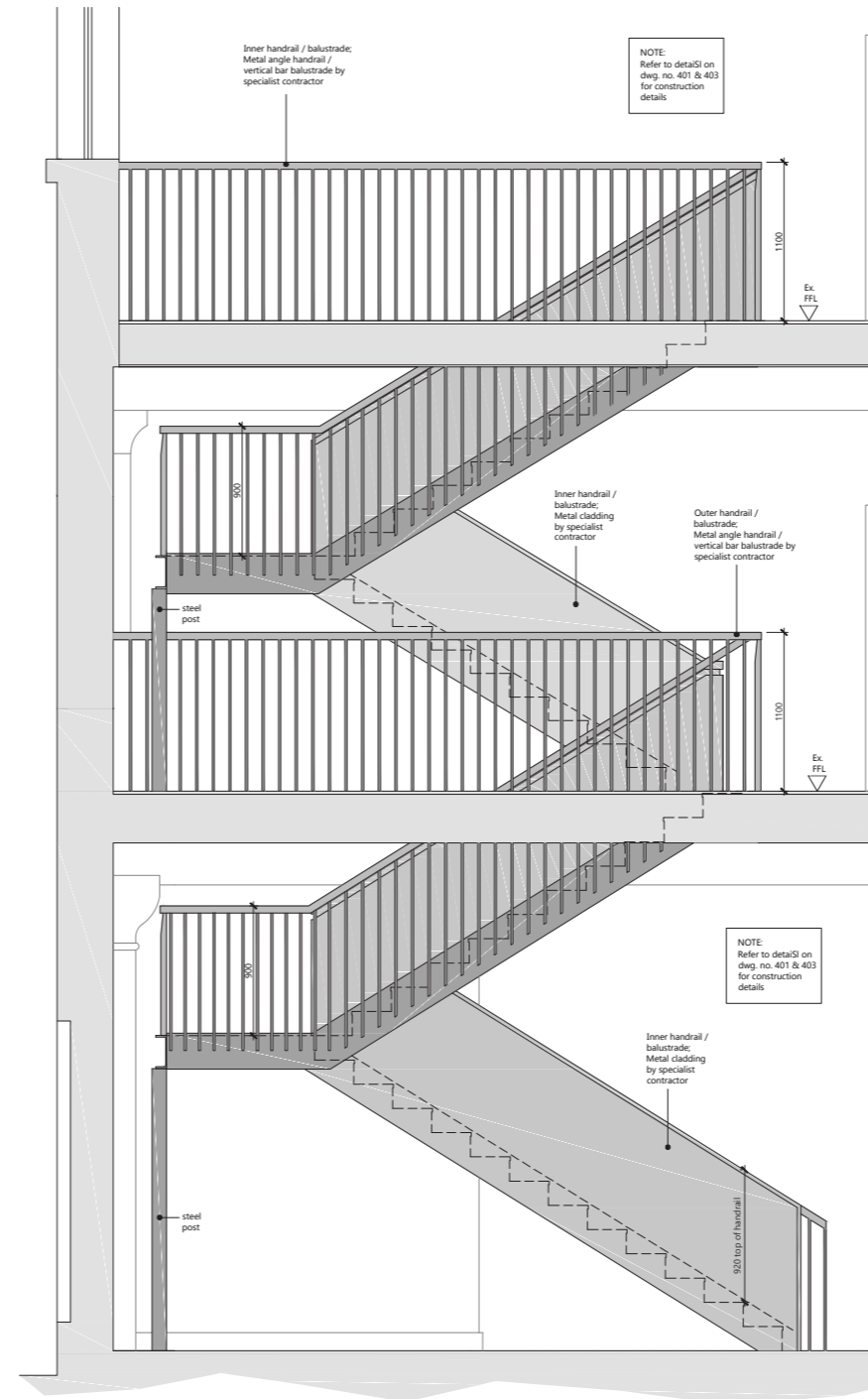
Typical Section - 1:50
(Chalk Farm Building)

2.9 New Circulation Cores

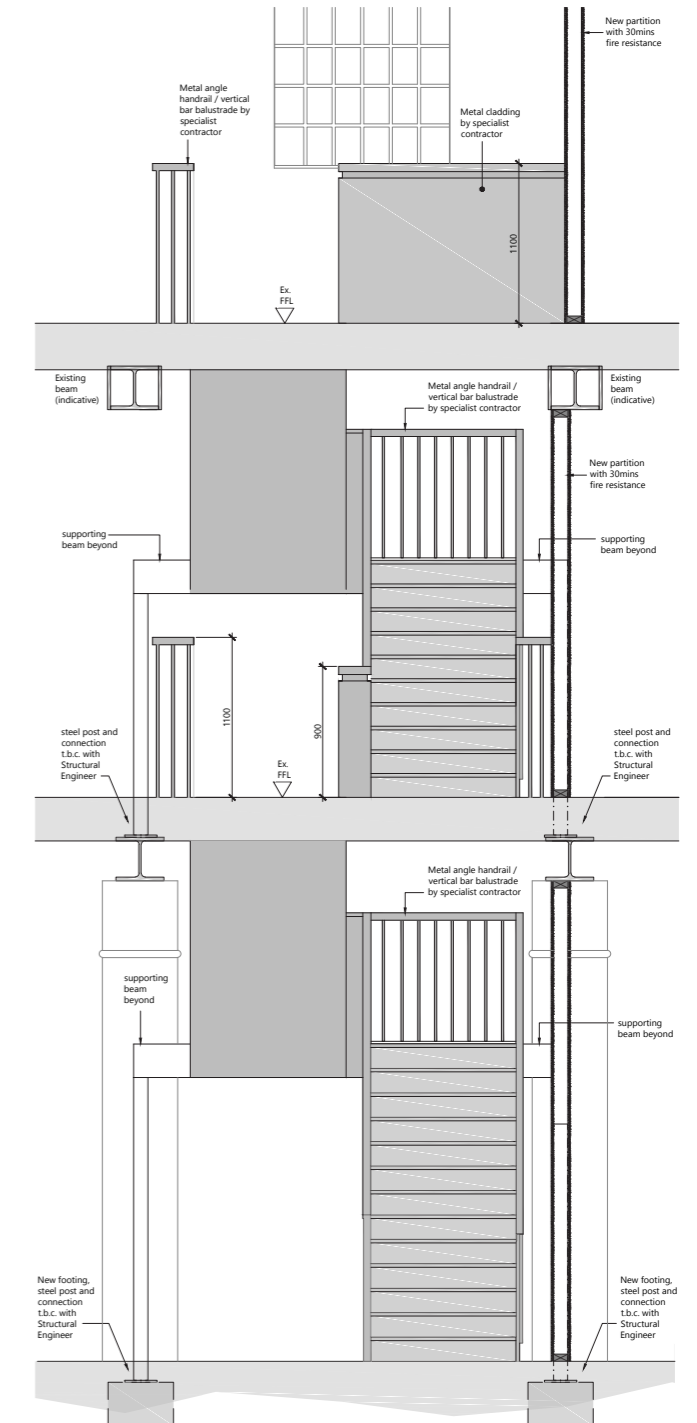
The new staircases and lift are to be located within the existing structural bays and positioned between the cast iron primary beams and adjacent structural vertical pilasters. The design of these new elements is to be contemporary yet conceived to accord with the overriding industrial aesthetic of the historic buildings.

The masonry lift shaft is to be clad with raw steel lacquered panels with joints expressed as recessed 'shadow gaps'. The lift car will be DDA compliant with telescopic two panel doors and will include perimeter ceiling lighting, a wall mirror, internal handrail and control panel. The height of the shaft from second floor level will be the minimum requirement (3.0m from finished floor level) and finishing at roof truss tie beam level. A lift pit will be required at ground floor level – the depth dependant on the particular chosen lift specification and manufacturer but typically 1m deep from finished internal floor level.

The staircases are to be formed in steel with treads and risers clad in timber. The inner balustrade is to be solid and finished with raw steel lacquered panels. The outer balustrade is to be treated differently, conceived as a series of vertical uprights and with the same raw steel lacquered finish (refer to accompanying design drawings).



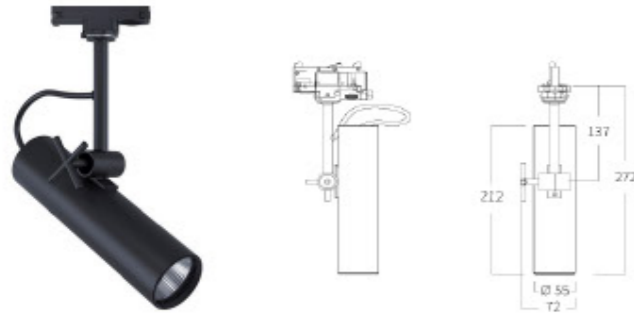
Section AA - 1:20



Section BB - 1:20

2.10 Outline Specification

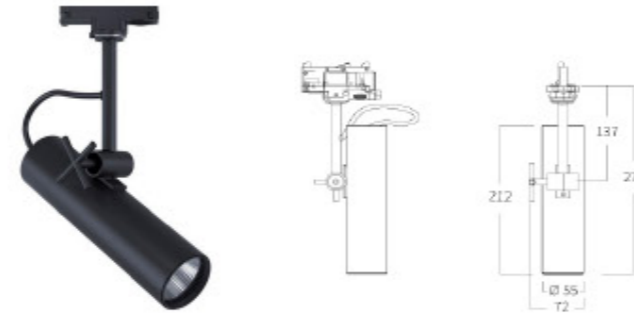
Track Mounted Spotlight (Wide beam)



Description: Track mounted spotlight
 - Colour temperature: 3000K
 - Wattage: 26W (1782 lm)
 - Beam Angle: 34°
 - Finish: Black

Suggested Product:
 Manufacturer: Fagerhult
 Product name: Twister - 68320-504

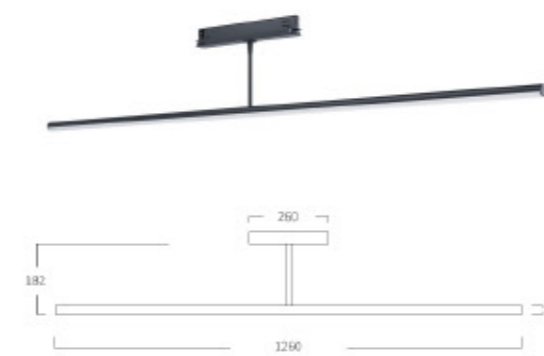
Track Mounted Spotlight (Narrow beam)



Description: Track mounted spotlight
 - Colour temperature: 3000K
 - Wattage: 26W (1782 lm)
 - Beam Angle: 16°
 - Finish: Black

Suggested Product:
 Manufacturer: Fagerhult
 Product name: Twister - 68318-504

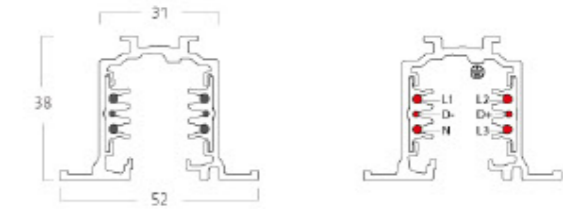
Track Mounted Twister line



Description: Track mounted twister line
 - Colour temperature: 3000K
 - Wattage: 26W (2494 lm)
 - Beam Angle: Diffuse
 - Finish: Black

Suggested Product:
 Manufacturer: Fagerhult
 Product name: Twister line - 68333-543

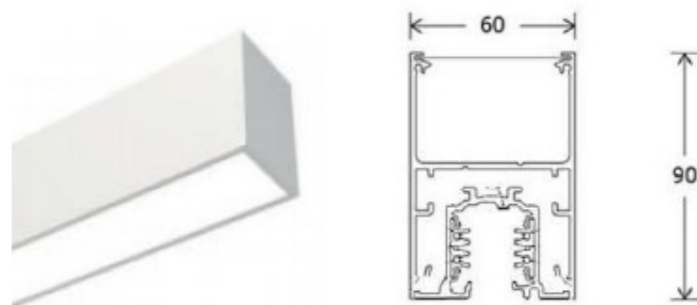
Recessed Track



Description: Recessed Ceiling track
 - Finish: Black

Suggested Product:
 Manufacturer: Fagerhult
 Product name: Control Track - 82537

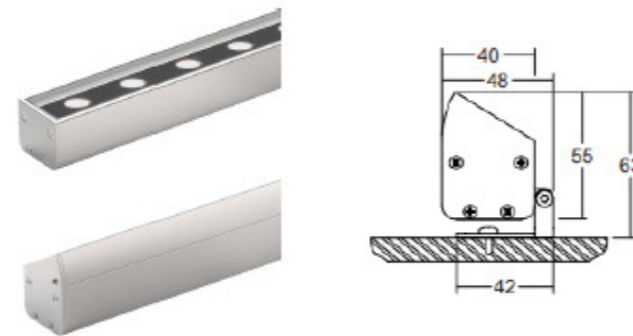
Suspended / Surface mounted Track



Description: Suspended/Surface Track
 - Colour temperature: 3000K
 - Finish: Black

Suggested Product:
 Manufacturer: Fagerhult - (Lichtkanal)
 Product name: Lichtkanal O60 Direct-Indirect

Floor Mounted Adjustable Graze light

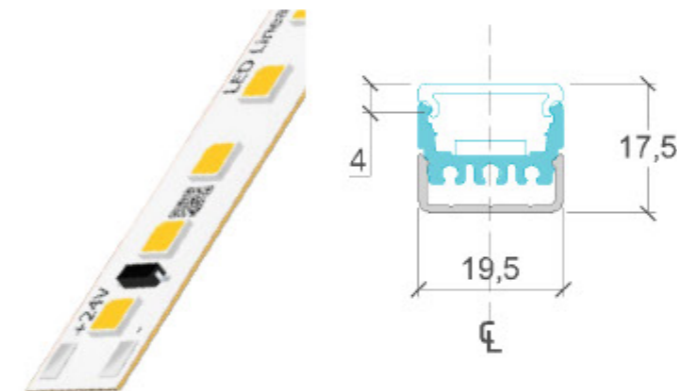


Description: Graze light
 - Colour temperature: 3000K
 - Wattage: 48W/m (4000 lm/m)
 - Beam Angle: 31°
 - Finish: Black
 - Accessory: Surface adjustable Bracket mounting

Suggested Product:
 Manufacturer: Light Graphix
 Product name: LD38c-700-LW30-50-MB-Black-ABM

*Length of luminaire to be confirmed based on side wall dimensions.

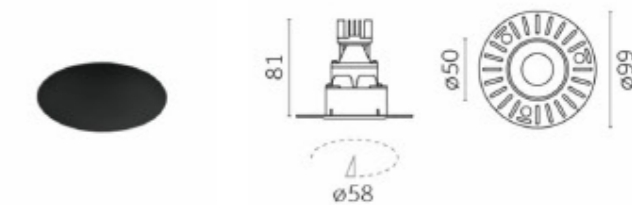
Handrail lighting



Description: Handrail lighting
 - Colour temperature: 3000K
 - Wattage: 25W/m (3,070 lm/m)
 - Beam Angle: Diffuse
 - Accessory: VarioContour 002 + square cover / Opal

Suggested Product:
 Manufacturer: Led Linear
 Product name: VarioLED Flex HYDRA-HD25-W9-30

Recessed Fixed Downlight



Description: Recessed downlight
 - Colour temperature: 3000K
 - Wattage: 3.5W (222lm)
 - Beam Angle: 27°
 - Finish: Black

Suggested Product:
 Manufacturer: Reggiani
 Product name: Mood Fixed Round S - X.CG11E.WW31

SECTION

3

Heritage Considerations

3.1 Significance Assessment

The National Planning Policy Framework (NPPF) defines 'Significance' as 'The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting'. 'Conservation Principles, Policies and Guidance for the sustainable management of the historic environment', describes instead a range of heritage values, arranged in four groups, which may be attached to places as follows:

- Evidential value: the potential of a place to yield evidence about past human activity.
- Historical value: the ways in which past people, events and aspects of life can be connected through a place to the present – it tends to be illustrative or associative.
- Aesthetic value: the ways in which people draw sensory and intellectual stimulation from a place.
- Communal value: the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.

The four stable buildings form a single group listing. As such, their main value is placed on their historic and architectural contribution to the complex to which they belong. The interiors of the buildings have been largely altered and stripped of original features.

The use as stables/stores has been superseded since the 1960s, when a major government endeavour took place to move industry out of London. The site was fully vacated in 1973, and many of the buildings demolished, tracks lifted, and various parcels of the land sold into different ownerships. After 1973 the sidings and Camden Lock were used for various light industrial and storage uses including garaging.

The market activities started at this time in a rather ad hoc fashion, commencing with small stalls located externally to the stable buildings. Gradually shop units and canopies were added to the buildings and by the 1980s it was a well-developed marketplace.

The significance of the stables complex is considered high, given the role the buildings played during the commercial expansion through the canal and railway, and later on as world renowned market.

3.2 Proposed works and impact on the significance of the Provender Store and Chalk Farm Stable

The proposed works are illustrated on the accompanying design drawings prepared by Nicholas Jacob Architects and Michael Jones Mechanical and Electrical consultants and include:

- The removal of existing modern partitions, staircases and wall linings and the associated making good and repair of floor structures.
- The limited removal of existing floor fabric to facilitate the installation of the two staircases, lift and the temporary lifting of floorboards for service cable installations and new routing.
- The installation of two new staircases and a lift and enclosing studwork non-loadbearing partitions to form circulation fire protected cores at each level.
- The installation of new unisex WC's located at each level adjacent to the new staircases and associated 5no. cast iron external decorative grilles providing extract ventilation.
- The stripping out of limited redundant services within the spaces and retention of existing electrical, mains cold water and gas and the addition of further communications containment to serve all areas as shown on the MEP design drawings.
- New branch drain connections from the proposed 1st and 2nd floor WC's into existing soil and vent pipes on the south elevation.
- Installation of new LED lighting and small power from the existing and new containment systems.
- Installation of new fire alarm system to BS5839 L1 classification.
- Installation of new gas fired hot water heating system with traditional cast iron type column heat emitters.
- Installation of electric background heating within each unit of the Chalk Farm Stable.
- The fitting out of tenant market units with fixtures and fittings conforming to the previously noted interior design principles as either non-full height partitions or free-standing metal framed units.

As previously highlighted the proposals have been designed to preserve the fundamental spatial character of the interiors of both buildings this being essential so as not to impact negatively on the heritage assets significance. To achieve this, the new staircases and lift in the Provender Store are designed as contemporary interventions located within the interior spaces rather than affixed to the existing structural building elements. The proposed interior design fit out and space defining elements of the individual market units will also importantly adhere to this principle.

Research and professional judgement have been used to determine the significance of the asset. The values have been defined using the following grading scale:

VERY HIGH/HIGH: Elements belonging to the original concept and design, fundamental part of the building typology and contributing to its townscape presence. These parts should be retained.

MEDIUM: Internal elements that belong to the original structure, concept and design and still possess some original features, i.e. possible remains of fireplaces. This category also comprises those ensembles that represent very good surviving examples of spatial organization of the original structure. For these parts alterations, changes or removals have to be treated with particular attention.

LOW OR NEGLIGIBLE: Internal elements that remain from the original plan-form but do not have any value per-se and, due to later alterations, have lost their contextual meaning. These parts can be removed according to new design decisions.

The impact of the proposed works on the individual architectural elements was assessed following the BS 7913:2013 table 'Magnitude of impact plotted against value'; the magnitude of the impact may be either adverse or beneficial.

[Refer to Figure 1 on page]

It is considered that the intervention will be generally beneficial, granting the optimum viable use as market hence contributing to the enhancement of the values and significance of the listed buildings.

Historic England Conservation Principles accepts that change is part of the life of heritage assets: 'Change in the historic environment is inevitable, caused by natural processes, the wear and tear of use, and people's responses to social, economic and technological change'. We believe that the proposed works are necessary to facilitate the occupation of the unit in the short and long term, and the impact is considered generally beneficial.

| | | | | | | |
|---------------------|------------|------------|----------------|-----------------|------------------|------------------|
| VALUE | VERY HIGH | NEUTRAL | SLIGHT | MODERATE/LARGE | LARGE/VERY LARGE | VERY LARGE |
| | HIGH | NEUTRAL | SLIGHT | SLIGHT/MODERATE | MODERATE/LARGE | LARGE/VERY LARGE |
| | MEDIUM | NEUTRAL | NEUTRAL/SLIGHT | SLIGHT | MODERATE | MODERATE/LARGE |
| | LOW | NEUTRAL | NEUTRAL/SLIGHT | NEUTRAL/SLIGHT | SLIGHT | SLIGHT/MODERATE |
| | NEGLIGIBLE | NEUTRAL | NEUTRAL | NEUTRAL/SLIGHT | NEUTRAL/SLIGHT | SLIGHT |
| | NO CHANGE | NEGLIGIBLE | MINOR | MODERATE | MAJOR | |
| MAGNITUDE OF IMPACT | | | | | | |

Figure 1.

Summary Impact appraisal of Works

Note: Principal works only. This is not a fully detailed schedule of works.

3.3 Summary Impact appraisal of Works

It is considered that the intervention will be generally beneficial, granting the optimum viable use as market hence contributing to the enhancement of the values and significance of the listed buildings.

Interventions such as the introduction of lift and other DDA facilities to a previously inaccessible building are considered as added public benefit to the proposals, securing the long term use of the heritage assets in an inclusive way.

Historic England Conservation Principles accepts that change is part of the life of heritage assets: 'Change in the historic environment is inevitable, caused by natural processes, the wear and tear of use, and people's responses to social, economic and technological change'. We believe that the proposed works are necessary to facilitate the occupation of the buildings in the short and long term, and the impact is considered generally beneficial.

| PROPOSED INTERVENTION | MAGNITUDE | IMPACT |
|-------------------------------------------------------------------------------------------------------------------|----------------|------------|
| Removal of existing modern partitions, staircases and wall linings and the associated making good and repairs. | MODERATE/LARGE | BENEFICIAL |
| Limited removal of existing floor fabric to facilitate the installation of the two staircases and a lift. | SLIGHT | ADVERSE |
| Installation of two new staircases and a lift. | MODERATE/LARGE | BENEFICIAL |
| Installation of new WC's and associated 5no. cast iron external decorative grilles providing extract ventilation. | NEUTRAL | NEUTRAL |
| Stripping out of limited redundant services and the addition of further communications containment. | MODERATE | BENEFICIAL |
| New branch drain connections from the proposed WC's into existing soil and vent pipes on the south elevation. | NEUTRAL | NEUTRAL |
| Installation of new LED lighting and small power from the existing and new containment systems. | MODERATE | BENEFICIAL |
| Installation of new fire alarm system to BS5839 L1 classification. | MODERATE | BENEFICIAL |
| Installation of new gas fired hot water heating system with traditional cast iron type column heat emitters. | MODERATE | BENEFICIAL |
| Installation of electric background heating within each unit of the Chalk Farm Stable. | MODERATE | BENEFICIAL |
| Fit-out of market units with fixtures and fittings free-standing/ non-full height. | NEUTRAL | NEUTRAL |

SECTION

4

Planning Considerations

4.1 General Planning Considerations

This section provides supplementary information about the extent of the impact of the proposals on the significance of the heritage assets affected in accordance with National and Local Policies.

Planning (Listed Building & Conservation Areas) Act – Section 66 & 72

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that when considering whether to grant planning permission for development which affects a listed building or its setting, the decision maker shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possess. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 also provides that, in respect of development affecting conservation areas, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

- No changes are proposed to the exterior of the building but for the addition of 5 ventilation grilles; therefore, the character and appearance of the asset and conservation area will not be affected.

National Planning Policy Framework March 2012

126 – Local planning authorities should set out in their Local Plan a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. In doing so, they should recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance. In developing this strategy, local planning authorities should take into account:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- the desirability of new development making a positive contribution to local character and distinctiveness; and
- opportunities to draw on the contribution made by the historic environment to the character of a place.

128 – In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance [...]

131 – In determining planning applications, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

132 – When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. [...]

134 – Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

- No major external works are proposed, hence there will be no impact on the exterior fabric of the building and the character of conservation area as a whole.
- It is our belief that the new circulation and refurbishment will lead to a more practical and friendly use of the listed buildings, therefore securing its future.

The London Plan March 2016

The London Plan defines the overall strategic plan for London, setting out an integrated economic, environmental, transport and social framework for the development of London over the next 20–25 years.

Policy 7.8 – Heritage assets and archaeology

Strategic

A – London's heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, conservation areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.

B – Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site's archaeology.

Planning decisions.

C – Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.

D – Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.

E – New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset.

Supporting text

4.29 – London's built and landscape heritage provides a depth of character that has immeasurable benefit to the city's economy, culture and quality of life. [...] Ensuring the identification and sensitive management of London's heritage assets in tandem with promotion of the highest standards of modern architecture will be key to maintaining the blend of old and new that gives the capital its unique character.

4.30 – Crucial to the preservation of this character is the careful protection and adaptive re-use of heritage buildings and their settings. [...]

7.31A – Substantial harm to or loss of a designated heritage asset should be exceptional, with substantial harm to or loss of those assets designated of the highest significance being wholly exceptional. Where a development proposal will lead to less than substantial harm to the significance of a designated asset, this harm should be weighed against the public benefits of the proposal, including securing its optimal viable use. [...]

- It is considered that the proposals will have a beneficial impact by bringing the upper floors of both buildings into their optimum viable use. It is also our belief that no harm will be caused by the rest of the proposed intervention to the heritage assets at large.

4.2 Draft New London Plan

Consultation for the Draft New London Plan ran from 1 December 2017 to 2 March 2018. The Examination in Public (EiP) is targeted for autumn 2018, and adoption of the plan in autumn 2019. Although not yet adopted, the Draft Plan policies are a material consideration as they hold weight, albeit limited weight, in decisions going forward. As such the proposal has taken into account the Draft Plan policies. Policy HC1 Heritage Conservation and Growth

(c) Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings, should also be actively managed. Development proposals should seek to avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

(d) Development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Where applicable, development should make provision for the protection of significant archaeological assets and landscapes. The protection of undesignated heritage assets of archaeological interest equivalent to a scheduled monument should be given equivalent weight to designated heritage assets.

Supporting Text

7.1.3 Ensuring the identification and sensitive management of London's heritage assets in tandem with promotion of the highest standards of modern architecture will be essential to maintaining the blend of old and new that gives the capital its unique character.

7.1.7 Heritage significance can be represented in an asset's form, scale, materials and architectural detail and, where relevant, the historic relationships between heritage assets. Development that affects the settings of heritage assets should respond positively to the assets' significance, local context and character to protect the contribution that settings make to the assets' significance. In particular, consideration will need to be given to impacts from development that is not sympathetic in terms of scale, materials, details and form.

4.3 Camden Local Plan 2017

The Camden Local Plan sets out the Council's planning policies and replaces the Core Strategy and Development Policies planning documents adopted in 2010. The Local Plan will cover the period from 2016-2031.

Policy D2 Heritage

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designated heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss [...]

Policy D2 Listed Buildings

To preserve or enhance the borough's listed buildings, the Council will:

- i. resist the total or substantial demolition of a listed building;
- j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and
- k. resist development that would cause harm to significance of a listed building through an effect on its setting.

The proposals have been designed taking in consideration the above policies and guidance. The significance of the asset has been assessed according to BS 7913:2013, and the Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment, HE 2008.

It is our belief that the proposals are generally beneficial, improving the condition of two valuable heritage assets and ensuring the buildings' continuous use, hence safeguarding the significance that the buildings and the stables complex hold for present and future generations.

It is considered that the proposed alterations do not affect the special interest of the buildings; the level of proposed intervention is acceptable in conservation terms and is substantiated by the research undertaken.

SECTION

5

Access Statement

5.1 Site

The Stanley Sidings triangle site is located in the South East corner of the Stables Market, bounded by the Network Rail viaduct to the south, and Chalk Farm road along the North East.

The scope of this project is to utilise the vacant upper floors of the Provender Store for the use of co-working offices, run by LABS. Access to these buildings is to be improved by the installation of two new stairs, and DDA-compliant lift. This will provide step-free access from the Ground floor market to the first and second floors of the Provender Store.

5.2 Points Of Access

The principal point of access to the site for vehicles i.e. taxi and service vehicles, will be from Chalk Farm Road Gate, to the North of the site.

Pedestrian access is via:

- Camden Lock Place – Public thoroughway connection in Arch 07 to the south. A graded road with setts, situated along the northern boundary of the site. The road is a busy pedestrian route and pavements are present on the southern side of Camden Lock Place. A number of stalls are set up on Camden Lock Place, which can reduce the width of the road for pedestrian use.
- Chalk Farm Road – A small public entrance to the market is located east of the proposed ground floor entrance, approximately 28 metres away.
- Chalk Farm Road Gate – One of the main public entrances to the Stables Market from Chalk Farm Road. The gate is approximately 77 metres north from the proposed new entrance at Ground floor.

5.3 Circulation Within The Site

The main stair and lift are located within a short distance of the entrance, with the stairs to the immediate front, and lift entrance to the left. Both are highly visible from the entrance, with unobstructed circulation.

5.4 Transport Links & Pedestrian Access

Public Transport

The site is served by excellent public transport links – train (London Overground), London Underground and by bus. The site is therefore easily accessible from local areas and further afield. London Overground services are available at Camden Road Station, which is located approximately 650m to the east of the site. Camden Road Station is on the North London Line (NLL), which operates between Stratford in east London and Richmond/Clapham Junction in south-west London. Step free access is available from street level to the platforms at Camden Road Station.

The two London Underground stations located in the vicinity of the site are Camden Town (located approximately 350m to the south of the site) and Chalk Farm (situated approximately 640m to the north of site). Both stations are served by the Northern line and serve destinations to Edgware/High Barnet in the north and Morden in the south. Both stations at present do not have step free access from street level to the platforms.

All of the following bus services serve Chalk Farm Road:

- 24 – Hampstead Heath – Pimlico;
- 27 – Chalk Farm Morrisons – Chiswick Business Park;
- 31 – White City Bus Station – Camden Town Station; and
- 168 – Hampstead Heath – Old Kent Road.

Services 27 and 168 also serve Camden Town Underground station and services 31 and 168 also serve Chalk Farm Underground station.

The nearest accessible National Rail stations are Euston, 1.7km south from the site and Kings Cross St. Pancras Station, 2km south from the site.

Taxis

The nearest Transport for London (TfL) appointed taxi rank from the site is on Hawley Crescent, 160m south from the site.

Pedestrian Access

There is generally good provision of pedestrian facilities in the vicinity of the site, and recent improvements have included the widening of footways along Camden High Street to increase the capacity between Camden Town Underground Station and the market retail areas. Consequently there is currently adequate width along the footways to cope with pedestrian flows.

A two-stage controlled pedestrian crossing is provided at the junction of Chalk Farm Road and Castlehaven Road, to the north-east corner of the site. A controlled crossing is also situated on Camden High Street at the crossroads with Hawley Crescent and Jamestown Road, south of the site. These crossings provide a safe connection to and from the site for pedestrians.

Wheelchair & Mobility Scooter Access

There is ground floor level access to the site from all directions. Surfaces along the route within the market vary from granite sets to cobbled stone and brick, with small changes in level

SECTION

6

Conclusion

6.1 Summary of Proposal

The proposal is to create a retail space in provender under the use of sui generis market. which is set within the ground, first and second floors of the Grade II Listed Provender Store.

The proposed works will result in the enhancement of the buildings' internal historic character and appearance which will be achieved by the careful replacement of unsuitable elements and the sympathetic re-planning of spaces now left inefficient and contrived by piecemeal twentieth century intervention. Works will thus act to restore the building's significance as a designated heritage asset in a manner commensurate to its identified statutory importance.

The proposals will also provide the opportunity for a targeted upgrade of the mechanical and electrical services, and this sustainable approach to the conservation of heritage assets is a key principle within the NPPF.

It is considered that the proposals pose a significant public benefit by making the heritage assets inclusive through the incorporation of DDA facilities.

The proposals have been carefully formulated to minimise harm to significant historic fabric and all works are to be carried out to exemplary conservation standards. The works would see the vacant upper floors of the buildings refurbished to meet current standards bringing the heritage assets back into use.

Historic England Conservation Principles accepts that change is part of the life of heritage assets: 'Change in the historic environment is inevitable, caused by natural processes, the wear and tear of use, and people's responses to social, economic and technological change'. We believe that the proposed works are necessary to facilitate the occupancy of the buildings in the short and long term. The proposed market retail use can be considered as an optimum viable use for the heritage assets, hence safeguarding their significance for present and future generations.

SECTION

7

Appendix

APPENDIX I

PROPOSED DRAFT SCOPE OF WORKS

- The removal of existing modern partitions, staircases and wall linings and the associated making good and repair of floor structures.
- The limited removal of existing floor fabric to facilitate the installation of the two staircases, lift and the temporary lifting of floorboards for service cable installations and new routing.
- The installation of two new staircases and a lift and enclosing studwork non-loadbearing partitions to form circulation fire protected cores at each level.
- The installation of new unisex WC's located at each level adjacent to the new staircases and associated 5no. cast iron external decorative grilles providing extract ventilation.
- The stripping out of limited redundant services within the spaces and retention of existing electrical, mains cold water and gas and the addition of further communications containment to serve all areas as shown on the MEP design drawings.
- New branch drain connections from the proposed 1st and 2nd floor WC's into existing soil and vent pipes on the south elevation.
- Installation of new LED lighting and small power from the existing and new containment systems.
- Installation of new fire alarm system to BS5839 L1 classification.
- Installation of new gas fired hot water heating system with traditional cast iron type column heat emitters.
- Installation of electric background heating within each unit of the Chalk Farm Stable.
- The fitting out of tenant market units with fixtures and fittings conforming to the previously noted interior design principles as either non-full height partitions or free-standing metal framed units.

APPENDIX II

List Entry

STANLEY SIDINGS, STABLES TO EAST OF BONDED WAREHOUSE

Overview

Heritage Category: Listed Building

Grade: II

List Entry Number: 1258101

Date first listed: 30-Sep-1981

Date of most recent amendment: 11-Jan-1999

Statutory Address: STANLEY SIDINGS, STABLES TO EAST OF BONDED WAREHOUSE, CHALK FARM ROAD

Details

CAMDEN

TQ2884SE CHALK FARM ROAD 798-1/65/193 (West side) 30/09/81 Stanley Sidings, stables to east of Bonded Warehouse (Formerly Listed as: CHALK FARM ROAD Former Tackroom of Railway Stables, to east of Bonded Warehouse)

GV II

Four blocks of industrial stabling, now workshops and warehousing. c1855-1870, with later Victorian additions. For the London and North-Western Railway Company's Camden Goods Yard. Stock brick, with hipped slate roofs, some stone lintels. Some iron columns internally, but floors and roofs generally of timber. EXTERIOR: mostly of 2 storeys. Northernmost block (A) abutting on Chalk Farm Road, c1855, with upper storey of c1895. Long curved front road, mostly of 2 storeys with eaves cornice but western end of one and a half storeys, somewhat altered, with chimney on roof. Round-headed half windows for stabling on ground storey, segment-headed industrial windows in upper storey (eastern end only). Elevation towards yard irregular. Eastern portion has cantilevered open balcony at first-floor level retaining some concrete horse troughs and connected by bridge to Block B and separately to ramp on Block C. Ceilings of ground storey have jack-arch iron and brick construction.

INTERIOR of upper storey has separate compartments and paving for horses but no stalls. Block B immediately to north of North London railway line. 3 storeys. Ground storey c1868, originally provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A. Block C between Blocks A and B and parallel to Block B. 2 storeys. Ground storey c1868, upper provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A. Block C between Blocks A and B and parallel to Block B. 2

storeys. Ground storey c1868, upper storey 1881; horse ramp on north side of block c1895, connected with balcony on Block A. Round-headed windows on ground storey, segment-headed industrial windows above on both north and south sides. South side formerly had another horse ramp, of 1881, and covered bridge connecting with Block B, demolished in 1980s. Ground storey has iron and brick jack-arch construction and iron stanchions against walls stamped 'Norton and Son Darlaston'. Block D at right-angles and to west of Blocks B and C. 2 storeys. Ground storey c1868, upper storey c1881. Main elevation faces eastwards, with return northwards. Round-headed half-windows for stabling at ground level, some segment-headed sash windows above. Tall brick chimneys. INTERIOR with original timber benching, one timber partition and some harness hooks. Said to have been formerly the Tack Room for the stabling. Formerly connected by a bridge at south end to Block B. Included as a rare example of substantial industrial stabling and a major surviving portion of the former Camden Goods Yard. Forms a group with the 'Horse Hospital' to north-west (qv) and with further remnants of stabling and warehouses west of Block D (qv). A tunnel (now blocked) south of the North London line connects the complex with further LNWR buildings and the Regent's Canal south of the North London Line.

Listing NGR: TQ2862684201