



Key:

	Existing structure / earth		New Structure
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Legend: Proposed Finishes

	Existing floor boards		Carpet
	Reclaimed floor boards		Natural stone
	Engineered timber floor		Tile
	External paving		Mosaic tile
	Grille		

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

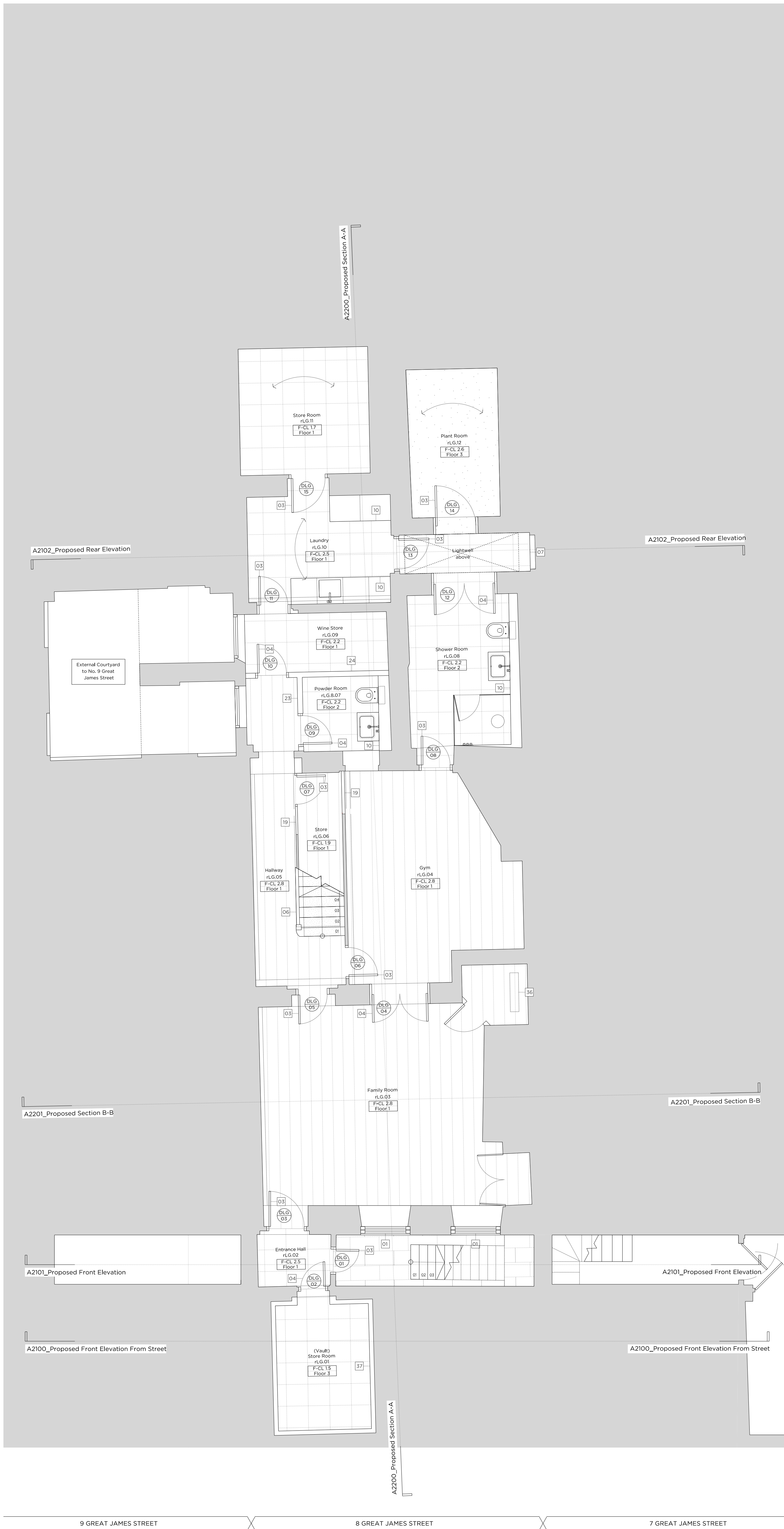
FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
  - 07 Existing link to neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - 08 Proposed minimal frame fixed aluminium window
  - 09 Proposed minimal frame aluminium casement window (operable)
  - 10 Proposed built in joinery
  - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 12 Proposed column radiator
  - 13 Replace existing mosaic floor finish
  - 14 Existing metal railings to be refurbished and redecorated
  - 15 Proposed metal balustrade
  - 16 Proposed service riser
  - 17 Proposed glass link with slim profile zinc roof
  - 18 Contemporary timber staircase
  - 19 Infill partition. Wall build up to match adjacent wall
  - 20 Glazed volume providing access to roof terrace, with black zinc roof
  - 21 Proposed chimney piece and hearth
  - 22 Proposed shower tray over existing floor boards
  - 23 Replacement partition wall
  - 24 New partition wall
  - 25 Proposed bi-folding frosted glass screen to window
  - 26 Proposed dormer windows to match no. 7
  - 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
  - 28 All roof flashings to be replaced
  - 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
  - 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 31 Reinstatement of sash window in original opening, six over six configuration
  - 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 33 New conservation rooflight
  - 34 Acoustic plant enclosure for condenser units
  - 35 FCU concealed within existing joinery
  - 36 FCU concealed within new proposed joinery unit.
  - 37 New (newton 500) tanking system to pavement vault.
  - 38 New timber framed dormer sash windows with 3 over 3 configuration



Rev. - 04.10.2020 Issued for Planning

# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

Drawing Title: **Proposed Lower Ground Floor Plan**

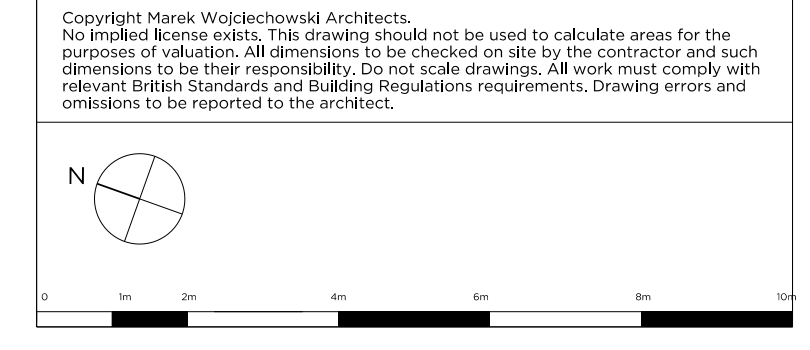
Drawing No. **A1999** Rev. **-**

Drawn	Approved	Signed
CT	PB	AA

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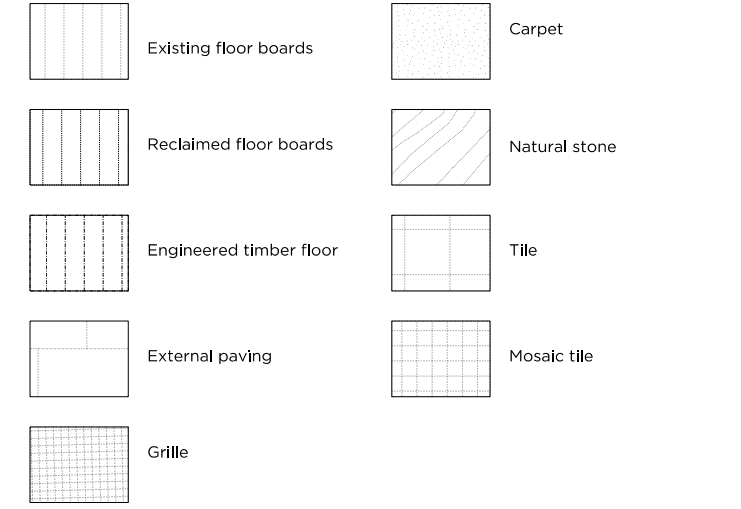




Key:

Existing structure / earth      New Structure

Legend: Proposed Finishes



General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Bulkheads

- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.  
 FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.  
 FLOOR 3: Specified floor finish on existing structural slab.  
 FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.  
 FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.  
 FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Existing timber staircase and balustrade to be refurbished and redecorated.
- 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
- 08 Proposed minimal frame fixed aluminium window
- 09 Proposed minimal frame aluminium casement window (operable)
- 10 Proposed built in joinery
- 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 12 Proposed column radiator
- 13 Replace existing mosaic floor finish
- 14 Existing metal railings to be refurbished and redecorated
- 15 Proposed metal balustrade
- 16 Proposed service riser
- 17 Proposed glass link with slim profile zinc roof
- 18 Contemporary timber staircase
- 19 Infill partition. Wall build up to match adjacent wall
- 20 Glazed volume providing access to roof terrace, with black zinc roof
- 21 Proposed chimney piece and hearth
- 22 Proposed shower tray over existing floor boards
- 23 Replacement partition wall
- 24 New partition wall
- 25 Proposed bi-folding frosted glass screen to window
- 26 Proposed dormer windows to match no. 7
- 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 28 All roof flashings to be replaced
- 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 31 Reinstatement of sash window in original opening, six over six configuration
- 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 33 New conservation rooflight
- 34 Acoustic plant enclosure for condenser units
- 35 FCU concealed within existing joinery
- 36 FCU concealed within new proposed joinery unit
- 37 New (newton 500) tanking system to pavement vault.
- 38 New timber framed dormer sash windows with 3 over 3 configuration



# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

Drawing Title: **Proposed Ground Floor Plan**

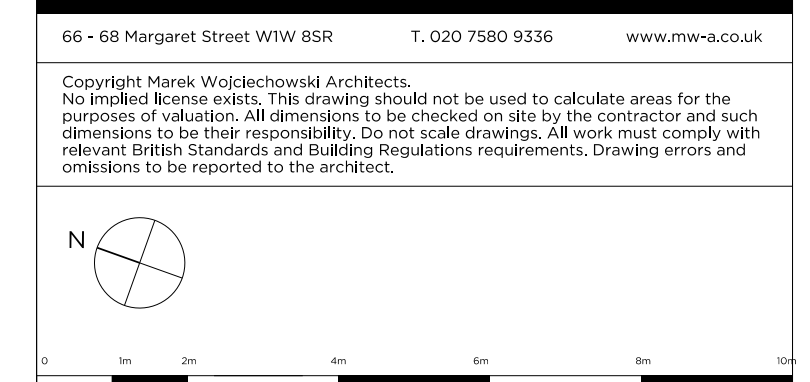
Drawing No. **A2000** Rev. **-**

Drawn	Approved	Signed
CT	PB	AA

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Key:

	Existing structure / earth		New Structure
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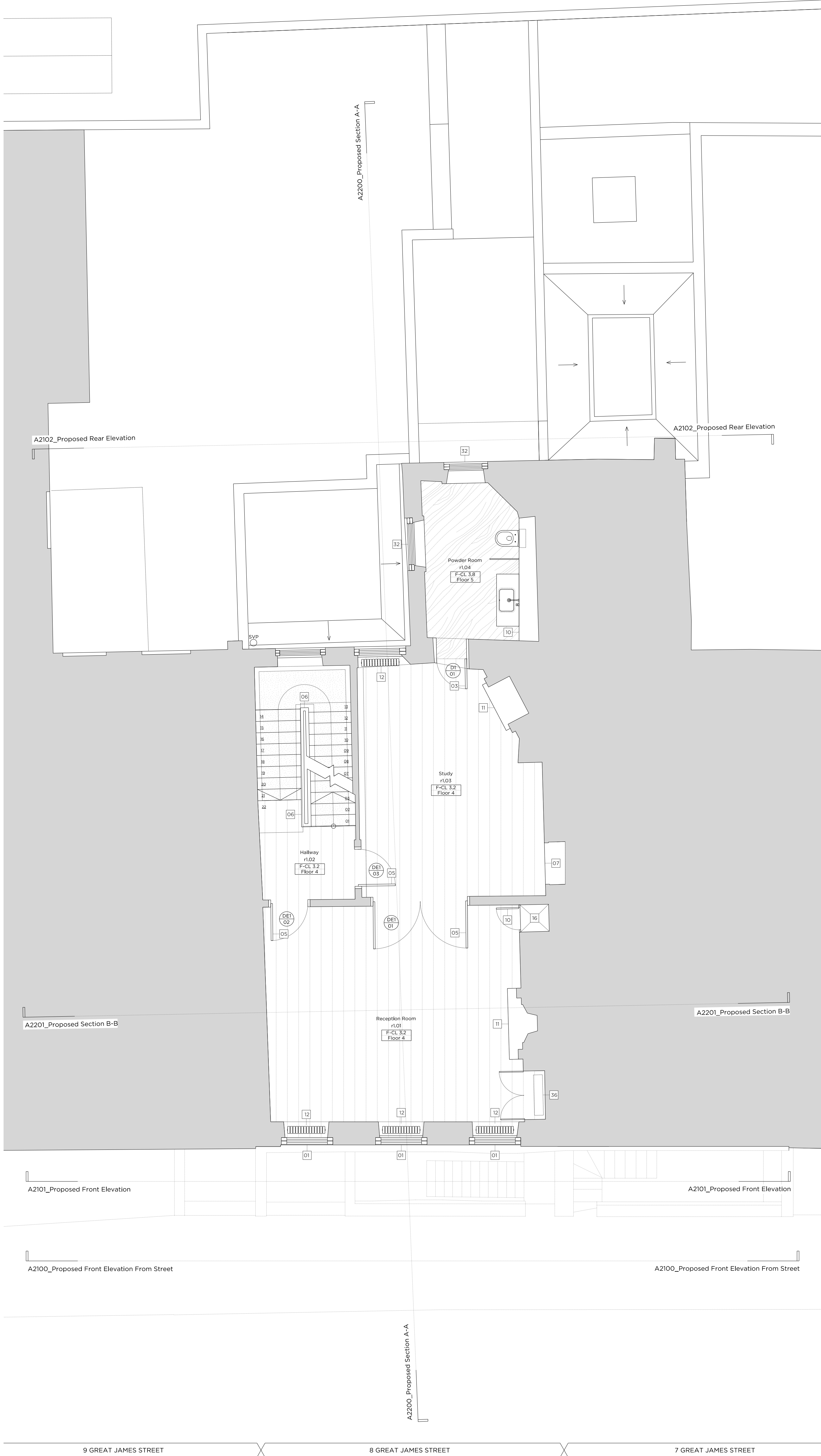
Legend: Proposed Finishes

	Existing floor boards		Carpet
	Reclaimed floor boards		Natural stone
	Engineered timber floor		Tile
	External paving		Mosaic tile
	Grille		

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Bulkheads:
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
  - FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
  - FLOOR 3: Specified floor finish on existing structural slab.
  - FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
  - FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
  - FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
  - 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - 08 Proposed minimal frame fixed aluminium window
  - 09 Proposed minimal frame aluminium casement window (operable)
  - 10 Proposed built in joinery
  - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 12 Proposed column radiator
  - 13 Replace existing mosaic floor finish
  - 14 Existing metal railings to be refurbished and redecorated
  - 15 Proposed metal balustrade
  - 16 Proposed service riser
  - 17 Proposed glass link with slim profile zinc roof
  - 18 Contemporary timber staircase
  - 19 Infill partition. Wall build up to match adjacent wall
  - 20 Glazed volume providing access to roof terrace, with black zinc roof
  - 21 Proposed chimney piece and hearth
  - 22 Proposed shower tray over existing floor boards
  - 23 Replacement partition wall
  - 24 New partition wall
  - 25 Proposed bi-folding frosted glass screen to window
  - 26 Proposed dormer windows to match no. 7
  - 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
  - 28 All roof flashings to be replaced
  - 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
  - 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 31 Reinstatement of sash window in original opening, six over six configuration
  - 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 33 New conservation rooflight
  - 34 Acoustic plant enclosure for condenser units
  - 35 FCU concealed within existing joinery
  - 36 FCU concealed within new proposed joinery unit.
  - 37 New (newton 500) tanking system to pavement vault.
  - 38 New timber framed dormer sash windows with 3 over 3 configuration



Rev. - 04.10.2020 Issued for Planning

# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

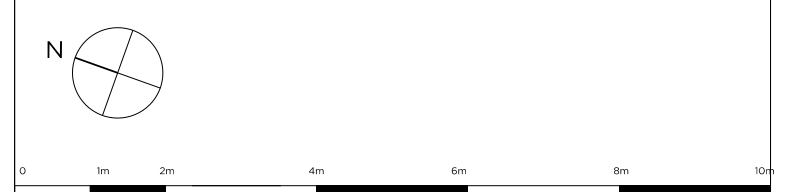
Drawing Title: **Proposed First Floor Plan**

Drawing No. **A2001** Rev. **-**

Drawn	Approved	Signed
CT	PB	AA



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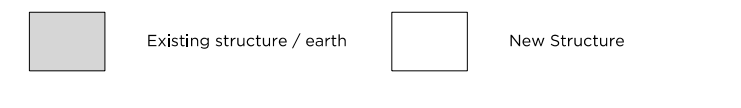




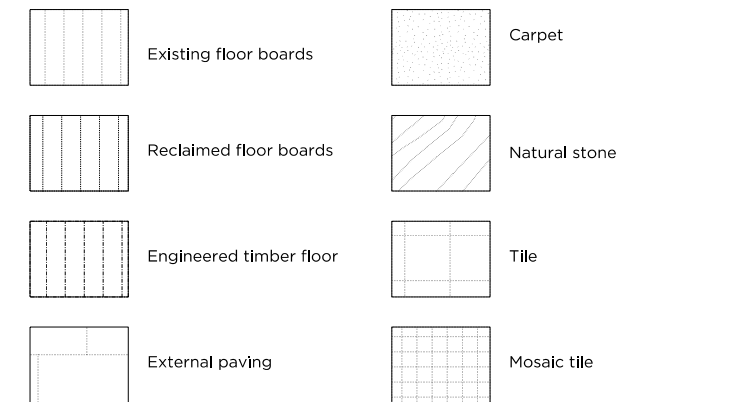
Key Site Plan 1:1000



Key:



Legend: Proposed Finishes



General Notes:

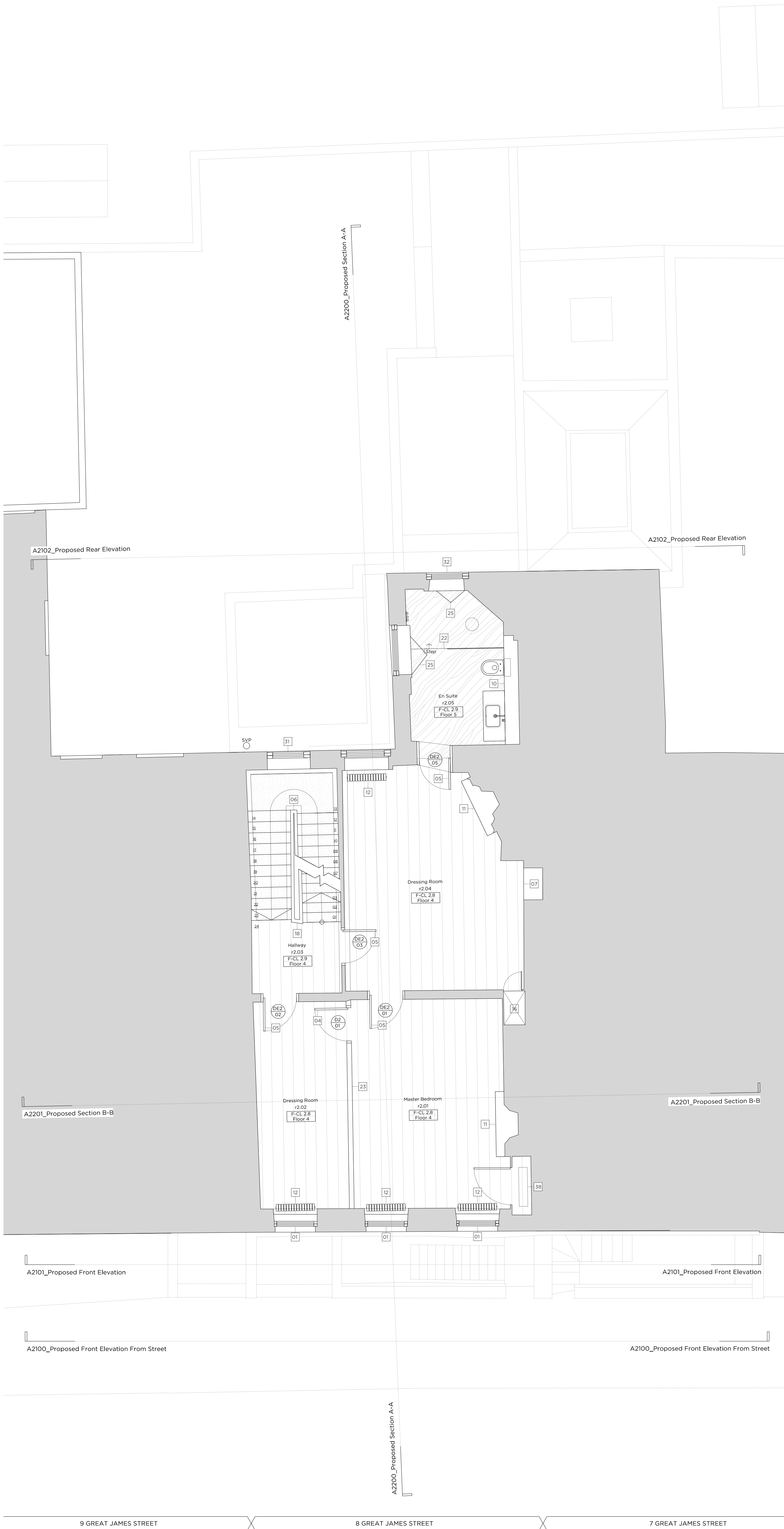
- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer, to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Existing timber staircase and balustrade to be refurbished and re-encased.
- 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
- 08 Proposed minimal frame fixed aluminium window
- 09 Proposed minimal frame aluminium casement window (operable)
- 10 Proposed built in joinery
- 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 12 Proposed column radiator
- 13 Replace existing mosaic floor finish
- 14 Existing metal railings to be refurbished and redecorated
- 15 Proposed metal balustrade
- 16 Proposed service riser
- 17 Proposed glass link with slim profile zinc roof
- 18 Contemporary timber staircase
- 19 In-fill partition. Wall build up to match adjacent wall
- 20 Glazed volume providing access to roof terrace, with black zinc roof
- 21 Proposed chimney piece and hearth
- 22 Proposed shower tray over existing floorboards
- 23 Replacement partition wall
- 24 New partition wall
- 25 Proposed bi-folding frosted glass screen to window
- 26 Existing dormer windows to be refurbished
- 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing
- 28 All roof flashings to be replaced
- 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration
- 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 31 Reinstatement of sash window in original opening, six over six configuration
- 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 33 Replacement conservation rooflight
- 34 Green roof with loose/potted planting
- 35 Intensive planting zone
- 36 Metal frame window within "Coach House" style opening with steel lintel above
- 37 Acoustic plant enclosure for condenser units
- 38 FCU concealed within existing joinery
- 39 FCU concealed within new proposed joinery unit



Rev. - 04.10.2020 Issued for Planning

# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

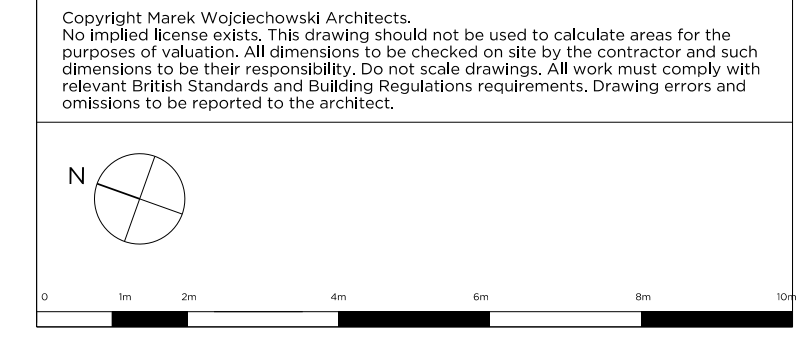
Drawing Title: **Proposed Second Floor Plan**

Drawing No. <b>A2002</b>		Rev. <b>-</b>
Drawn <b>CT</b>	Approved <b>PB</b>	Signed <b>AA</b>

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Key:

	Existing structure / earth		New Structure
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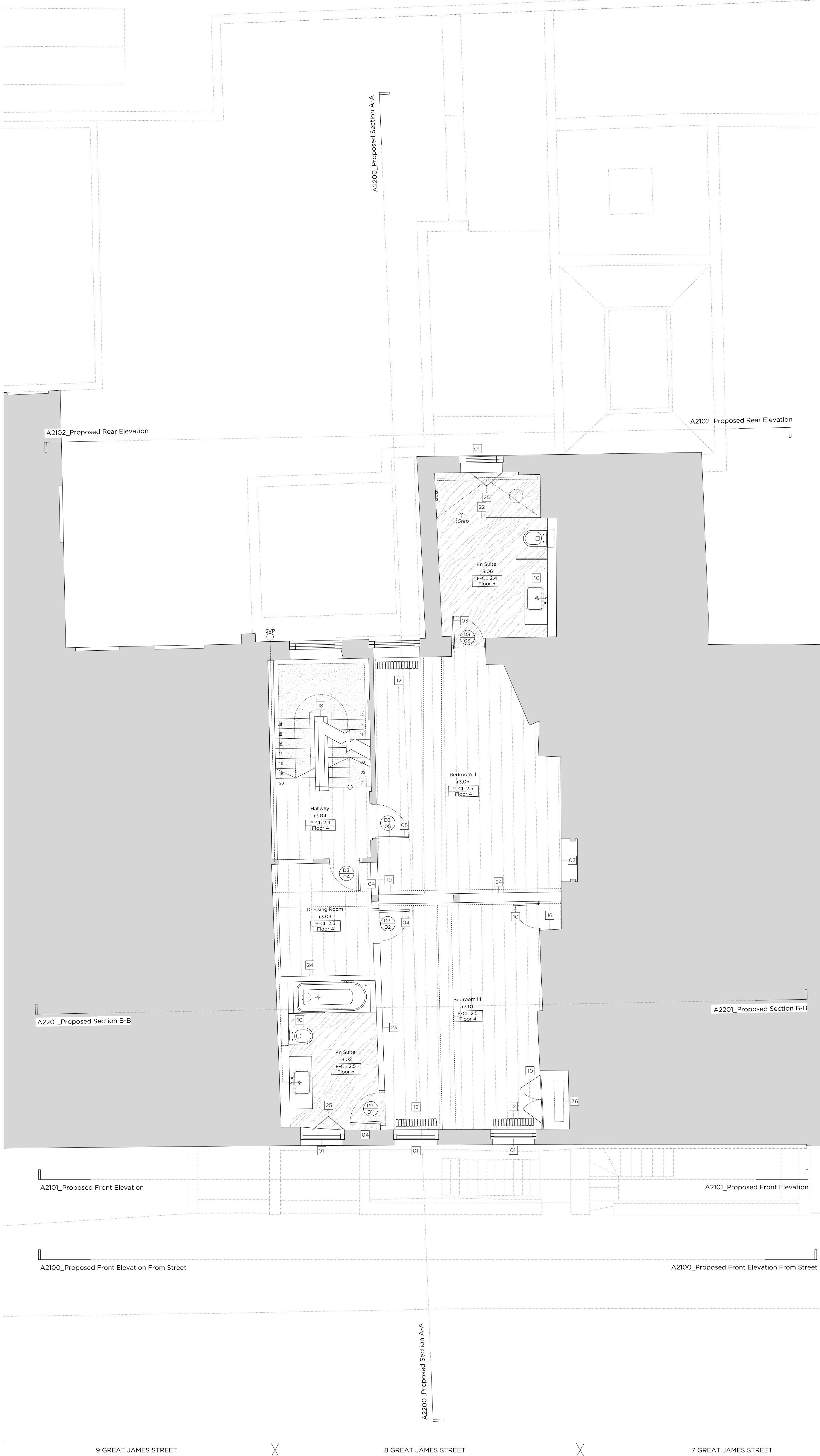
Legend: Proposed Finishes

	Existing floor boards		Carpet
	Reclaimed floor boards		Natural stone
	Engineered timber floor		Tile
	External paving		Mosaic tile
	Grille		

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing structural slab.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
  - 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - 08 Proposed minimal frame fixed aluminium window
  - 09 Proposed minimal frame aluminium casement window (operable)
  - 10 Proposed built in joinery
  - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 12 Proposed column radiator
  - 13 Replace existing mosaic floor finish
  - 14 Existing metal railings to be refurbished and redecorated
  - 15 Proposed metal balustrade
  - 16 Proposed service riser
  - 17 Proposed glass link with slim profile zinc roof
  - 18 Contemporary timber staircase
  - 19 Infill partition. Wall build up to match adjacent wall
  - 20 Glazed volume providing access to roof terrace, with black zinc roof
  - 21 Proposed chimney piece and hearth
  - 22 Proposed shower tray over existing floor boards
  - 23 Replacement partition wall
  - 24 New partition wall
  - 25 Proposed bi-folding frosted glass screen to window
  - 26 Proposed dormer windows to match no. 7
  - 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
  - 28 All roof flashings to be replaced
  - 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
  - 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 31 Reinstatement of sash window in original opening, six over six configuration
  - 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 33 New conservation rooflight
  - 34 Acoustic plant enclosure for condenser units
  - 35 FCU concealed within existing joinery
  - 36 FCU concealed within new proposed joinery unit
  - 37 New (newton 500) tanking system to pavement vault.
  - 38 New timber framed dormer sash windows with 3 over 3 configuration



Rev. - 04.10.2020 Issued for Planning

# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

Drawing Title: **Proposed Third Floor Plan**

Drawing No. **A2003**

Drawn	Approved	Signed
CT	PB	AA

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Key:

	Existing structure / earth		New Structure
--	----------------------------	--	---------------

Legend: Proposed Finishes

	Existing floor boards		Carpet
	Reclaimed floor boards		Natural stone
	Engineered timber floor		Tile
	External paving		Mosaic tile
	Grille		

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

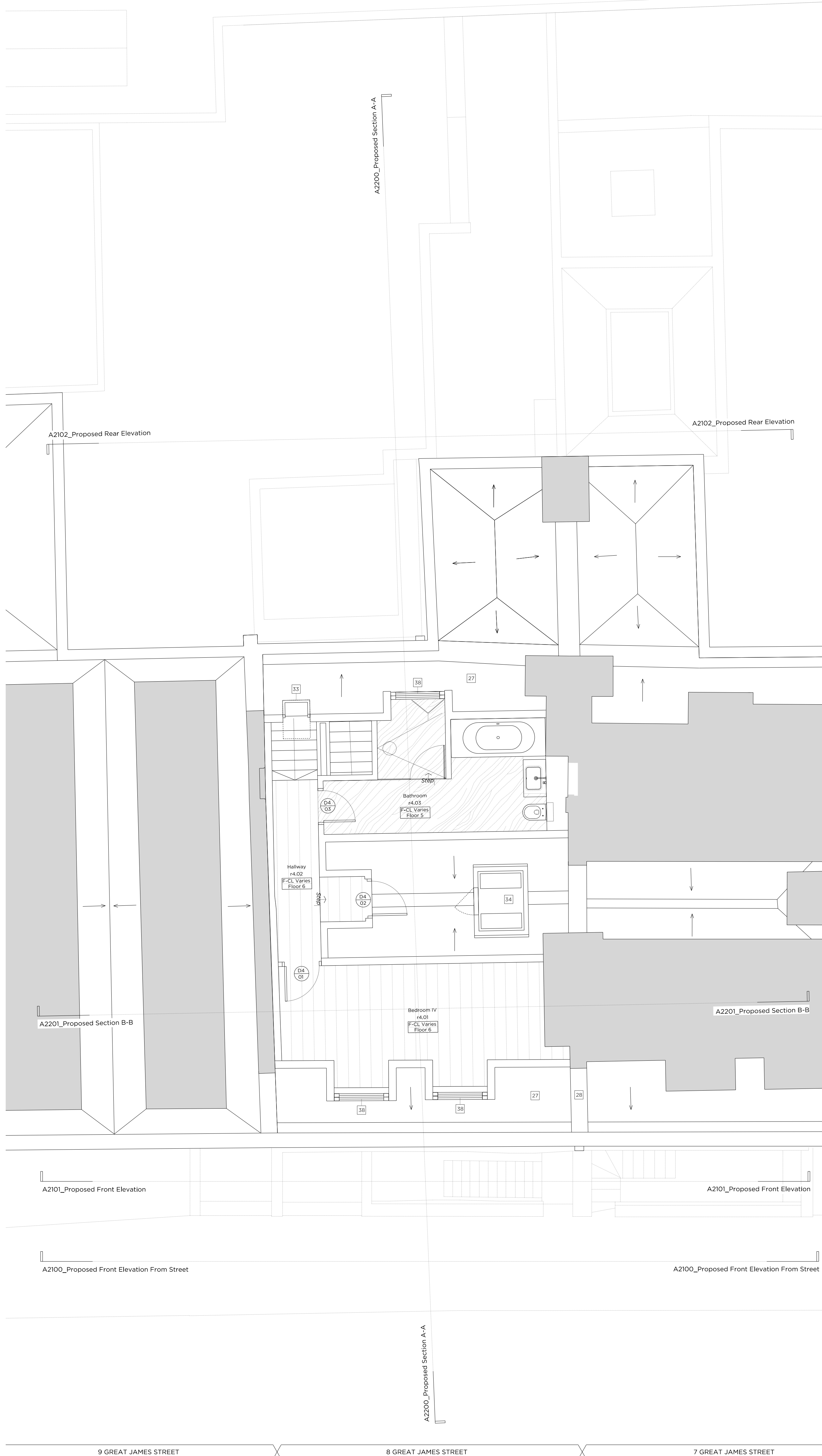
FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Existing timber staircase and balustrade to be refurbished and redecorated.
  - 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
  - 08 Proposed minimal frame fixed aluminium window
  - 09 Proposed minimal frame aluminium casement window (operable)
  - 10 Proposed built in joinery
  - 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 12 Proposed column radiator
  - 13 Replace existing mosaic floor finish
  - 14 Existing metal railings to be refurbished and redecorated
  - 15 Proposed metal balustrade
  - 16 Proposed service riser
  - 17 Proposed glass link with slim profile zinc roof
  - 18 Contemporary timber staircase
  - 19 Infill partition. Wall build up to match adjacent wall
  - 20 Glazed volume providing access to roof terrace, with black zinc roof
  - 21 Proposed chimney piece and hearth
  - 22 Proposed shower tray over existing floor boards
  - 23 Replacement partition wall
  - 24 New partition wall
  - 25 Proposed bi-folding frosted glass screen to window
  - 26 Proposed dormer windows to match no. 7
  - 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
  - 28 All roof flashings to be replaced
  - 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
  - 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 31 Reinstatement of sash window in original opening, six over six configuration
  - 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 33 New conservation rooflight
  - 34 Acoustic plant enclosure for condenser units
  - 35 FCU concealed within existing joinery
  - 36 FCU concealed within new proposed joinery unit
  - 37 New (newton 500) tanking system to pavement vault.
  - 38 New timber framed dormer sash windows with 3 over 3 configuration



Rev. - 04.10.2020 Issued for Planning

# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

Drawing Title: **Proposed Fourth Floor Plan**

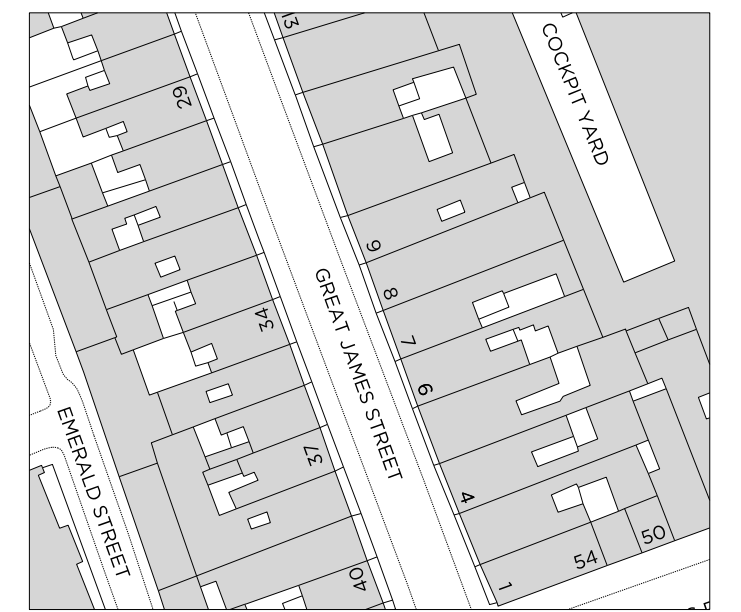
Drawing No. **A2004** Rev. **-**

Drawn	Approved	Signed
CT	PB	AA

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Key:

Existing structure / earth      New Structure

Legend: Proposed Finishes

	Existing floor boards		Carpet
	Reclaimed floor boards		Natural stone
	Engineered timber floor		Tile
	External paving		Mosaic tile
	Grille		

General Notes:

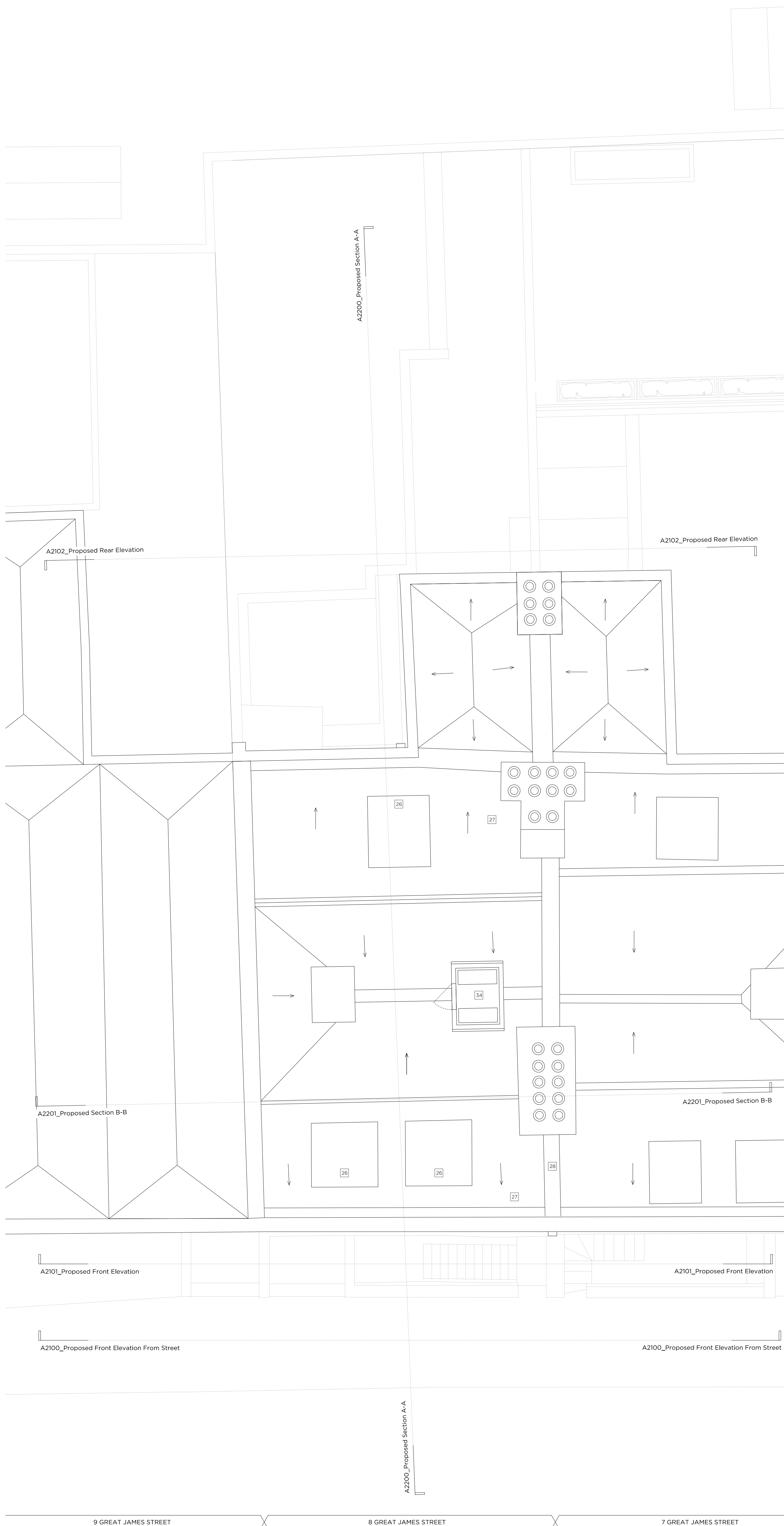
- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.  
 FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.  
 FLOOR 3: Specified floor finish on existing structural slab.  
 FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.  
 FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.  
 FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Existing timber staircase and balustrade to be refurbished and redecorated.
- 07 Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
- 08 Proposed minimal frame fixed aluminium window
- 09 Proposed minimal frame aluminium casement window (operable)
- 10 Proposed built in joinery
- 11 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 12 Proposed column radiator
- 13 Replace existing mosaic floor finish
- 14 Existing metal railings to be refurbished and redecorated
- 15 Proposed metal balustrade
- 16 Proposed service riser
- 17 Proposed glass link with slim profile zinc roof
- 18 Contemporary timber staircase
- 19 Infill partition. Wall build up to match adjacent wall
- 20 Glazed volume providing access to roof terrace, with black zinc roof
- 21 Proposed chimney piece and hearth
- 22 Proposed shower tray over existing floor boards
- 23 Replacement partition wall
- 24 New partition wall
- 25 Proposed bi-folding frosted glass screen to window
- 26 Proposed dormer windows to match no. 7
- 27 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 28 All roof flashings to be replaced
- 29 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 30 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 31 Reinstatement of sash window in original opening, six over six configuration
- 32 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 33 New conservation rooflight
- 34 Acoustic plant enclosure for condenser units
- 35 FCU concealed within existing joinery
- 36 FCU concealed within new proposed joinery unit
- 37 New (newton 500) tanking system to pavement vault.
- 38 New timber framed dormer sash windows with 3 over 3 configuration



# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

Drawing Title: **Proposed Roof Plan**

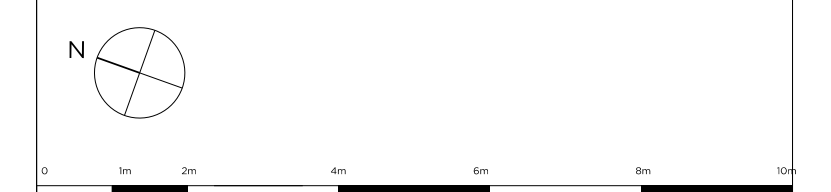
Drawing No. **A2005** Rev. **-**

Drawn	Approved	Signed
CT	PB	AA

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Key Site Plan 1:1000

Key:

Existing structure / earth    New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Reinstatement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 New conservation rooflight
- 22 New cast iron SVP/RWP, to connect to existing stack
- 23 New timber sash window with 3 over 3 configuration to match no. 7
- 24 Proposed built-in joinery
- 25 Proposed Chimney piece and hearth
- 26 Acoustic plant enclosure for condenser unit

Rev. - 04.12.2020 Issued for Planning

# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

Drawing Title: **Proposed Front Elevation from Street**

Drawing No. <b>A2100</b>	Rev. <b>-</b>
Drawn <b>CT</b>	Approved <b>PB</b>
	Signed <b>AA</b>

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Key Site Plan 1:1000

Key:

- Existing structure / earth
- New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be stained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Reinstatement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 New conservation rooflight
- 22 New cast iron SVP/RWP, to connect to existing stack
- 23 New timber sash window with 3 over 3 configuration to match no. 7
- 24 Proposed built-in joinery
- 25 Proposed Chimney piece and hearth
- 26 Acoustic plant enclosure for condenser unit

Rev. - 04.12.2020 Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Proposed Front Elevation

Drawing No.	A2101	Rev.	-
Drawn	Approved	Signed	
CT	PB	AA	



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Existing Ridge Level

Existing Loft Level

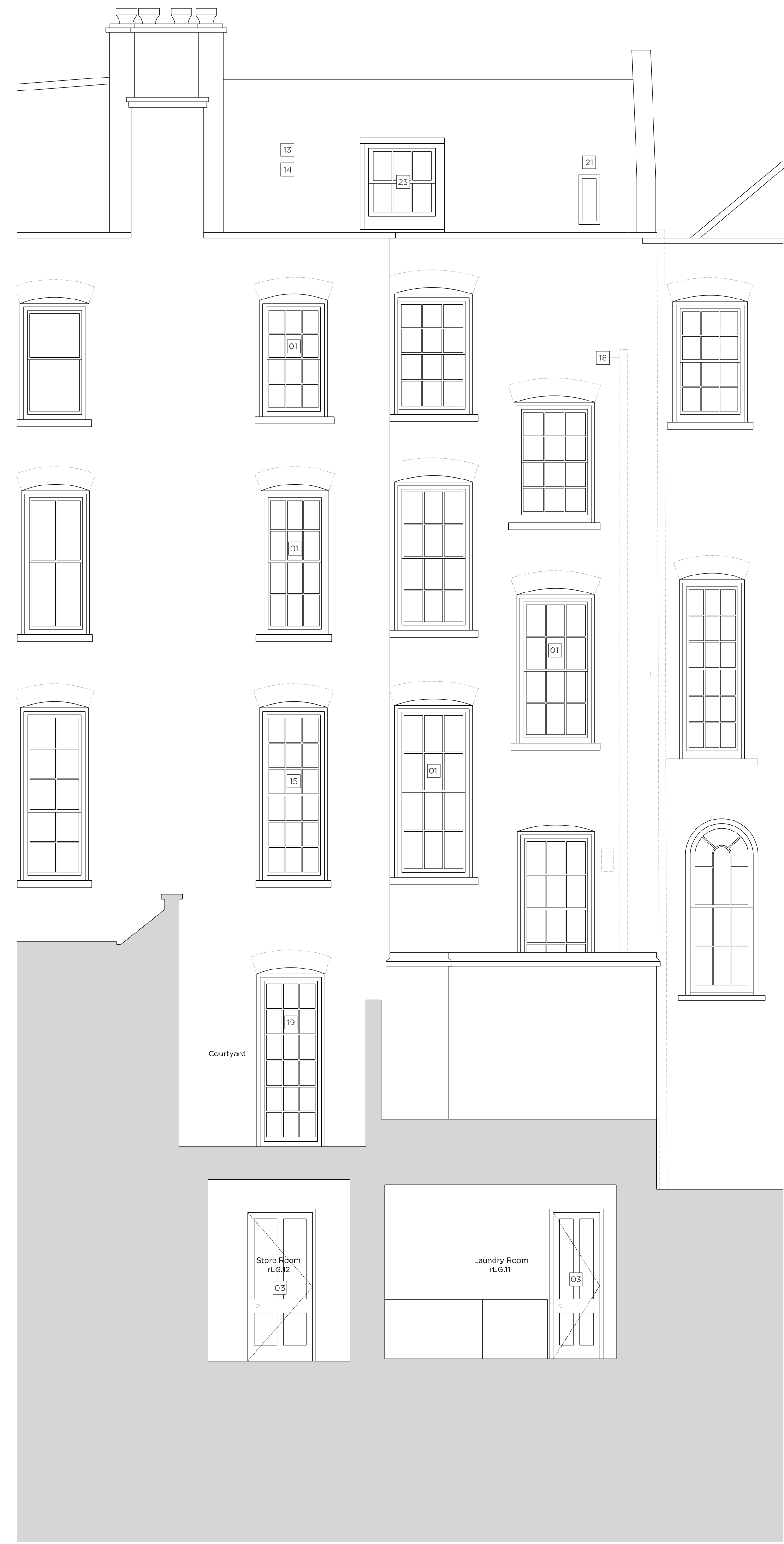
Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



No. 7

No. 8 GREAT JAMES STREET

No. 9

Key Site Plan 1:1000

Key:

- Existing structure / earth
- New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Reinstatement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 New conservation rooflight
- 22 New cast iron SVP/RWP, to connect to existing stack
- 23 New timber sash window with 3 over 3 configuration to match no. 7
- 24 Proposed built-in joinery
- 25 Proposed Chimney piece and hearth
- 26 Acoustic plant enclosure for condenser unit

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# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:100 @ A1 / 1:200 @ A3

Project 8 Great James Street

Drawing Title: Proposed Rear Elevation

Drawing No. A2102

Drawn	Approved	Signed
CT	PB	AA

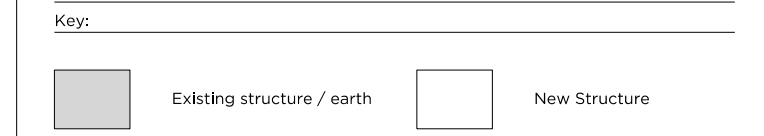
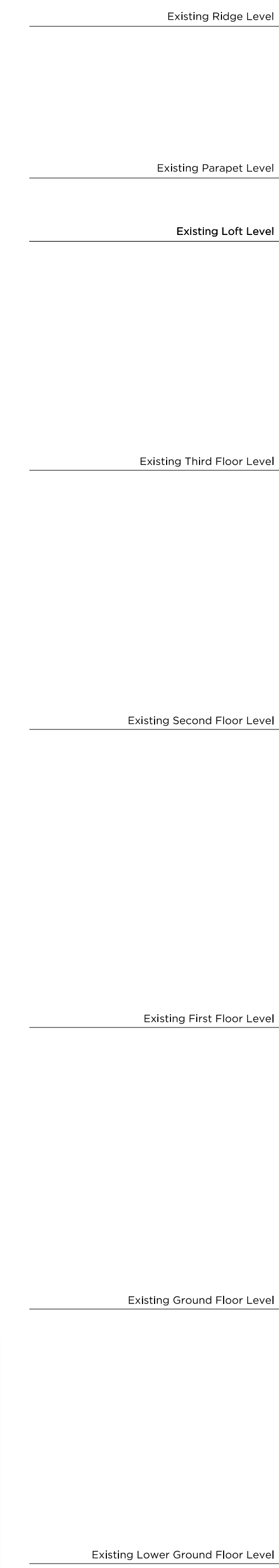


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- Proposed Notes:
- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
  - 02 Proposed metal handrail
  - 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 05 Existing door to be stained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
  - 06 Proposed minimal frame fixed aluminium window
  - 07 Proposed minimal frame aluminium casement window (operable)
  - 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
  - 09 Existing metal railings to be refurbished and redecorated
  - 10 Proposed metal balustrade
  - 11 Proposed glass link with slim profile zinc roof
  - 12 Existing dormer windows to be refurbished.
  - 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
  - 14 All roof flashings to be replaced - where necessary
  - 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
  - 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
  - 17 Re-assembly of sash window in original opening, six over six configuration
  - 18 All elevations to be re-pointed
  - 19 Proposed traditionally detailed timber french door with nine over nine configuration
  - 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
  - 21 New conservation rooflight
  - 22 New cast iron SVP/RWP, to connect to existing stack
  - 23 New timber sash window with 3 over 3 configuration to match no. 7
  - 24 Proposed built-in joinery
  - 25 Proposed Chimney piece and hearth
  - 26 Acoustic plant enclosure for condenser unit

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# PLANNING

Project No. **20042**

Client **GFZ Investments LTD.**

Date **October 2020**

Scale **1:50 @ A1 / 1:100 @ A3**

Project **8 Great James Street**

Drawing Title **Proposed Section A-A**

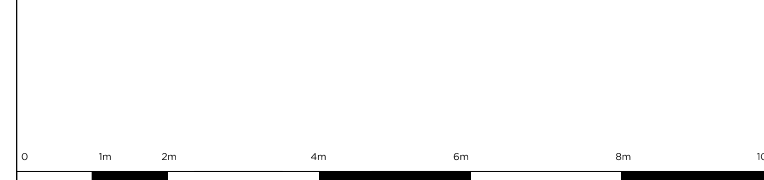
Drawing No. **A1600**

Drawn <b>CT</b>	Approved <b>PB</b>	Signed <b>AA</b>
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8 GREAT JAMES STREET

GJS

Existing Ridge Level

Existing Loft Level

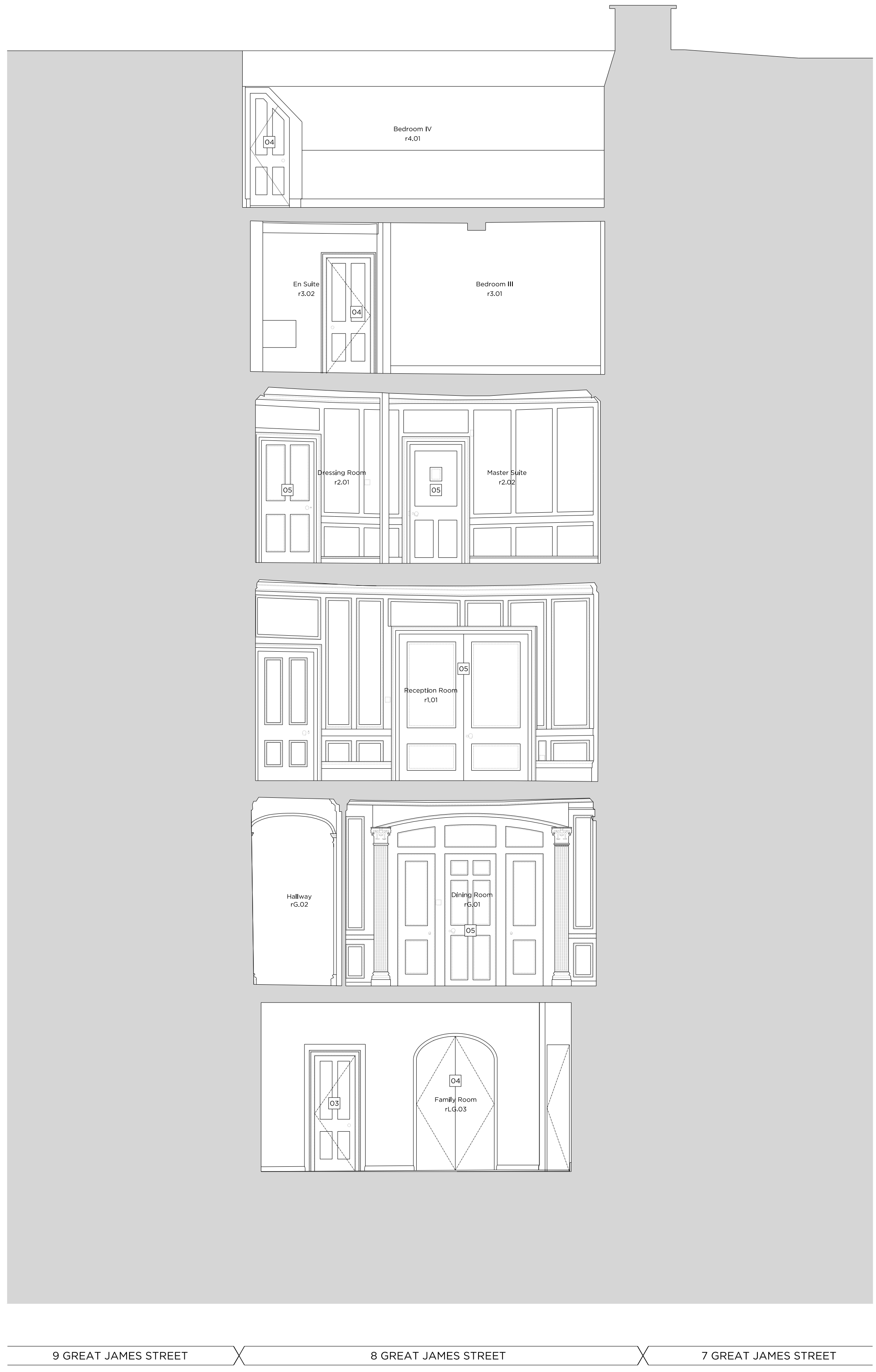
Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



Key Site Plan 1:1000

Key:

Existing structure / earth

New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be stained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Reinstatement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 New conservation rooflight
- 22 New cast iron SVP/RWP, to connect to existing stack
- 23 New timber sash window with 3 over 3 configuration to match no. 7
- 24 Proposed built-in joinery
- 25 Proposed Chimney piece and hearth
- 26 Acoustic plant enclosure for condenser unit

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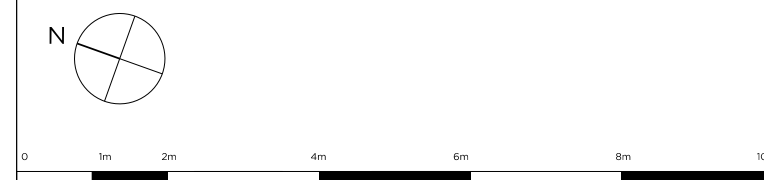
# PLANNING

Project No.	20042	
Client	GFZ Investments LTD.	
Date	October 2020	
Scale	1:50 @ A1 / 1:100 @ A3	
Project	8 Great James Street	
Drawing Title:	Proposed Section B-B	
Drawing No.	A1601	Rev. -
Drawn	Approved	Signed
CT	PB	AA



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Key Site Plan 1:1000

Key:

Existing structure / earth      New Structure

Proposed Notes:

01	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
02	Proposed metal handrail
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be stained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Proposed minimal frame fixed aluminium window
07	Proposed minimal frame aluminium casement window (operable)
08	Existing chimney piece and hearth to be refurbished and redecorated where necessary.
09	Existing metal railings to be refurbished and redecorated
10	Proposed metal balustrade
11	Proposed glass link with slim profile zinc roof
12	Existing dormer windows to be refurbished.
13	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
14	All roof flashings to be replaced - where necessary
15	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
16	Existing PVC rainwater pipes and gutters to be replaced with heritage cast iron fittings
17	Replacement of sash window in original opening, six over six configuration
18	All elevations to be repointed
19	Proposed traditionally detailed timber french door with nine over nine configuration
20	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
21	Replacement conservation rooflight
22	Reclaimed stock brick to match existing
23	Glazed volume providing access to roof terrace, with black zinc roof
24	Metal frame window within "Coach House" style opening with steel lintel above
25	Intensive planting zone
26	Green Roof with loose/spotted planting
27	New cast iron SVP/RWP, to connect to existing stack
28	Proposed built-in joinery
29	Acoustic plant enclosure for condenser units

Rev. - 04.12.2020 Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:50 @ A1 / 1:100 @ A3

Project 7 Great James Street

Drawing Title: Proposed Section C-C

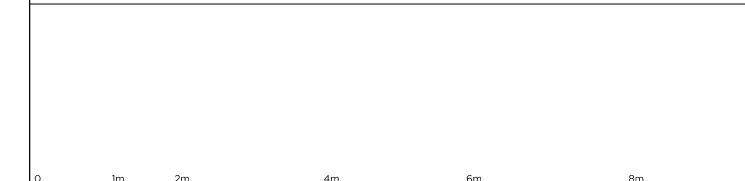
Drawing No. A2202 Rev. -

Drawn	Approved	Signed
CT	PB	AA



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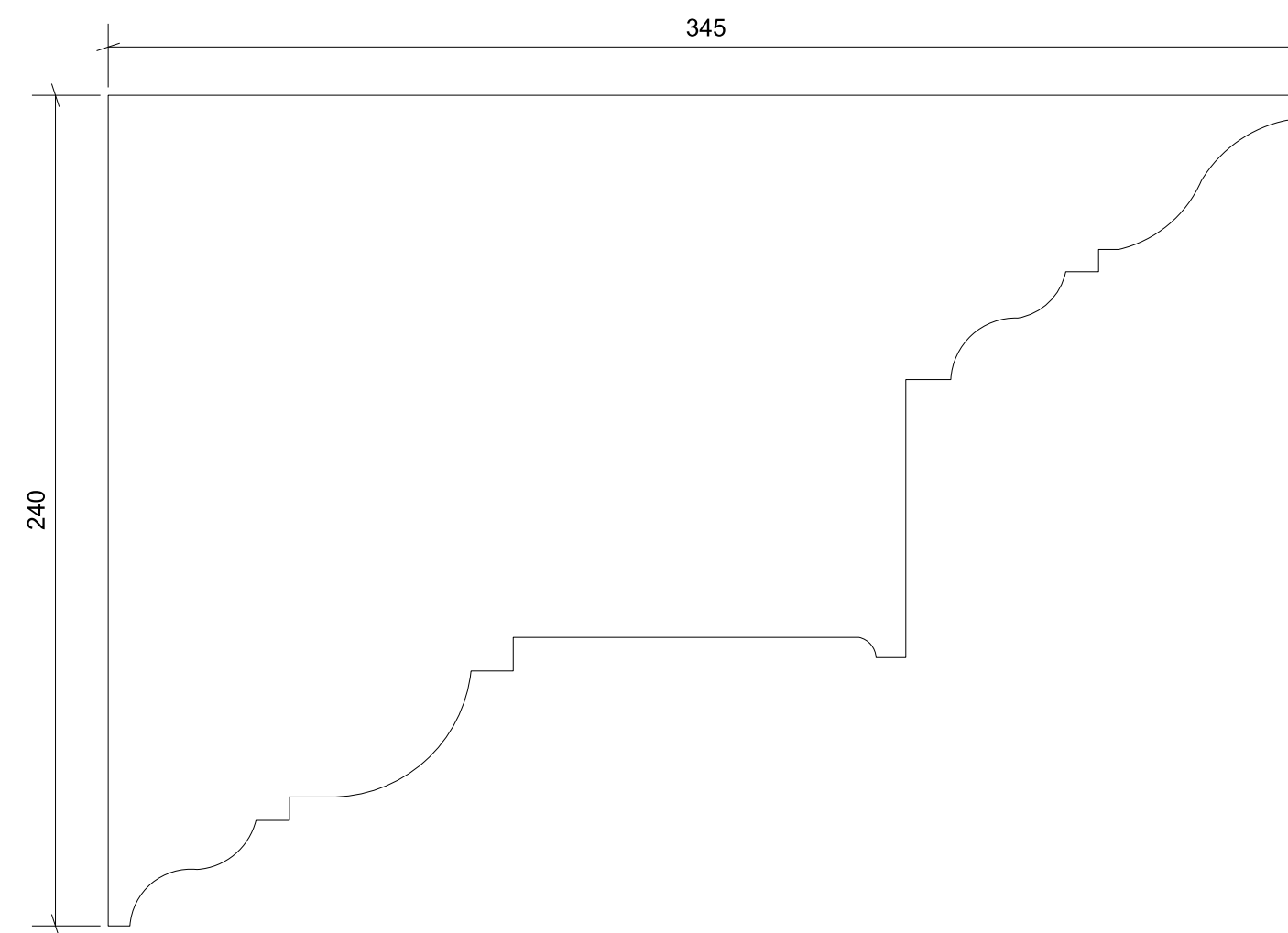
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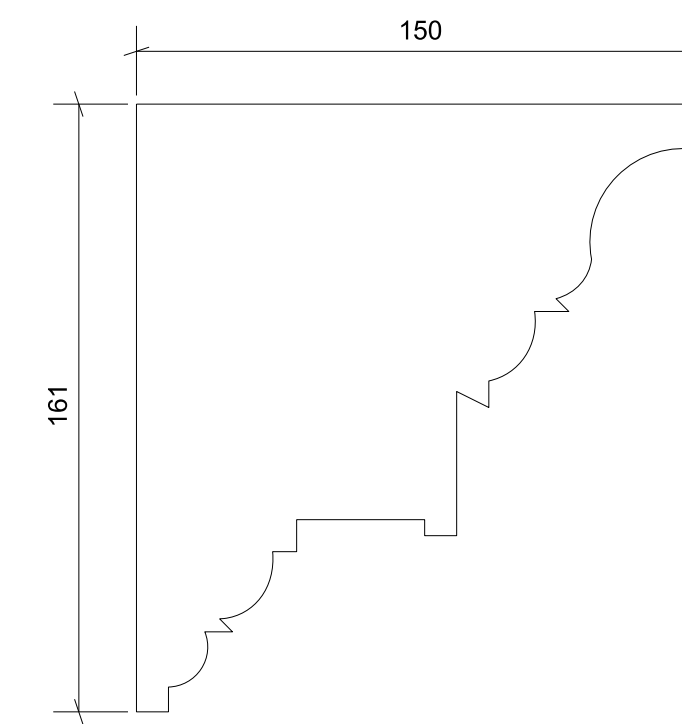
CORNICE AND SKIRTING  
PROFILES TO BE  
TIMBER MOULDINGS



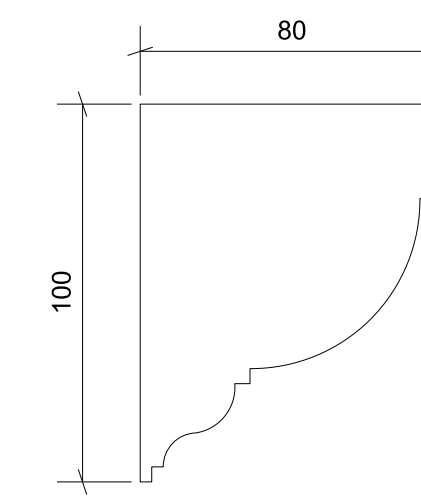
01  
A6900 Cornice Type A  
Proposed typical ground floor  
cornice profile  
Room No.



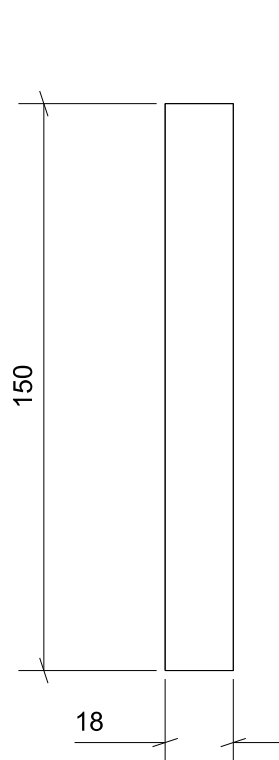
02  
A6900 Cornice Type B  
Proposed typical first floor  
cornice profile  
r1.04



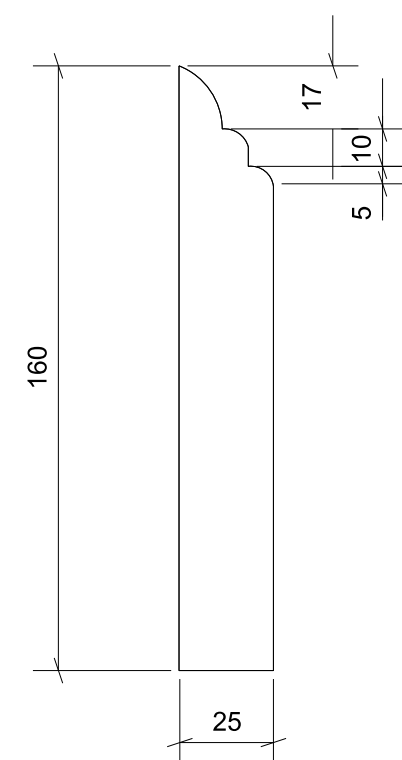
03  
A6900 Cornice Type C  
Proposed typical second floor  
cornice profile  
r2.01, r2.02, r2.05



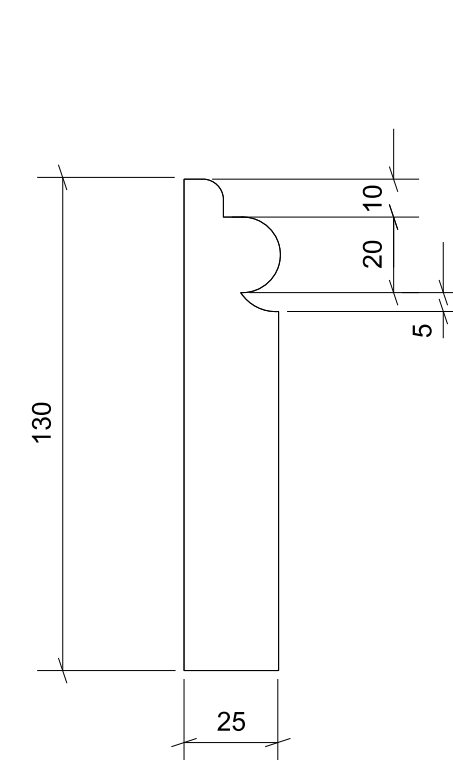
04  
A6900 Cornice Type D  
Proposed typical third floor  
cornice profile  
r3.01, r3.02, r3.03, r3.05, r3.06



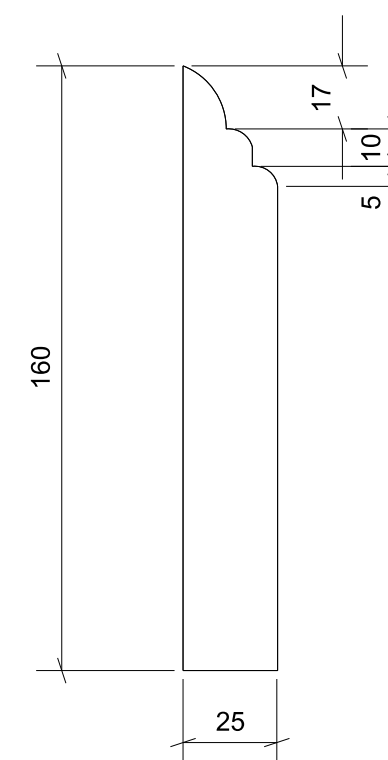
05  
A6900 Skirting Type A  
Proposed typical lower ground  
floor skirting profile  
rLG.01, rLG.02, rLG.04, rLG.05,  
rLG.06, rLG.07, rLG.08, rLG.09,  
rLG.10, rLG.11



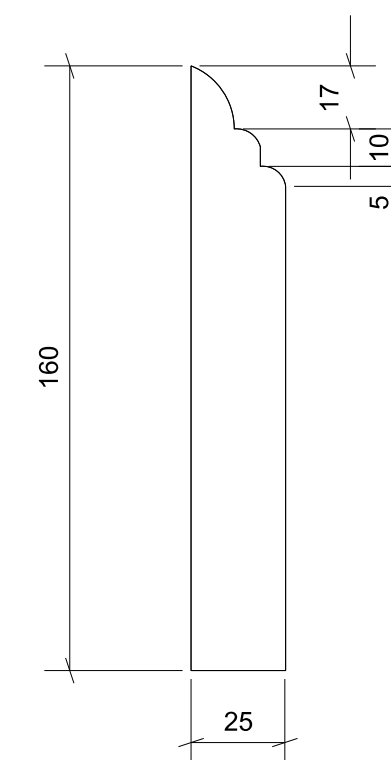
06  
A6900 Skirting Type B  
Proposed typical ground floor  
skirting profile



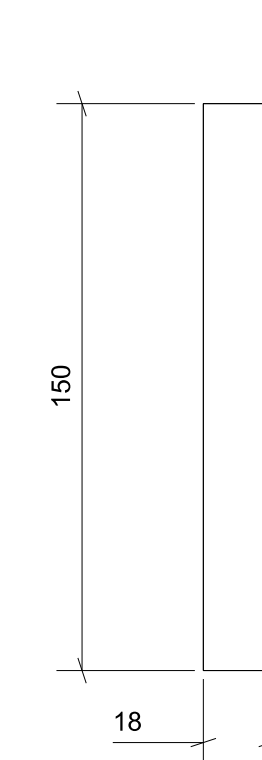
07  
A6900 Skirting Type C  
Proposed typical first floor  
skirting profile (for closet wing only)



08  
A6900 Skirting Type B  
Proposed typical second floor  
skirting profile  
r2.01, r2.02, r2.05



09  
A6900 Skirting Type B  
Proposed typical third floor  
skirting profile  
r3.01, r3.02, r3.03, r3.05, r3.06



10  
A6900 Skirting Type A  
Proposed typical fourth floor  
skirting profile  
r4.01, r4.02, r4.03

Rev. - 04.12.2020 Issued for Planning

# PLANNING

Project No. 20042  
Client GFZ Investments LTD.  
Date October 2020  
Scale 1:2 @ A1  
Project 8 Great James Street

Drawing Title: Proposed Skirting and Cornice Details  
Drawing No. A6900 Rev. -  
Drawn CT Approved PB Signed AA



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