

notes:

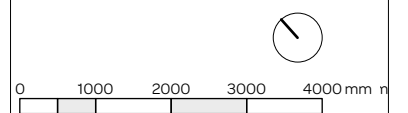
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Party Wall Act 1996:
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KEY

black lines	existing
red lines	new
green lines	to be demolished



revision:



SQUARE FEET ARCHITECTS

A : 95 Bell Street, London NW1 6TL
 T : 0207 431 4500
 E : studio@squarefeetarchitects.co.uk
 W : www.squarefeetarchitects.co.uk

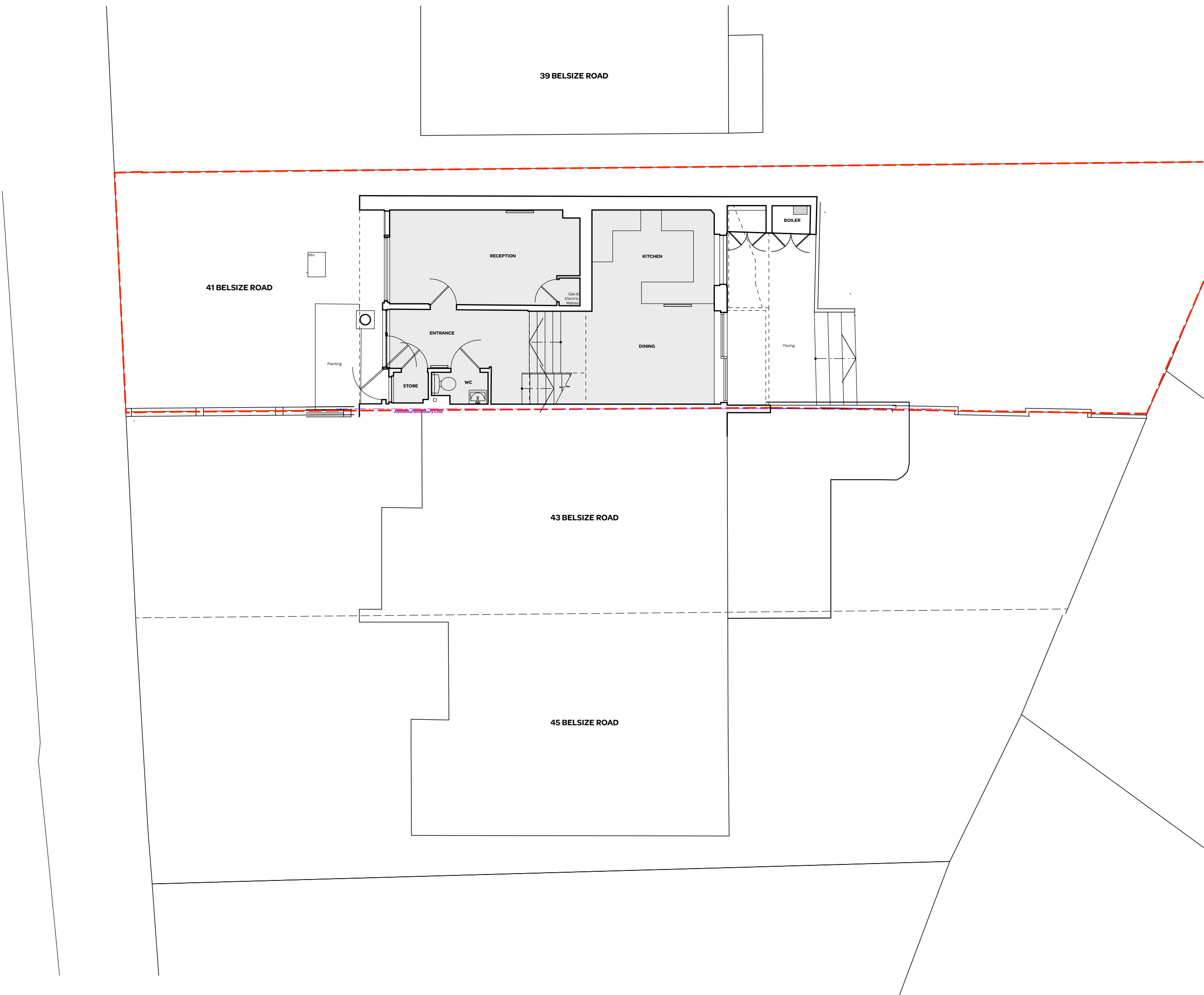
drawing title:
EXISTING SITE PLAN

client:
 REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:100@A3
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drawing number: 2006-L-010	revision:
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39 BELSIZE ROAD

41 BELSIZE ROAD

43 BELSIZE ROAD

45 BELSIZE ROAD

RECEPTION

KITCHEN

DINING

ENTRANCE

STORE

WC

BOILER

Paving

RM

Planting

Gas & Electric Meters

As shown on the site plan

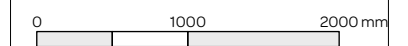
notes:

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KEY
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red lines new
green lines to be demolished



revision:



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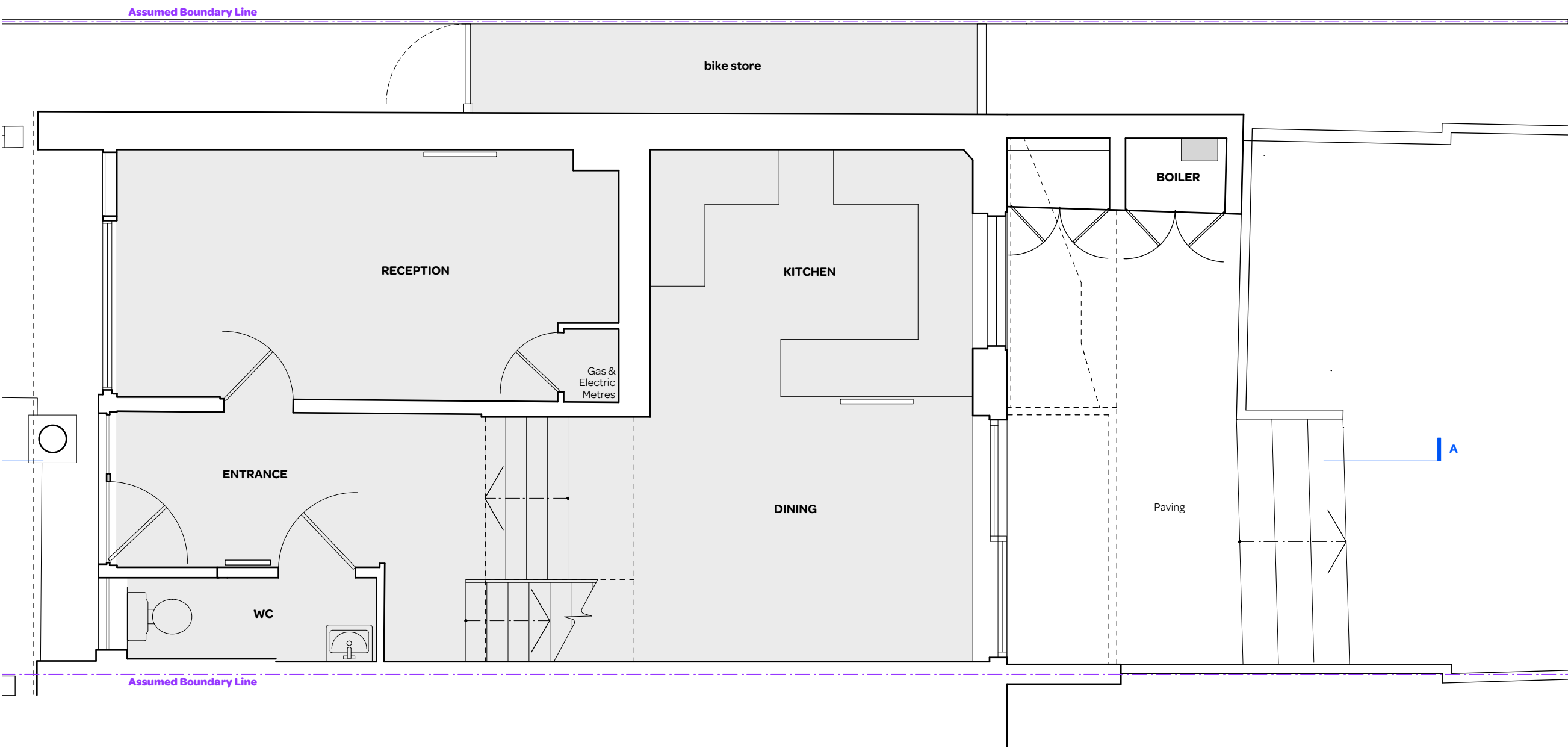
drawing title:
EXISTING GROUND FLOOR PLAN

client:
REIM

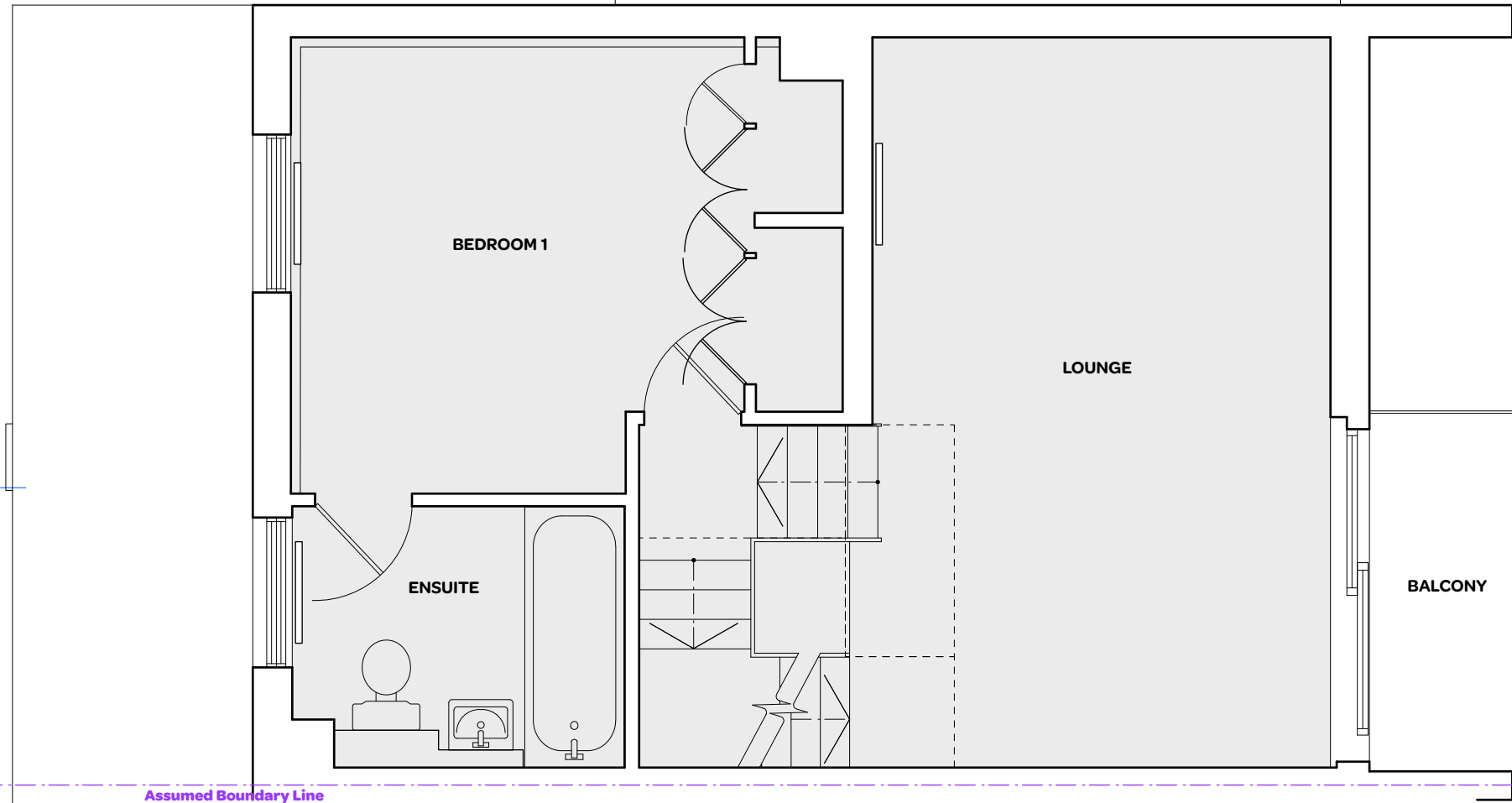
project:
41 Belsize Road, NW6 4RX

date: August 2020 scale: 1:50@A3

drawing number: 2006-L-011 revision: *



Assumed Boundary Line



Assumed Boundary Line

notes:

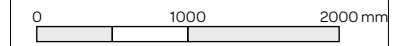
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KEY

- black lines existing
- red lines new
- green lines to be demolished



revision:

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E : studio@squarefeetarchitects.co.uk
W : www.squarefeetarchitects.co.uk

drawing title:
EXISTING FIRST FLOOR PLAN

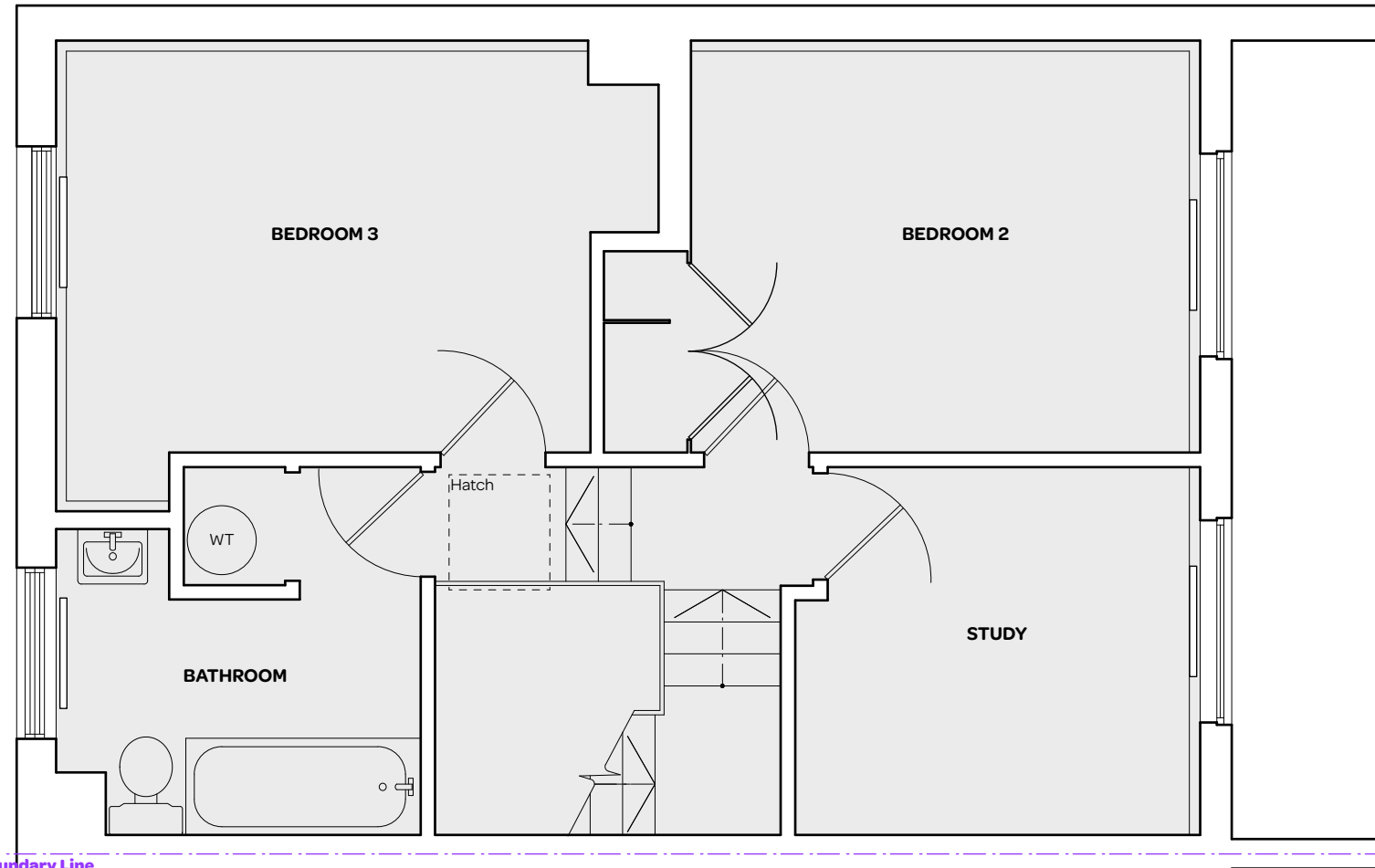
client:
REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020 scale: 1:50@A3

drawing number: 2006-L-012 revision: *

Assumed Boundary Line



Assumed Boundary Line

notes:

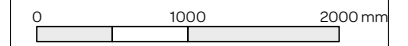
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KEY

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- red lines new
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revision:



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drawing title:
EXISTING SECOND FLOOR PLAN

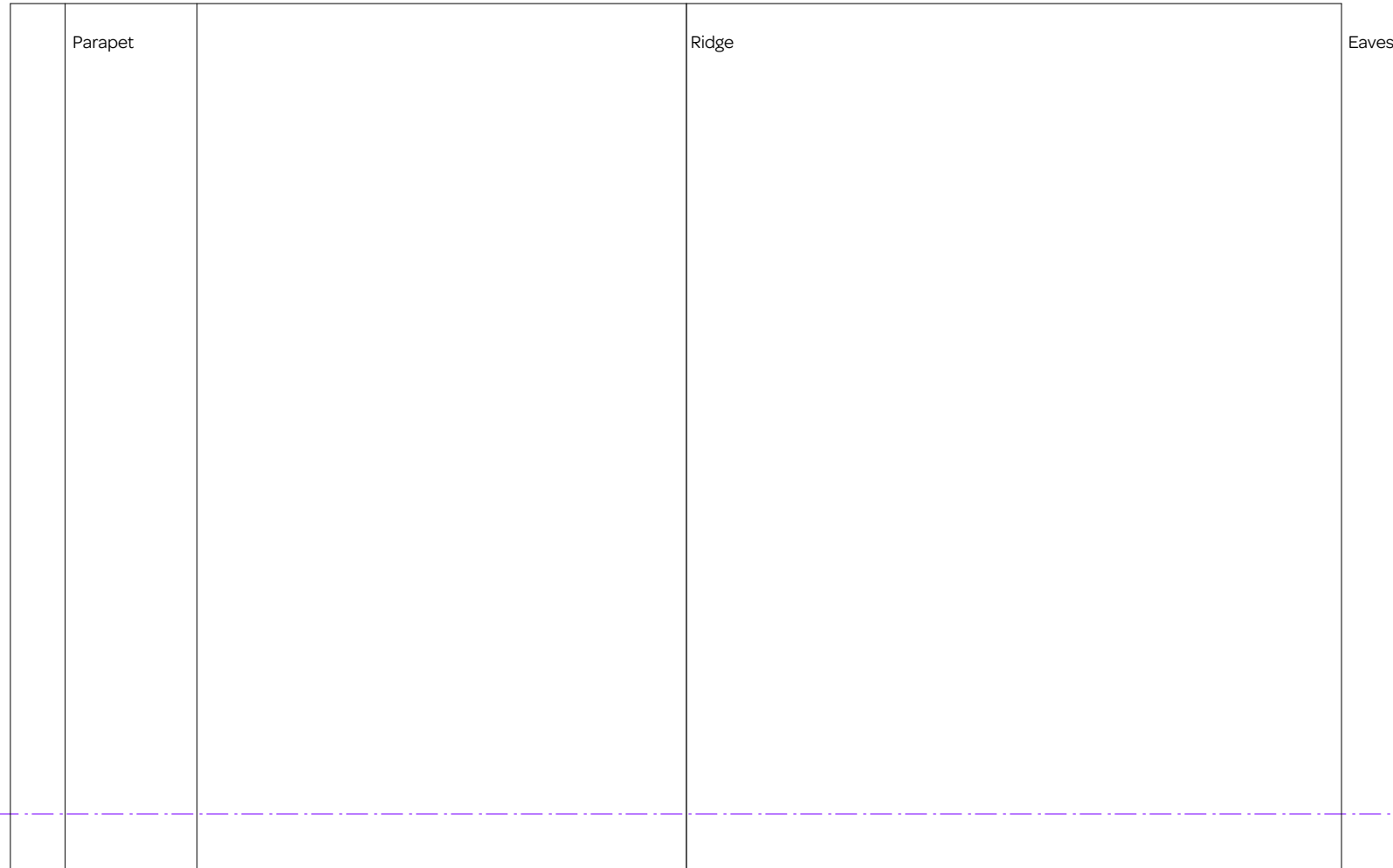
client:
REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-013	revision: *
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Assumed Boundary Line



notes:

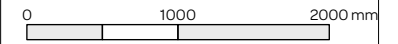
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KEY

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revision:



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drawing title:

EXISTING ROOF PLAN

client:

REIM

project:

41 Belsize Road, NW6 4RX

date:

August 2020

scale:

1:50@A3

drawing number:

2006-L-015

revision:

*



Ridge Level +51.08

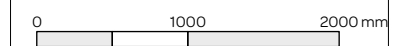
notes:

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KEY
 black lines existing
 red lines new
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revision:

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 T : 0207 431 4500
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 W : www.squarefeetarchitects.co.uk

drawing title:
EXISTING FRONT ELEVATION

client:
 REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-016	revision: *
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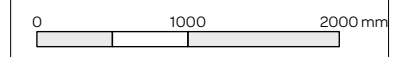
notes:

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KEY
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revision:



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drawing title:
EXISTING REAR ELEVATION

client:
 REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-017	revision: *
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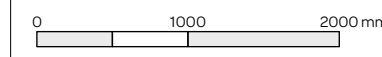
notes:

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KEY
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revision:



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drawing title:
EXISTING SECTION AA

client:
 REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-018	revision: *
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notes:

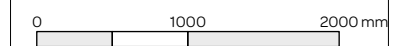
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KEY
black lines existing
red lines new
green lines to be demolished

FULL APP



revision:
A - 11/12/20 - Reissued for Planning



A : 95 Bell Street, London NW1 6TL
T : 0207 431 4500
E : studio@squarefeetarchitects.co.uk
W : www.squarefeetarchitects.co.uk

drawing title:
**PROPOSED GROUND FLOOR PLAN
- HOUSEHOLDER APPLICATION**

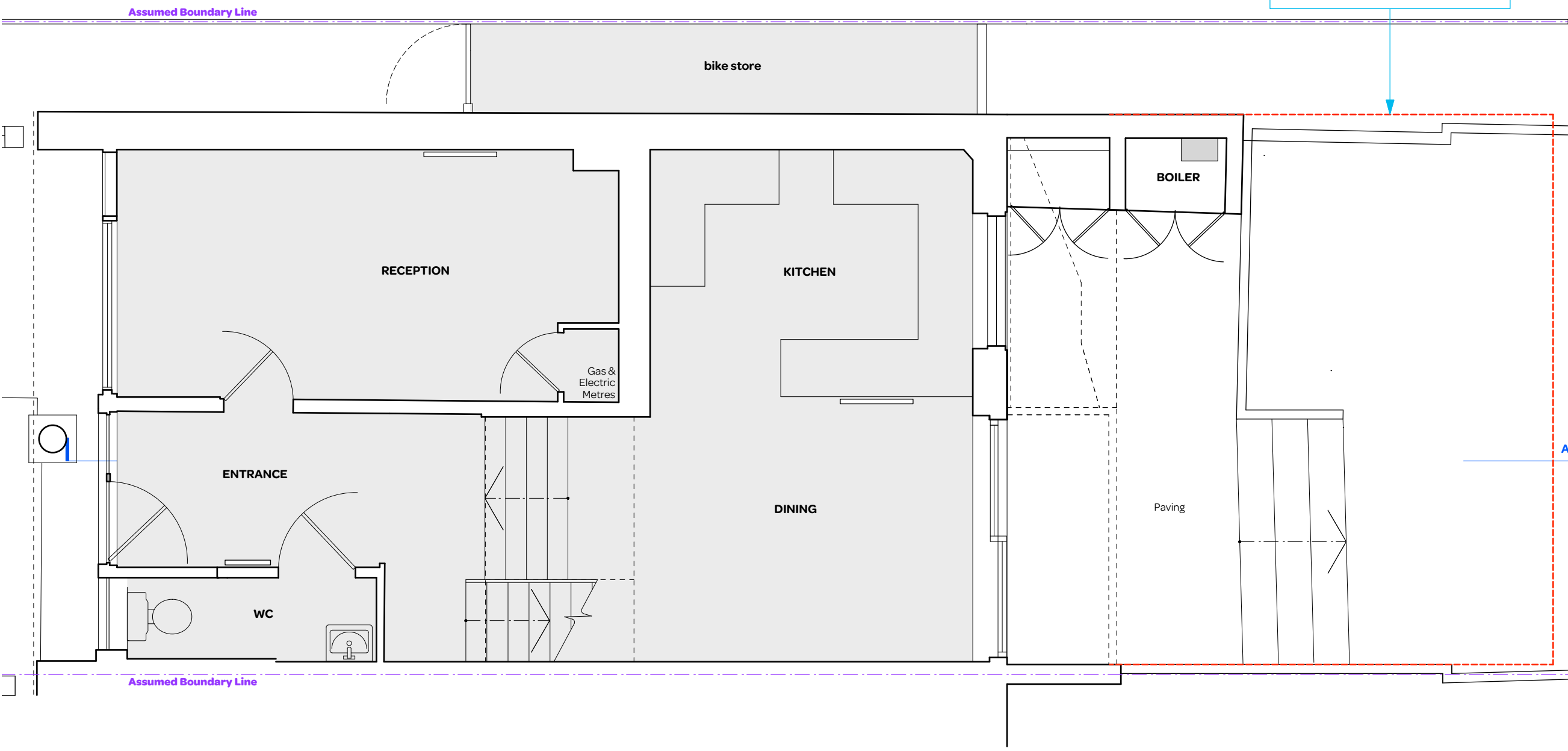
client:
REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020 scale: 1:50@A3

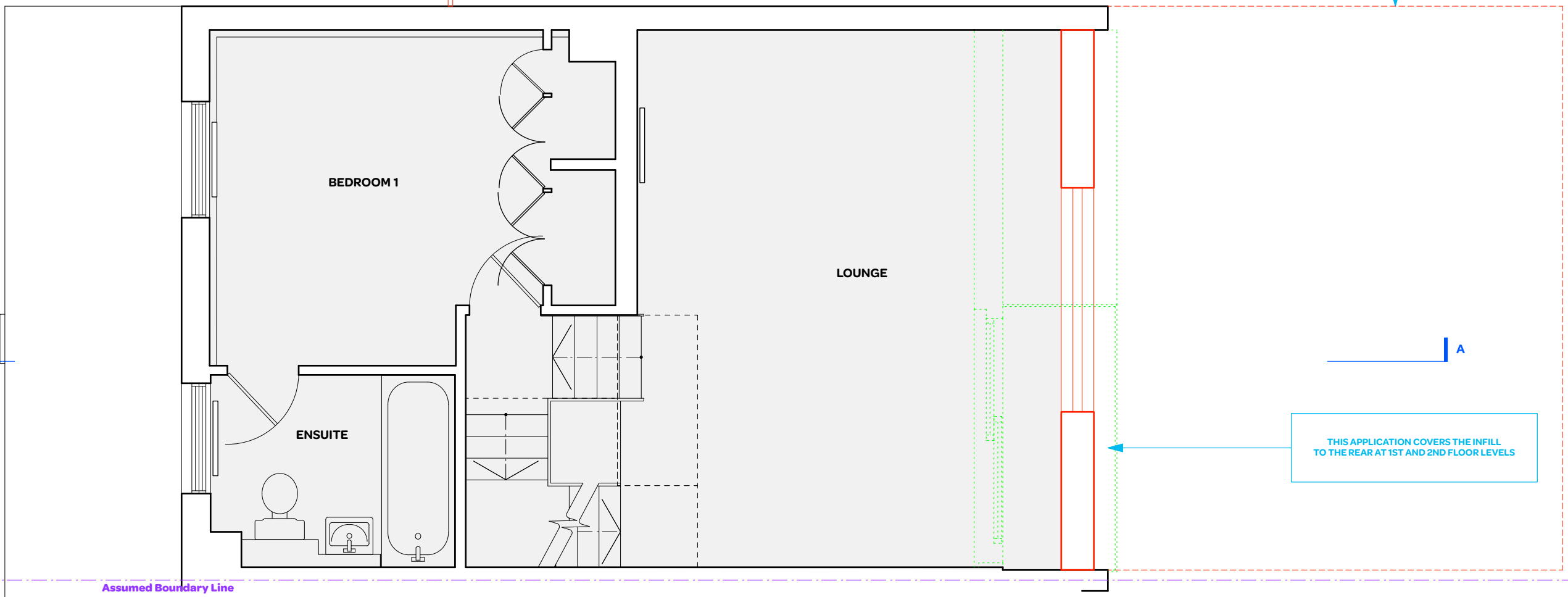
drawing number: 2006-L-031 revision: A

GROUND FLOOR EXTENSION
SUBJECT TO A SEPARATE
"PRIOR APPROVAL" APPLICATION SUBMITTED
IN PARALLEL TO THIS FULL PLANNING APPLICATION
FOR THE FIRST AND SECOND REAR INFILL WORKS



Assumed Boundary Line

GROUND FLOOR EXTENSION
SUBJECT TO A SEPARATE
'PRIOR APPROVAL' APPLICATION SUBMITTED
IN PARALLEL TO THIS FULL PLANNING APPLICATION
FOR THE FIRST AND SECOND REAR INFILL WORKS



THIS APPLICATION COVERS THE INFILL
TO THE REAR AT 1ST AND 2ND FLOOR LEVELS

Assumed Boundary Line

notes:

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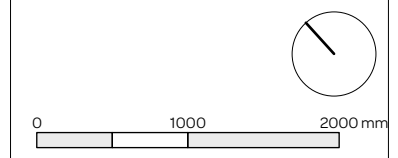
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KEY

- black lines existing
- red lines new
- green lines to be demolished

FULL APP



revision:

A - 11/12/20 - Reissued for Planning



A : 95 Bell Street, London NW1 6TL
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 E : studio@squarefeetarchitects.co.uk
 W : www.squarefeetarchitects.co.uk

drawing title:

**PROPOSED FIRST FLOOR PLAN
- HOUSEHOLDER APPLICATION**

client:
REIM

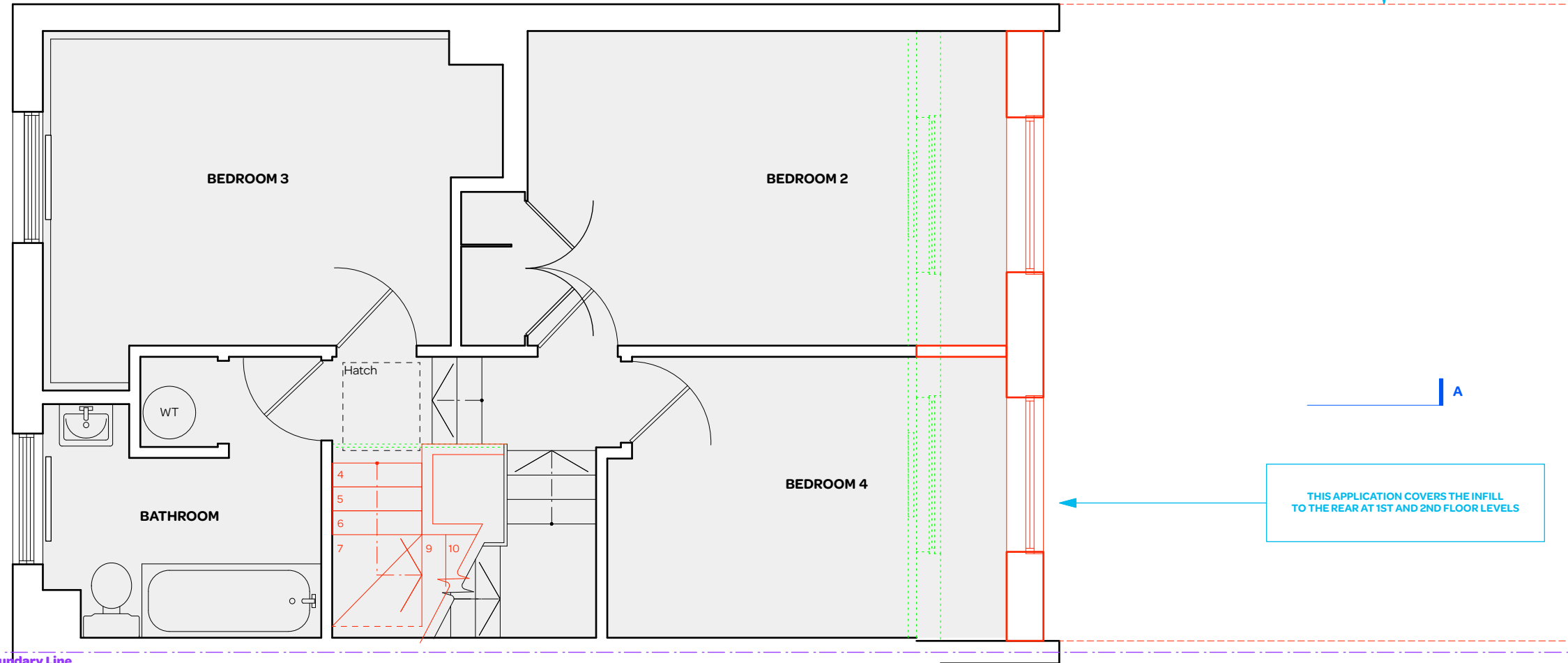
project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-032	revision: A
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Assumed Boundary Line

GROUND FLOOR EXTENSION
SUBJECT TO A SEPARATE
'PRIOR APPROVAL' APPLICATION SUBMITTED
IN PARALLEL TO THIS FULL PLANNING APPLICATION
FOR THE FIRST AND SECOND REAR INFILL WORKS



THIS APPLICATION COVERS THE INFILL
TO THE REAR AT 1ST AND 2ND FLOOR LEVELS

Assumed Boundary Line

notes:

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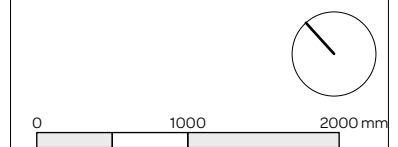
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KEY

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red lines new
green lines to be demolished

FULL APP



revision:
A - 11/12/20 - Reissued for Planning



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A : 95 Bell Street, London NW1 6TL
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drawing title:
**PROPOSED SECOND FLOOR PLAN
- HOUSEHOLDER APPLICATION**

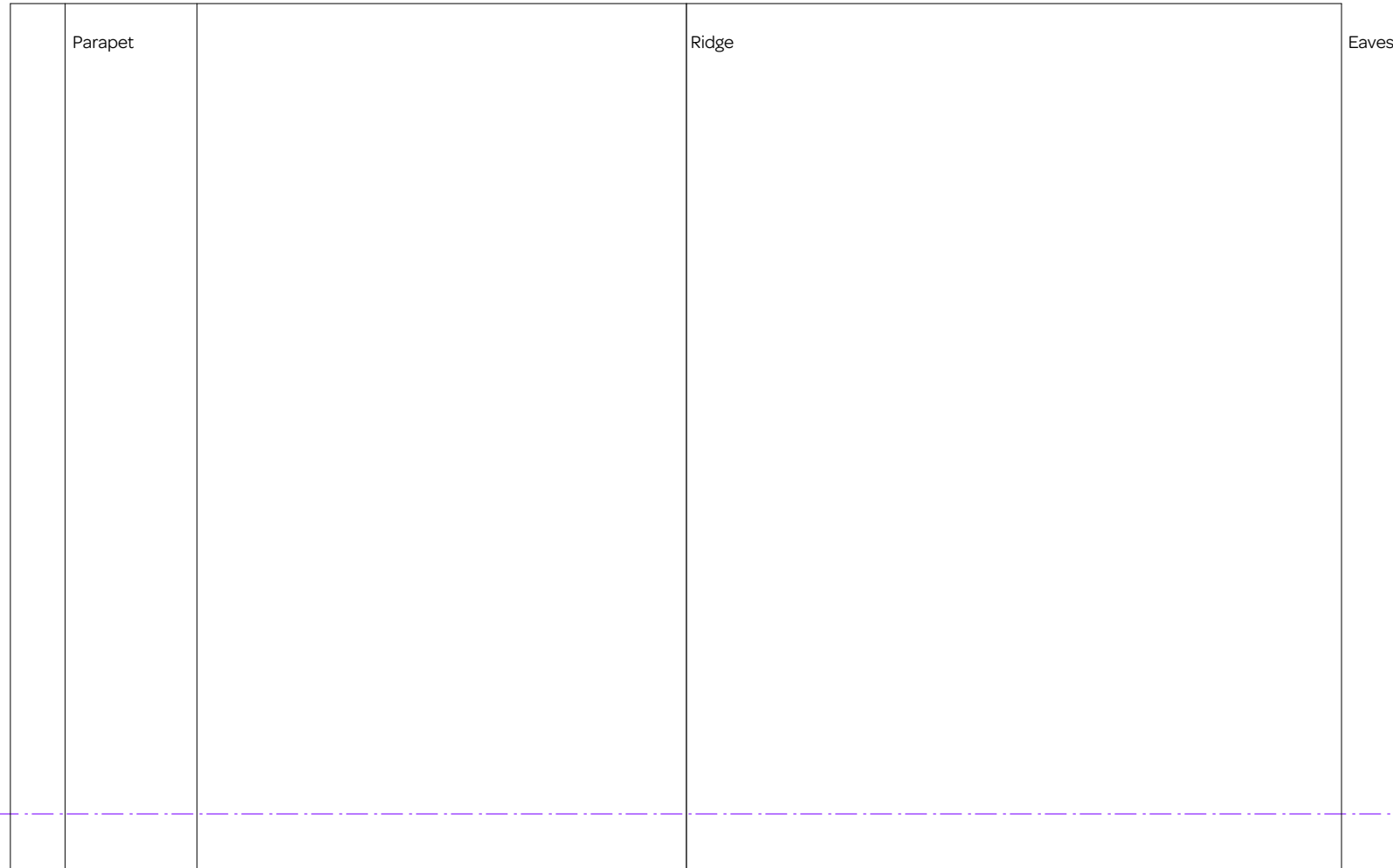
client:
REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-033	revision: A
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Assumed Boundary Line



NO CHANGES PROPOSED TO THE ROOF
AS PART OF THIS APPLICATION

notes:

- General notes:**
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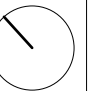
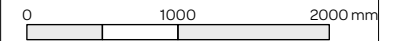
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KEY

- black lines existing
- red lines new
- green lines to be demolished

FULL APP



revision:

A - 11/12/20 - Reissued for Planning



A : 95 Bell Street, London NW1 6TL
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E : studio@squarefeetarchitects.co.uk
W : www.squarefeetarchitects.co.uk

drawing title:

**PROPOSED ROOF PLAN
- HOUSEHOLDER APPLICATION**

client:

REIM

project:

41 Belsize Road, NW6 4RX

date:

August 2020

scale:

1:50@A3

drawing number:

2006-L-035

revision:

A



Ridge Level +51.08

notes:

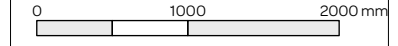
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KEY
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 red lines new
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FULL APP



revision:
A - 11/12/20 - Reissued for Planning



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 W : www.squarefeetarchitects.co.uk

drawing title:
PROPOSED FRONT ELEVATION - HOUSEHOLDER APPLICATION

client:
 REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-036	revision: A
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NO CHANGES PROPOSED TO THE FRONT ELEVATION



notes:

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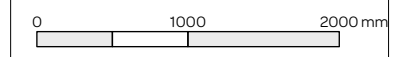
C.D.M. Regulations 2007:
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KEY
 black lines existing
 red lines new
 green lines to be demolished

FULL APP

THIS APPLICATION COVERS THE INFILL TO THE REAR AT 1ST AND 2ND FLOOR LEVELS

GROUND FLOOR EXTENSION SUBJECT TO A SEPARATE "PRIOR APPROVAL" APPLICATION SUBMITTED IN PARALLEL TO THIS FULL PLANNING APPLICATION FOR THE FIRST AND SECOND REAR INFILL WORKS



revision:
A - 11/12/20 - Reissued for Planning



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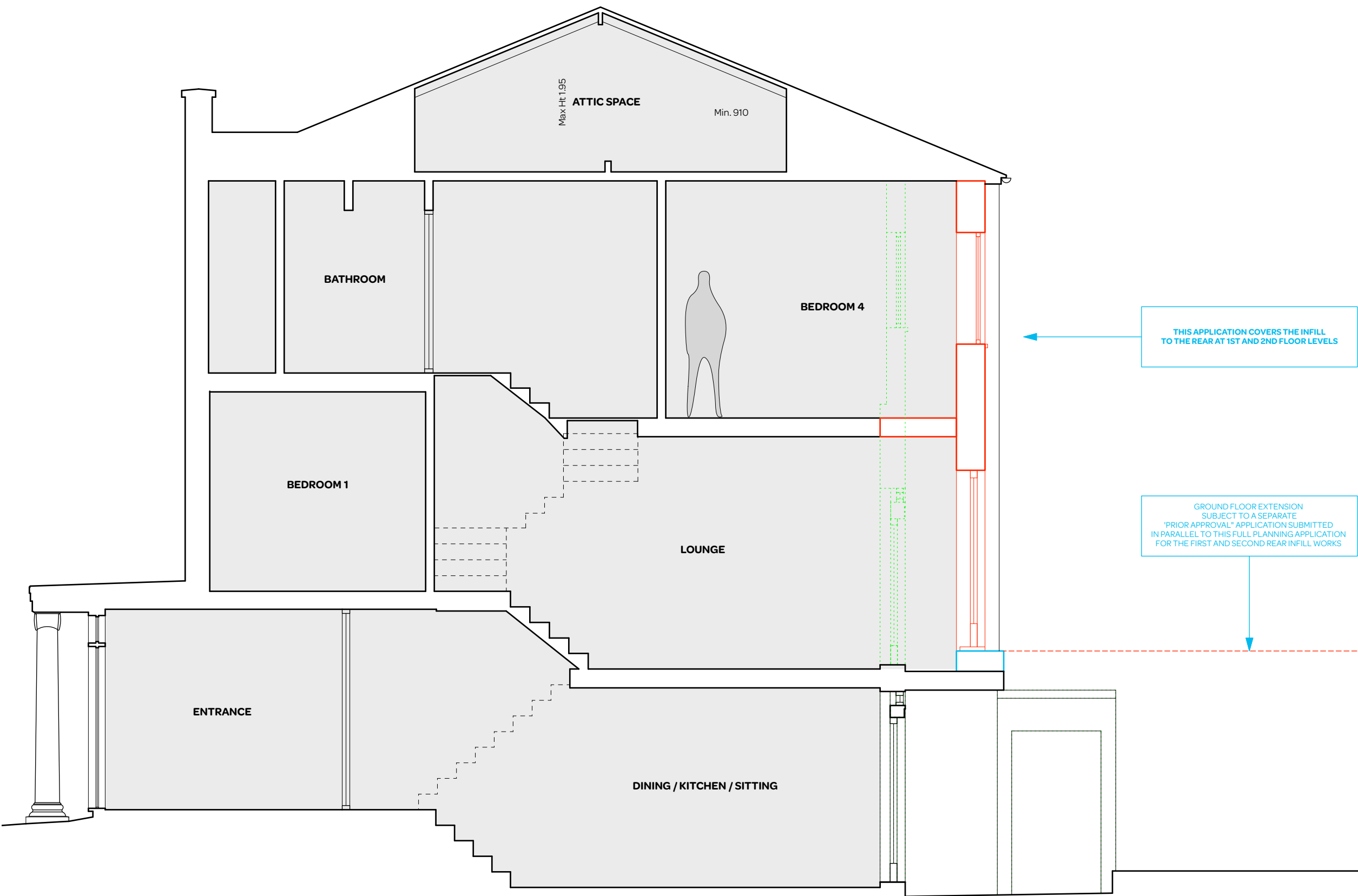
drawing title:
PROPOSED REAR ELEVATION - HOUSEHOLDER APPLICATION

client:
 REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-037	revision: A
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THIS APPLICATION COVERS THE INFILL TO THE REAR AT 1ST AND 2ND FLOOR LEVELS

GROUND FLOOR EXTENSION SUBJECT TO A SEPARATE "PRIOR APPROVAL" APPLICATION SUBMITTED IN PARALLEL TO THIS FULL PLANNING APPLICATION FOR THE FIRST AND SECOND REAR INFILL WORKS

notes:

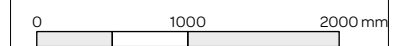
General notes:
 1. All dimensions are in millimeters unless noted otherwise.
 2. All dimensions shall be verified on site before proceeding with the work.
 3. Square Feet Architects shall be notified in writing of any discrepancies.

Party Wall Act 1996:
 Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.

C.D.M. Regulations 2007:
 These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the construction (Design and Management) Regulations 1994. If advice is required please do not hesitate to contact Square Feet Architects.

KEY
 black lines existing
 red lines new
 green lines to be demolished

FULL APP



revision:
A - 11/12/20 - Reissued for Planning



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drawing title:
PROPOSED SECTION AA - HOUSEHOLDER APPLICATION

client:
 REIM

project:
41 Belsize Road, NW6 4RX

date: August 2020	scale: 1:50@A3
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drawing number: 2006-L-038	revision: A
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