

1 Chester Road, N19

DESIGN AND ACCESS STATEMENT



AAB architects
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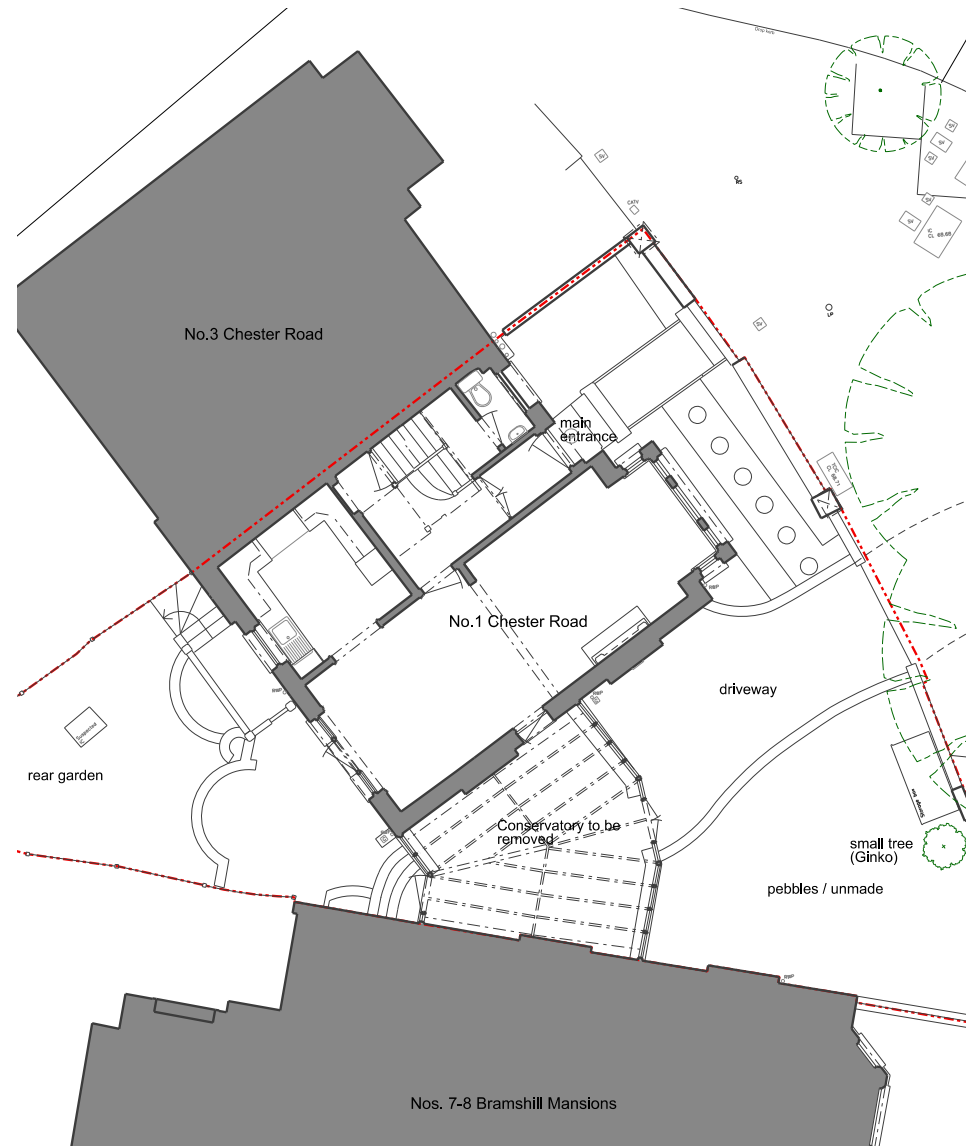


fig. 1 - Existing Ground Floor Plan



fig. 2 - View from Dartmouth Park Hill



fig. 3 - Existing Driveway and Conservatory



fig. 4 - Flank wall, Bramshill Mansions



fig. 5 - View from inside Conservatory

1.1

Purpose and Structure of this Document

This document is to be read in conjunction with the current planning application, produced by AAB architects and submitted to Camden Council, for the proposed replacement of an existing conservatory with a two storey extension to No.1 Chester Road.

This document is divided into six sections which include: an introduction to the site; local planning matters; design development; and access matters.

1.2

The Site and Building**1 Chester Road, N19 5DE**

No.1 Chester Road falls within the Dartmouth Park Conservation Area in the Camden Borough of North London.

The three-storey, four bedroom house is located on a hill at the corner of Dartmouth Park Hill and Chester Road. The ground floor provides a kitchen to the rear, as well as a combined living/dining space of 30m². These spaces are currently undersized in relation to the rest of the accommodation. At first floor there are two bedrooms, and a small bathroom. One bedroom is now used as a permanent home office, due to the Covid-19 pandemic. There are two bedrooms and one bathroom in the loft. Access to a basement storage area is also provided from the entrance level.

A conservatory was added to the south in the early 1990s - connecting No. 1 Chester Road to Nos. 7 and 8 Bramshill Mansions, on Dartmouth Park Hill. This conservatory is largely blocked from solar gain by the neighbouring building to the south, leaving it cold, damp and inefficient for much of the year. As an addition typically seen to the rear of a house, the conservatory appears out of character with the primary street elevation and the conservation area. Furthermore, its massing creates an uncomfortable gap to the junction of these two roads as they sweep around the corner.



fig. 6 - Internal face of the front boundary wall.



fig. 7 - Existing crossover from driveway to dropped kerb.



fig. 8 - Front boundary wall, cracked and varying in height.



fig. 9 - Front boundary wall and hedge to No.3 Chester Road

1.3

Front External Area

The front garden area of No.1 Chester Road is also largely blocked from direct sunlight, resulting in a cold and damp external space which is difficult to maintain. There is a driveway for one parking space, accessed via a crossover from Dartmouth Park Hill.

A brick wall with piers topped by double apex capping stones marks the boundary to the public footpath. The existing wall has been rebuilt in the past using a stretcher bond and a multi- red brick mix which detracts from the brickwork of the original house. The low wall to the entrance path has also been rebuilt in stages, displaying further variations in brick and capping detail.

Although the boundary walls along the Chester Road terrace have been altered over time to vary in brick, bond, piers etc, the pattern in form - of low wall between tall brick piers - remains. In contrast, the existing wall to No.1 Chester Road rises to meet the height of the brick piers, stepping up as the topography rises. The height of the wall makes it appear dominant, particularly in this corner setting, and it is not in keeping with the rest of the street.

At its current height, the wall reduces the importance of the piers as the markers of openings and divisions between properties and the wall ends abruptly at the driveway opening - undefined by piers. The stepped level of the header course also appears unconsidered.

No.1 Chester Road forms a pair with No.3, for which the front wall (pictured bottom left) is approximately 700mm high and is accompanied by a hedge. It is proposed to strengthen the relationship between No.1 and No.3 by continuing the same treatment of the front boundary wall.

Between the two southern-most capped piers, an old gateway has been bricked up with a different type of brick. It is proposed to re-establish this gateway.

Overall, the appearance of the existing boundary wall lacks uniformity and is in a poor state of repair with many cracks and bricks that have fallen out - indicating that the existing brickwork is failing and needs to be addressed.

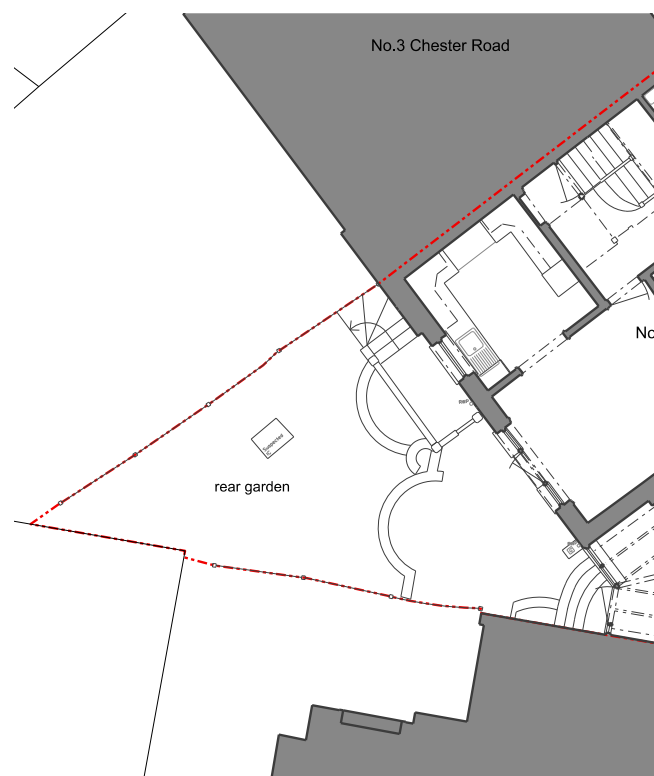


fig. 10 - Existing ground floor plan showing rear garden and boundary

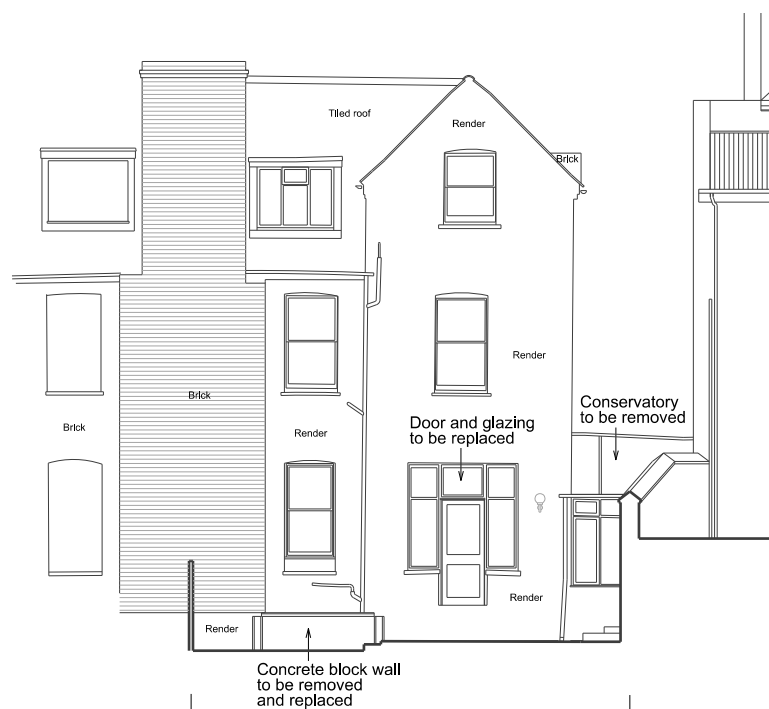


fig. 11 - Existing Rear Elevation



fig. 13 - Relationship between No1. Chester Rd and Bramshill Mansions, to the rear



fig. 12 - Low wall to be rebuilt, damaged render and paint finish to be restored and door to be replaced.



fig. 14 - Conservatory and boundary to Nos. 7-8 Bramshill Mansions.

1.4

The Rear

There is a comfortably sized rear garden to the back of the house, facing south-west. It is surrounded by houses with gardens, therefore the back of the house is largely seen from private residential spaces. There is a gap beside No.1 Bramshill Gardens to the rear, from which it is possible to see the back of No.1 Chester Road, however, this vantage point is 60m from the location of the proposal and is partially obscured by trees in back gardens.

No.83 Bramshill Mansions is set behind the houses to Chester Road and Dartmouth Park Hill. The location of the proposal is 25m away from the nearest part of this house and therefore does not pose any overlooking impact.

The rear elevation of the house is finished with painted render which needs restoring as it is heavily stained and cracked in places. The chimney breast, which straddles the party wall line with No.3, has a red brick finish in Flemish bond. The existing windows to the rear have white painted timber-frames and all are sash windows, except the dormer window, which is metal. The dormer window has two casements and a small top-hung opening over a fixed pane. The rear door and surrounding windows to the existing living room are metal within a timber frame. The timber frame is starting to deteriorate and the style of the doors does not suit the age and style of the house.

As discussed, the conservatory is usually in shade and is therefore inefficient as a sun space. Its timber window and door frames have become worn and weathered over time and as a whole, the conservatory does not contribute to the front or the back elevations of No.1 Chester Road.

A brick boundary wall, which rises up towards the rear elevation of Nos. 7-8 Bramshill Mansions, separates No.1 Chester Road to its neighbour, The rest of the garden is bounded by timber fence panels.

As existing, a number of the windows to Nos.7-8 Bramshill Mansions look directly out over the garden of No.1 Chester Road, so there is little privacy between the properties. Although No.1's garden can be seen from No.3 Chester Road, the windows of this house are angled towards its own garden and therefore present less of an overlooking issue. It will not be possible to see the proposal from the rear windows of No.3 Chester Road.

There is a large step down from both existing back doors, which makes the garden hard to access for those with reduced mobility. The ground falls to the south-west, therefore, there are also a number of steps spread out across the garden to cater for the slope.

As existing, a low wall of decorative concrete blocks surrounds a sunken, retained area from which the basement storage can be accessed. It is proposed to rebuild the concrete wall in a material which suits the age and style of the house, and to repair the render which has cracked to the retaining wall below.

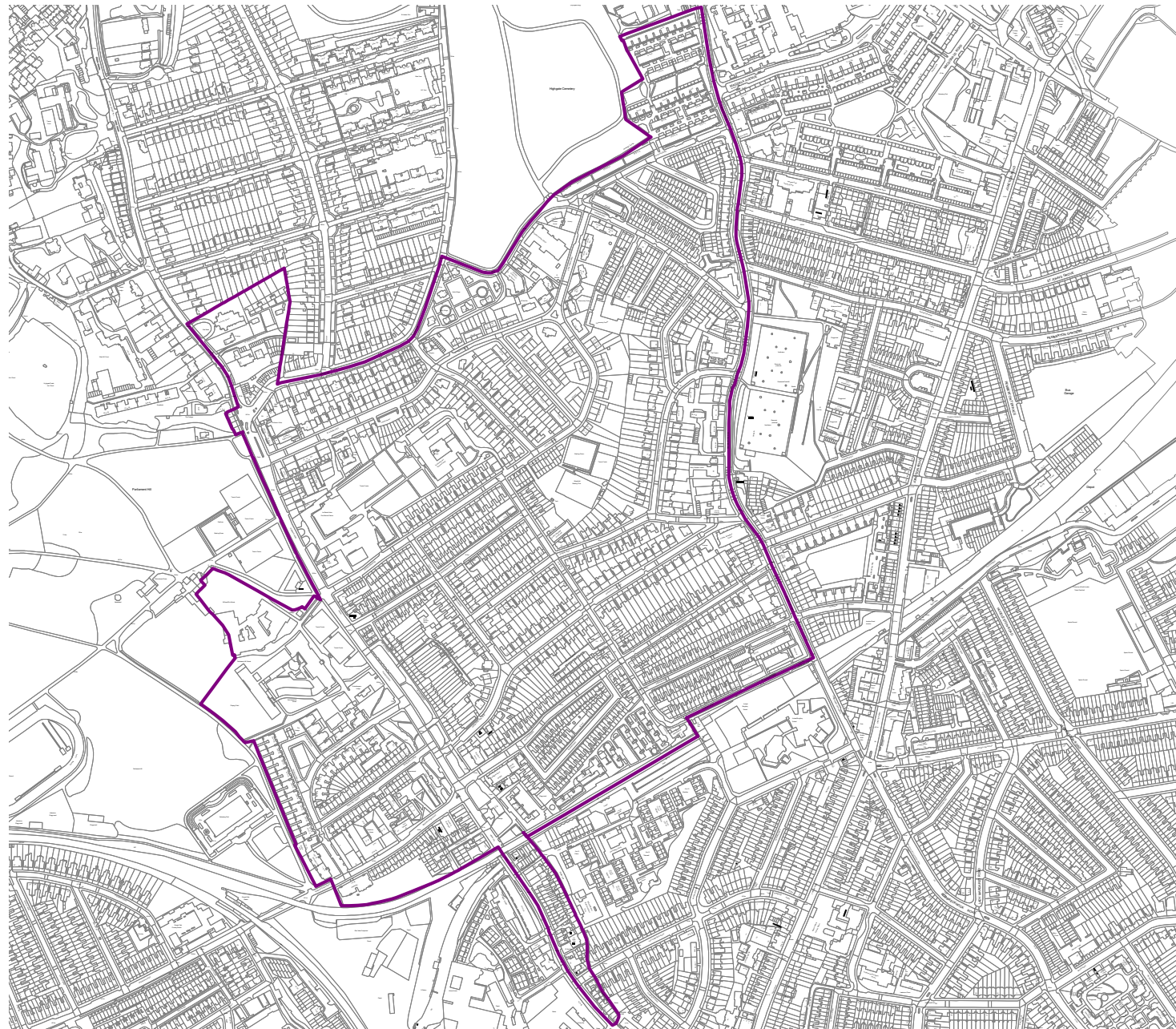


fig. 15 - Dartmouth Park Conservation Area



fig. 16 - Dartmouth Park Hill and Chester Road

2.1

Dartmouth Park Conservation Area

No.1 Chester Road is located on the boundary of the Dartmouth Park Conservation Area, within the Dartmouth East sub-area, designated in 1992. Dartmouth Park Hill forms the eastern boundary to the conservation area and the wider borough.

The area was once part of the old parish of St Pancras and was first developed in the 17th Century. It remained relatively rural in character - separated from Kentish Town by fields - until the arrival of the railways motivated its development in the 19th Century. Most of the houses in the area were built between 1840 and 1890 and were developed by various building companies, leading to variations in size and style. Despite this, cohesion is retained through the use of materials and architectural details. 'Variety' describes the character of the area.

Dartmouth East

Dartmouth Park Hill - previously 'Maiden Lane' was developed from the 1860s onwards. The Conservation Area appraisal describes the sub-area as 'more informal in feeling' when compared to Dartmouth West, due to the variety of buildings present there.

E.H Blunt developed the northern end of Bramshill Gardens, Bramshill Mansions (neighbouring the application site) and the site itself, as part of the terrace comprising nos. 1-31 Chester Road. No.1 Chester Road was built between 1887-1891. Each of Blunt's designs incorporate red brick elevations, gables with terracotta eaves and decorations, bay windows of varying design and decorative front doors.

Nos. 1-3 Chester Road form a pair with gabled bays at either side framing the centrally placed entrance doors. The gabled bays comprise a bay window at ground floor, with a pair of sash windows at first floor. The latter have circular brick arches with central keystones and form an emphatic focus to the bay. Nos. 5-7 form a second pair, with two-storey, square bay windows; their sash windows separated by brick piers. As the terrace slopes downhill, nos. 9-31 form a terrace, interrupted by Bramshill Gardens, the bays on these houses are two-storey and angled. A single window to the second floor, centrally positioned on the gable is characteristic of the E.H. Blunt houses.

Much of Chester Road beyond this terrace formed part of Highgate New Town, the area including Bertram and Winscombe Street that was developed to house railway labourers in the 1870s.

The nearest listed building to the site is St. Mary Brookfield Church, further to the south along Dartmouth Park Hill. The church was designed by William Butterfield and was completed in 1870, providing a free place of worship to the nearby community. Public vantage points to St. Mary Brookfield Church would not be impacted by a proposal to this site as it is a considerable distance away and the road curves to obstruct the church from view.

No. 1 Chester Road and Bramshill Mansions, along with the majority of buildings in the conservation area, are considered to be 'positive buildings' within the Conservation Area. One could argue that the conservatory, that currently sits between the two, detracts from the E.H Blunt terraces.



fig. 17 - Aerial view of site and surrounding area

2.2

Planning Policy for Residential Extensions

Camden's CPG 1 outlines that good design should:

‘...positively enhance the character, history, archaeology and nature of existing buildings on the site and other buildings immediately adjacent and in the surrounding area, and any strategic or local views. This is particularly important in conservation areas...’

In relation to extensions, CPG 1 guidance states that:

- Extensions should be subordinate to the original building in terms of scale and situation;
- be secondary to the building being extended, in terms of location, form, scale, proportions, dimensions and detailing;
- respect and preserve the original design and proportions of the building, including its architectural period and style;
- respect and preserve existing architectural features, such as projecting bays, decorative balconies or chimney stacks;
- respect and preserve the historic pattern and established townscape of the surrounding area, including the ratio of built to unbuilt space;
- not cause a loss of amenity to adjacent properties with regard to sunlight, daylight, outlook, overshadowing, light pollution/spillage, privacy/overlooking, and sense of enclosure;
- allow for the retention of a reasonable sized garden; and retain the open character of existing natural landscaping and garden amenity, including that of neighbouring properties, proportionate to that of the surrounding area.



fig. 18 - Flank wall to Bramshill Mansions



fig. 19 - View between dwellings



fig. 20 - OS map, 1893-1895

2.3

Local Planning Guidance for Similar Sites

The OS map to the left confirms that the space between Bramshill Mansions and No1. Chester Road has always formed the curtilage of the latter.

In relation to gaps, CPG 1 guidance states that:

The infilling of gaps will not be considered acceptable where:

- significant views or gaps are compromised or blocked;
- the established front building line is compromised;
- the architectural symmetry or integrity of a composition is impaired;
- the original architectural features on a side wall are obscured; or
- access to the rear of a property is lost.

The points above have been considered in relation to this proposal. No.1 Chester Road is not located in the vicinity of Camden's designated views. As existing, views through this gap to the rear gardens are largely obstructed by the angled elevations of the original houses. The topography of this corner also limits views, with the gardens situated at a lower level from the pavement. Therefore it is not anticipated that an extension in this location would compromise or block significant views.

As existing, the corner between these two terraces does not provide the relief that other gaps, between houses on the same axis, are able to. The angles of the two houses on either side of the conservatory result in the exposure of dominating side elevations that tower over the junction of Dartmouth Park Hill and Chester Road. The dominance of these secondary elevations reduces the architectural effect of the primary elevations and creates an uncomfortable break to the gently sloping street elevation. It is considered that a proposal in this location would help to balance the composition of this junction, rather than impair it.

The side walls of No.1 Chester Road and Bramshill Mansions are secondary elevations without architectural features of note. They are characterised by large expanses of red brick and rainwater goods that detract from the architectural integrity of the houses. As existing, the expanse of brick and downpipes to the side of Bramshill Mansions is the first thing one sees as they walk towards the south, along Dartmouth Park Hill; or as they turn into the road from the north-west. Similarly, the approach to Chester Road is book-ended by the side elevation of No.1 Chester Road and its conservatory. This proposal aims to improve the relationship between the two side elevations whilst reducing their visual dominance on the approach to both roads.

Access to the rear garden of No.1 Chester Road is currently possible via the existing conservatory, however, this structure offers a reduced level of security for the property and, as both routes involve passing through doorways, the existing access via the conservatory does not offer any particular advantage over that which is granted via the house. A higher level of security to the property would be achieved through the current proposed design whilst access to the rear garden, via the extension and the house, would be retained.



fig. 21 - Residential development, Chester Road



fig. 22 - Contemporary dwelling, Dartmouth Park Conservation Area



fig. 23 - Contemporary alteration, Dartmouth Park Conservation Area



fig. 24 - Contemporary extension, Primrose Hill Conservation Area



fig. 25 - New infill dwelling, Parliament Hill, Woollacott Gilmartin Architects



2.4

Local Precedent

Dartmouth Park Conservation Area celebrates its variety of buildings. Its Appraisal and Management Plan highlights the authority's approach to the design of additions within the area, stating that:

'Successful modern design can be of the 21st Century and enhance the conservation area, by carefully assessing and responding to the form and qualities of surrounding buildings and spaces... Development proposals will be expected to preserve or enhance the character or appearance of the Dartmouth Park Conservation Area.' (Camden Council)

There are a number of examples visible from public vantage points, where contemporary design compliments the character of the conservation area. Some of these examples can be seen on this page. These instances enhance the visual quality and variety of the street elevations whilst respecting the heritage of the older houses.

On the other side of Hampstead Heath, A new dwelling (2011/3680/C) designed by Woollacott Gilmartin Architects, has been completed on a corner plot within the South Hill Park Conservation Area of Camden. Previously the site was occupied by a two storey dwelling, set back from the street and significantly smaller in scale in comparison to its neighbours and the rest of the street. This interrupted the rhythm of the streetscape and the continuity of the area's urban grain. The intention and success of its replacement is in its ability to marry the two housing styles and forms on either side of the site, whilst protecting light levels to each. The new house references traditional details and materials, with a modern approach.

Elsewhere in Camden, in the Primrose Hill Conservation Area, A two storey side infill extension has been completed which references the form and fenestration of the host house, finished in standing seam metal cladding - a contemporary finish to a traditional form.

In a similar manner to the design at no. 15a Parliament Hill, the proposed extension to No.1 Chester Road aims to achieve a continuity in form and rhythm with the traditional architecture of Chester Road, whilst employing the materiality and detailing that respects the Dartmouth Park Hill Conservation Area.

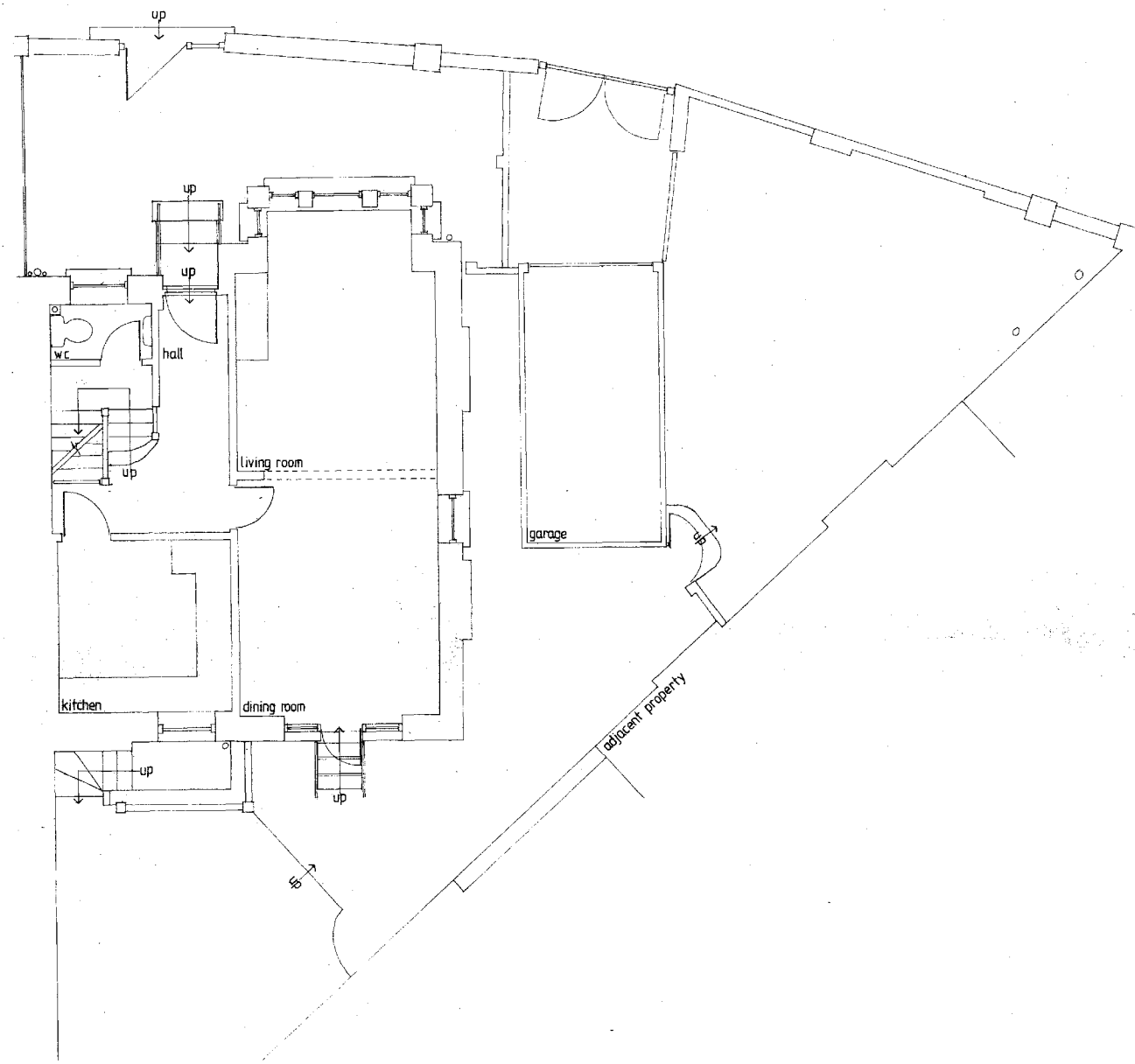


fig. 26 - Plan of No.1 Chester Road, 1980s

2.5

Planning History

A single, detached garage occupied this site until it was replaced by the existing conservatory in the early 1990s, prior to the area's designation. Landscaping works were also carried out at this time.

The planning register documents four applications associated with No.1 Chester Road, each of which have been made in relation to works to trees in a conservation area. These are as follows:

2004/5553/T Proposal to fell 1 x Lime, 1 x Bay, G1 and G2. This application was part approved and part refused, with the felling of the Lime being refused.

2007/12912/T Proposal to reduce 1 x TPO Lime by 30%. This application was approved.

2010/11358/T Proposal to remove 1 x TPO Lime, submitted by no.7 Bramshill Mansions. This application was approved.

2010/1359/T Proposal to remove 1 x Elder and 1 x Lime, submitted by no.7 Bramshill Mansions. This raised no objections.

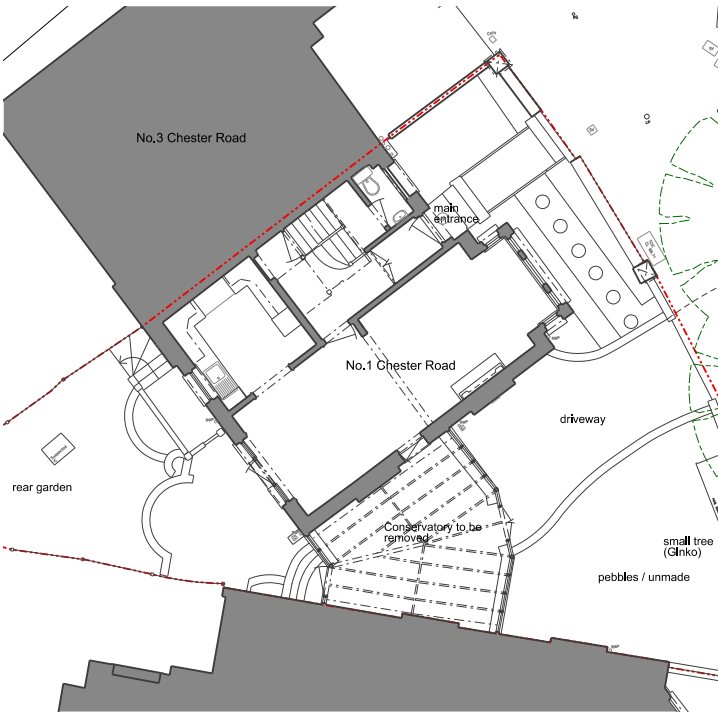


fig. 27 - Existing ground floor plan



fig. 28 - Steep step to the rear living room door



fig. 29 - Steps to the front door



fig. 30 - Relationship between front external area and the road.



fig. 31 - Steps to the conservatory door

3.1 The Objectives of the Scheme.

A primary aspect of the brief has been to create additional space for current and future owners of the house. The existing house has four bedrooms - 3 x doubles and 1 x single, resulting in a 7 person dwelling. There is currently 29.4 sqm of living area, plus a kitchen of 9 sqm. Although houses with this capacity for accommodation are often under-occupied, the owner has a large extended family, who often come to stay, and the amount of living space available has proven to be insufficient for the quantity of people that the property is supposed to support. This has become most important as members of the owner's family have had to relocate back to the family home due to the Covid-19 Pandemic. Beyond its current ownership, this shows that it would be beneficial to provide additional living space to the existing house in order to enhance its ability to provide a home for a large family.

Access to the house and the garden has also been raised as a key issue. The owner's family need the house to be adaptable due to a deterioration in mobility. As existing, the front entrance is raised above street level by 1.1m, requiring a flight of steps to reach the front door. There is one step from the driveway to the conservatory floor level and a further 240mm step between the conservatory and the existing living room. Once on the entrance level, there is no separate room which could be converted into an accessible bedroom. As mentioned, access to the rear garden involves several sets of steps - the step from the living room door being particularly high at 675mm above external ground floor level. In summary, the existing house is not suitable for long-term inhabitancy or for those with reduced mobility. Improvements in this regard will allow the house to continue to support a large family over a lifetime and, beyond its current ownership - are necessary to sustain the usefulness of the building in today's social context.

Further to the above, the awkward triangle of garden space to the front of the building, and the conservatory, do not currently fulfil the site's potential. It is not desirable to use this space as a private garden as it is largely shaded and completely open to the public. It is in a prominent location by a pedestrian crossing and immediately beside road traffic. The No 4 and C11 bus routes also run directly past and overlook this external area.

The existing conservatory is not suitable as a sun-space and is making the existing house far less thermally efficient. A timber frame, glazed door separates the conservatory from the ground floor of the house, allowing heat to escape dramatically through this glazed, uninsulated space. Instead, this area could provide much needed accessible accommodation and further habitable space for the family, using materials that will reduce the heat loss of the existing building and will improve the outward appearance of this prominent plot, set within the conservation area.

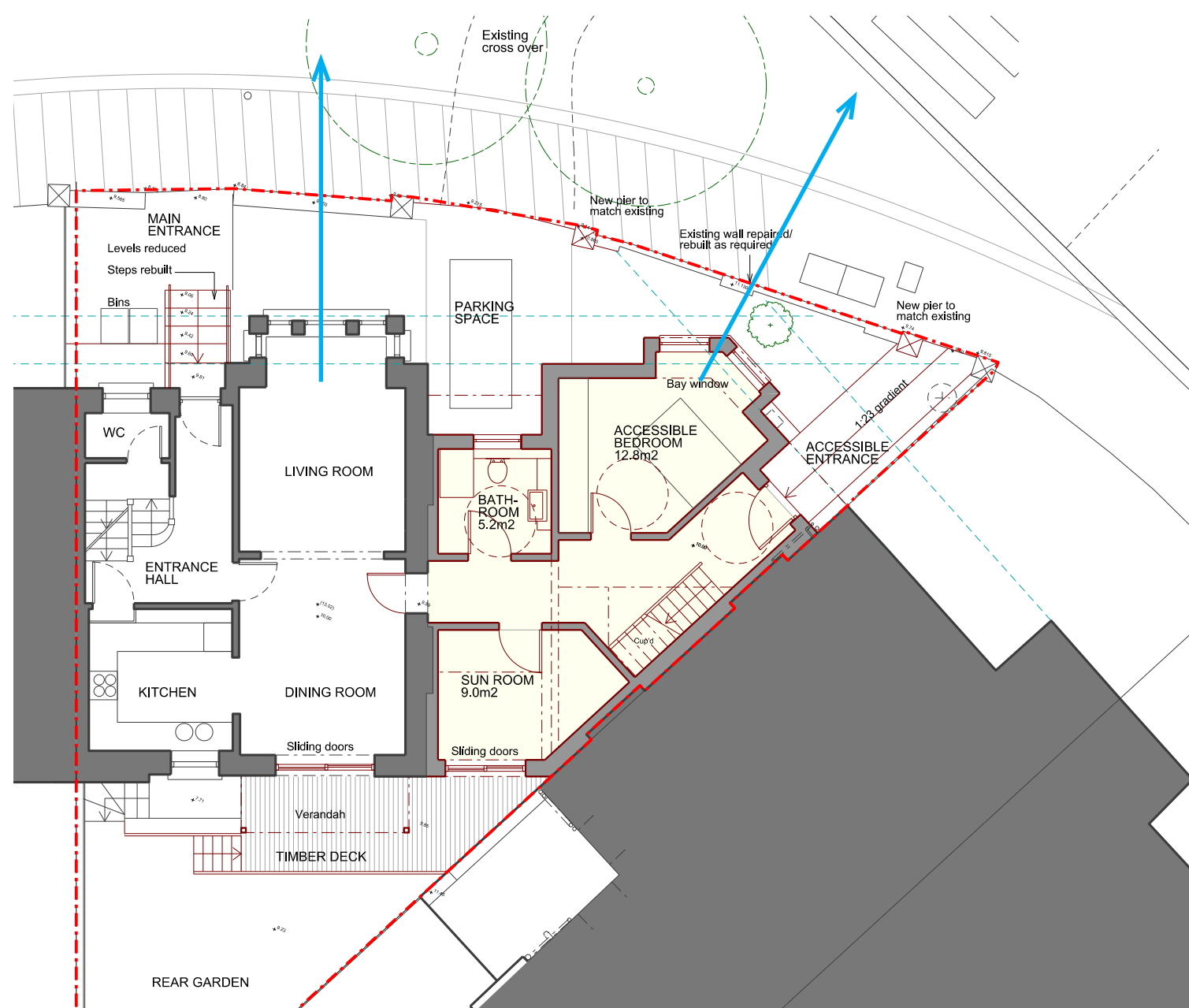


fig. 32 - Proposed ground floor plan, submitted for pre-application advice, total GIA of extension 75sqm. Now superseded.

3.2

Pre-application Advice (2020/1790/PRE)

Pre-application advice on an earlier iteration of this scheme was sought in May 2020. The design of the previous proposal was defined by the established building lines set by the footprints of Nos. 7-8 Bramshill Mansions and No.1 Chester Road. These axes meet to form an obtuse angle, resulting in a proposed front elevation which is cranked around a corner. This element of the design was established at pre-application stage and remains a feature of the current proposal.

The main portion of the extension was designed to line through with the front elevations of the houses to either side - this was recessed at ground floor level to the corner of No.1 Chester Road - allowing for the car parking space - but met the front elevation of Bramshill Mansions at ground and first floor.

A projecting bay was proposed to the front corner of the extension at ground floor. This was intended to visually address both Chester Road and Dartmouth Park Hill equally and was therefore designed to turn the corner with the rest of the proposed elevation. The proposed bay stood proud of the established front building line but did not project as far as those of the original houses.

At pre-application stage, a sloping slate roof was proposed to follow the extensions cranked footprint. The eaves were designed to meet the eaves of No.1 Chester Road and a light well enclosed within a red brick chimney form was designed to rise from the hip between the two roof planes.

The use of red brick and white painted timber sash windows was established at the pre-application stage, however, further design development of the brick detailing and fenestration has been carried out as part of the current proposal.

The pre-application process concluded in the following assessment:

'...4. Design and Heritage

4.1 Camden Local Plan Policy D1 (Design) seeks to secure high quality design in development which respects local context and character. Policy D2 (Heritage) states that the Council will preserve and enhance Camden's heritage assets and their settings, including conservation areas. The Council will not permit development that results in harm that is less than substantial to the significance of the heritage asset unless the public benefits of the proposal significantly outweigh that harm.

4.2. Policy DC3 of the Dartmouth Park Neighbourhood Plan states that proposals should respect established plot widths in the streets, particularly where they establish a rhythm to the architecture in a street. The policy goes on to state that extensions or modifications to existing buildings should be subordinate to the existing development and in keeping with its setting, including the relationship to any adjoining properties. Proposal should use good quality materials that complement the existing palette of materials used within the immediate area.

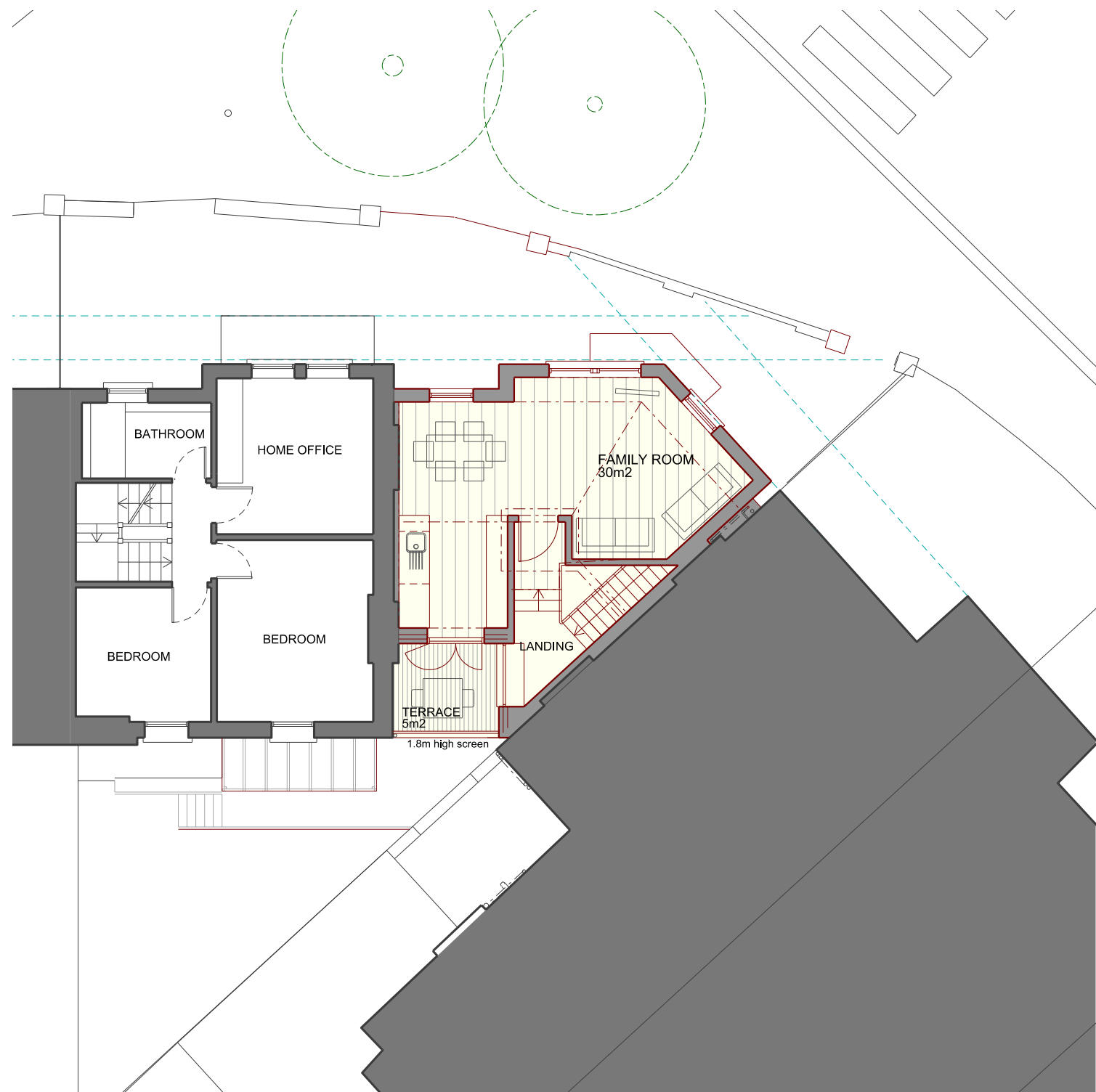


fig. 33 - Proposed first floor plan, submitted for pre-application advice. Now superseded.

4.3. Historically the space now occupied by the conservatory was a gap maybe intentionally created to give the architectural grander Bramshill Mansions to the south presence in the streetscape. The gable elevations either side of the gap feature decorative brickwork.

4.4. The existing side conservatory at 1 Chester Road is a structure of its time which fails to enhance the setting of the buildings to which it is attached. Therefore the demolition of the conservatory and its replacement with an extension of high quality architectural design is acceptable in principle.

4.5. It is considered that the plot can accommodate a two storey extension as this responds to established building lines on the terrace. The eaves level and roof pitch would match that of the host building which would ensure the extension reads as a coherent extension to the main building.

4.6. It is acknowledged that massing attempts to reference the projecting bays within the streets scene through providing a set-back element and projecting bay. However the massing is over-dominant in the streetscape with the front building line projecting too far forward. The replacement structure should appear clearly subservient to the host building and neighbouring building. It should appear as a contained structure which neatly turns the corner, contributing positively to the streetscape. The structure needs to be clearly associated with 1 Chester Road. The building line attached to 8 Dartmouth Park Hill should be set back around 1m to align with the brick detail/drainpipe on this gable end.

4.7. The architectural style may either be contemporary or replicate that of the host building. The proposed façade including the apertures and architectural details should take cues from the surrounding context. The window openings as proposed do not respond to the streetscene and are not considered high quality. The material palette of red brick and slate is considered appropriate.

4.8. The privacy screen at first floor would detract from the rear elevation and add visual clutter. The Council would encourage the height of the rebuilt boundary wall to be a lower than the existing. Planting could be used for additional screening.

5. Amenity issues

5.1. Policy A1 (Managing the impact of development) states that the Council will seek to ensure that the amenity of neighbours is protected. The factors we will consider include: visual privacy, outlook; sunlight and daylight and overshadowing. Camden Planning Guidance on Amenity provides more detailed guidance on how the Council will consider amenity impact.

5.2. The proposed rear building line would not cause an adverse amenity impact on 1 Chester Road. The extension would not create new outlooks that would cause a loss of privacy to neighbouring occupiers.'

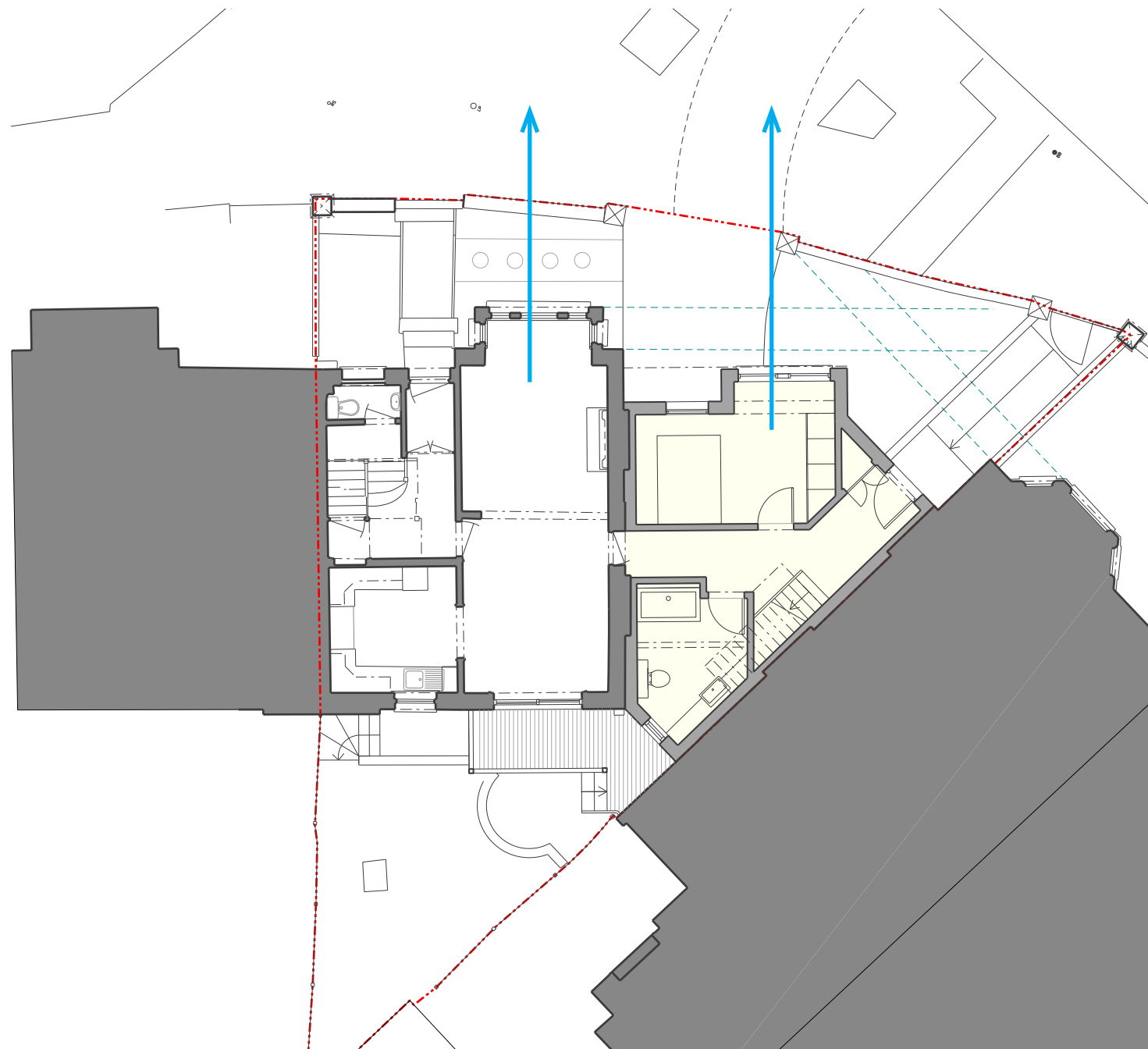


fig. 34 - Proposed ground floor plan, Pre-application GIA reduced by 7sqm.

4.1

Proposal

In summary, the proposal is to replace the existing conservatory with a two storey extension.

Following pre-application advice, the front building line of the current proposal has been pulled back by 440mm from the front of No.1 Chester Road and; 1.73m from the front of Nos. 7-8 Bramshill Mansions. The proposed 'bay' no longer projects further forward. The effect of a ground floor bay has instead been created by recessing the ground floor where it meets No.1 Chester Road and by setting back the Dartmouth Park Hill elevation, as the corner is turned. The massing of the proposal has been revised to be more clearly identifiable as an extension to No.1 Chester Road, whilst retaining a relationship with both streets through the angled elevation, the position of windows and doors; and the roof line.

Following pre-application advice, a thorough analysis of the existing facade and fenestration has been undertaken. A strong understanding of the original building has informed the proportions and detailing of the current proposal, allowing it to make a positive contribution to No.1 Chester Road.

Further assessment and design development associated with the front boundary wall has also followed the pre-application submission. Proposals for the boundary wall are described in the Landscape part of this document.

4.2

Accommodation

An accessible bedroom and shower room are proposed within the ground floor of the extension. This will allow for continued occupation of the dwelling, for the current owner and those in the future.

As discussed, the existing house has four bedrooms - 3 x doubles and 1 x single, resulting in a 7 person dwelling. There is currently 29.4 sqm of living area, plus a kitchen of 9 sqm. This has proven to be insufficient for the quantity of people that the property is able to support. Beyond its current ownership, this shows that it would be beneficial to provide additional living space to the existing house in order to enhance its ability to provide a home for a large family.

Please see the Schedule of Areas, included in Appendix 1, for the existing and proposed floor areas.

Although the guidance outlined in The London Plan relates to new housing - it is nonetheless important to recognise modern space standards to ensure that older housing remains comfortable, and to work towards these aspirations as far as possible.

The Supplementary Planning Guidance for Housing under The London Plan, 2016 states that:

'2.3.23 In addition to adopting the nationally described standards the Plan states that when designing homes with more than eight persons/bedspaces, developers should allow approximately 10 sq m per extra bedspace/person.

2.3.25 The space standards are minima and should be exceeded where possible...'



fig. 35 - Sketch model, view looking towards proposal to No.1 Chester Road from Dartmouth Park Hill.



fig. 36 - Sketch model, view looking towards proposal to No.1 Chester Road from Chester Road.

4.3

Scale and Massing

The scale and massing of the proposal has been determined by its context. No.1 Chester Road is a three-storey house. The main portion of the house is presented as two storeys, with inhabitable space in the roof space. Over this portion, the pitched roof slopes towards the street and appears altogether more subordinate to the dominant, three-storey gable projection. An additional single-storey bay window is attached to the primary internal spaces at ground floor.

Nos. 7-8 Bramshill Mansions is also a three-storey building, which similarly presents a two-storey portion with a sloping roof and a dominant, three-storey gable. The additional bay is two-storey in this instance, greatly increasing the mass of Bramshill Mansions on the street frontage. The increased gradient of the ground as the corner is turned into Dartmouth Park Hill, and its significantly raised entrance level gives Bramshill Mansions more gravitas; appearing much larger than No.1 Chester Road.

The principle of replacing the existing conservatory with a two storey extension has been established at the pre-application stage. Feedback stated that ‘... It is considered that the plot can accommodate a two storey extension as this responds to established building lines on the terrace...’. There is a rhythm established by roof slopes, punctuated by gables, that can be seen along both Chester Road and Bramshill Mansions, however, this rhythm is currently interrupted by the large gap and the small conservatory, present between the end gables. The intention of this proposal is to continue this rhythm by introducing a two-storey link between Chester Road and Bramshill Mansions that will neatly turn around the corner, addressing both streetscapes and the junction.

Following Camden’s CPG 1 guidelines, the new extension must appear ‘subordinate’ and ‘secondary’ to the original building in ‘...location, form, scale, proportions, dimensions and detailing.’ To achieve this, the proposed roof of the extension has been designed to adopt the sloping roof form of the subordinate portion of No.1 Chester Road. Pre-application feedback on the previous iteration of this proposal stated that ‘...The eaves level and roof pitch would match that of the host building which would ensure the extension reads as a coherent extension to the main building...’ Based on this feedback, we have developed the design in order to further clarify the hierarchy of original house to extension. The eaves of the extension are now proposed to be 200mm lower than those of the subservient part of No.1 Chester Road. Instead, the eaves continue the line of the brick course detail. This will allow the extension to maintain a clear relationship with the host building whilst being evidently subordinate.

The ridge of the extension is proposed to meet the height of the chimneys to No.1 Chester Road, further enhancing its position as a secondary element to the original house.

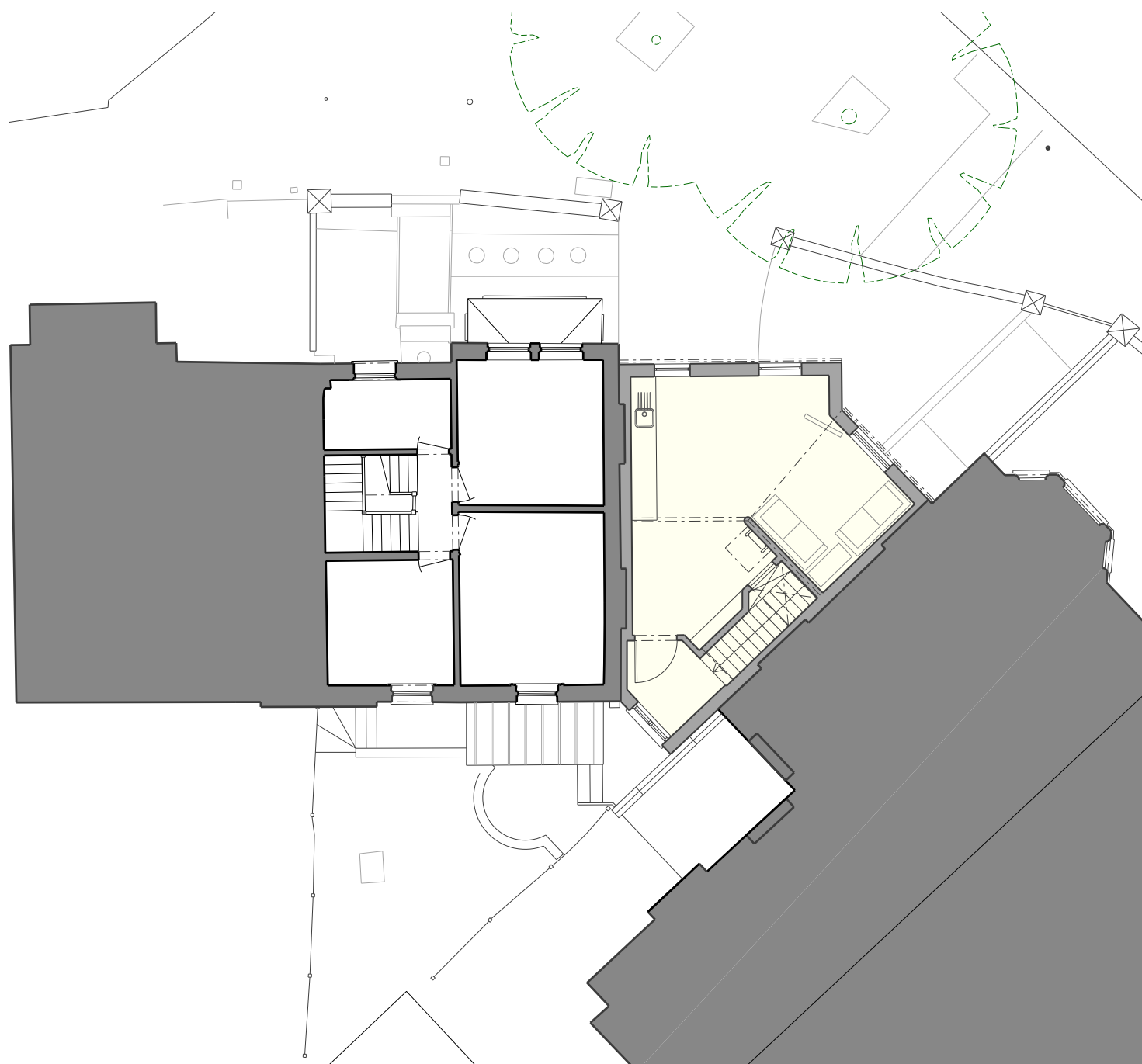


fig. 37 - Proposed first floor plan

Plan

In plan, the previous iteration of this proposal, submitted for pre-application advice, was designed to adopt the established building lines set by the front elevations and projecting bay windows of No.1 Chester Road and Nos.7-8 Bramshill Mansions. This resulted in a cranked and faceted front elevation which was employed to create continuity between the two streetscapes, by explicitly referencing both angles and projections. Pre-application advice relating to this design decision was that ‘...the massing is over-dominant in the streetscape with the front building line projecting too far forward. The replacement structure should appear clearly subservient to the host building and neighbouring building. It should appear as a contained structure which neatly turns the corner, contributing positively to the streetscape... The building line attached to 8 Dartmouth Park Hill should be set back around 1m to align with the brick detail/drainpipe on this gable end...’ Further feedback was issued to AAB architects by email, advising that the front elevations of the extension should be pulled back, in line with the existing chimneys to either side.

Following this feedback, the proposal has been revised. The established angles of the cranked front elevation have been retained but the mass of the proposal has been considerably pulled back. The front of the extension is now proposed to fall in line with the frontal set of chimneys to No.1 Chester Road and Nos.7-8 Bramshill Mansions. This has resulted in an extension which is clearly subordinate to the original house and its neighbour.

Ground Floor Bay

At pre-application stage the proposed bay window at ground floor level, was cranked to address both elevations equally and to project in front of the main proposed massing. The advice received stated that the proposal ‘...needs to be clearly associated with 1 Chester Road...’ and that the bay was contributing to the over-dominant effect of the proposal. Following this advice, the ground floor bay window proposed to the extension has been re-designed to face the same direction as the original bay. The intention is to maintain a connection with both streetscapes by using the established angles to create the main footprint of the extension, however the primary components of the proposed extension (ie. the bay and other fenestration) are designed to carry a stronger relationship with No.1 Chester Road.

Instead of projecting from the front elevation, the proposed ‘bay’ has been created by recessing the elevation to either side at ground floor. To the Dartmouth Park Hill side, the flank of the new bay continues up to the second floor level. This creates a brief interruption to the corner in order to subtly indicate the beginning of Chester Road.

Roof

The roof of the proposal is designed to slope towards the street, in continuation of the streetscape pattern. To the rear, it is proposed to provide a loft storage space with a flat roof. This is completely hidden to the front elevation by the roof’s ridge line. The storage space is also set back from the rear elevation of No.1 Chester Road by 1440mm and 1500mm from Nos.7-8 Bramshill Mansions; as a result, it will not have any overbearing impact on the rear massing of the proposal.



B



C



A



D



E

fig. 38 - Existing fenestration and architectural details.

4.4

Architectural Details

Pre-application advice stated that ‘...The proposed façade including the apertures and architectural details should take cues from the surrounding context...’ Following pre-application advice, a thorough analysis of the existing facade and fenestration has been undertaken. Subsequently, a strong understanding of the original building has informed the proportions and detailing of the current proposal.

A. Bay window

The bay window is the largest and most prominent feature of the existing fenestration. Its position indicates the location of the primary internal space, providing light to the main reception room of No.1 Chester Road as well as views to and from the street.

The bay includes a tall, narrow sash window to each side and three windows to the front; a wider central sash window between two narrow sashes. The top sash of each of these windows is divided by glazing bars (into four or six lights) whilst the bottom sashes are presented as a single pane of glass. The wider sash window is measured at 875mm x 2250mm; the narrower sash windows are 400mm x 2250mm.

The use of painted timber between these three windows creates the impression of one large window, framed by brick piers and the tiled roof of the bay. Two courses of brick corbelling define the bay’s eaves. The brick corbel detail subtly tapers the top of the bay’s window - directing the eye towards the two windows above. The width of the bay window and its frame create a visually sturdy base to the gable’s fenestration, which tapers towards the centre as it rises to the ridge.

B. Pair of arched windows with keystones and third floor casement

Rising up the gable’s elevation, the hierarchy of the fenestration is demonstrated by a reduction to two sash windows over the bay’s three. The pair serve a primary second floor space - originally a double bedroom, now a home office - and are therefore the second-most important windows on the front elevation. The pair of arched window openings are both 1010mm x 1900mm. They are emphasised by half-circle brick arches and central keystones, painted white. The two keystones sit directly below the outer edges of the third floor window, visually emphasising the hierarchical pyramid. The half-circle brick arches terminate on a corbelled brick course detail to each side and between the two windows. The string course here creates the effect of columns that support the arches, particularly to the centre, where the windows are separated by one brick.

The third floor window has a simple brick arch header and is a two leaf casement, arranged as 12 smaller panes, divided by window bars. The third floor window serves a space which would have originally been secondary to those below, and this is represented by the proportions of the window.

C. Sash window with window bars

The other window to the second floor of No.1 Chester Road is located within the subordinate portion of the house. It serves a secondary, bathroom space and is therefore reduced in size. In-keeping with the two arched windows and the bay, the top sash of this window is divided into six lights and the bottom sash is presented as one pane. The brick arch of this window displays two rows of brick ends.

D. Front door and WC window

The front door to No.1 Chester Road has a solid lower panel and a glazed upper panel - divided into nine obscured glass panes. A three-pane, stained glass fanlight sits above the door beneath a brick arch. The fanlight is relatively tall and vertically emphasises the entrance door.

The window to the WC is much shorter than all of the other windows. It is divided into six stained glass panes. The brick arches over the front door and the WC window are more pronounced than that of the sash window above, which visually pairs them together.



fig. 39 - Existing Front Elevation



fig. 40 - Proposed Front Elevation

E. Brick string courses

The overall brick front elevation of No.1 Chester Road is broken up by a series of brick string courses which project from the main face. There are five to note on the front elevation, as well as a corbelled brick detail to the gable's eaves.

The first course has been discussed in relation to the bay window as it runs around the top of the bay's brick piers. It is made up of two courses which each project approx. 25mm further than the course below. A short stretch of this course detail continues on the main elevation of the gable, but only on the right side. It does not continue around the corner to return towards the front door (please see image 5 on the previous page).

The second string course detail runs across the gable, returns on its right flank and continues along the recessed elevation of the house. This course sets a datum for the second floor's windowsills and the highest point of the bay's tiled roof; it terminates at the edge of the front elevation and does not return on the south side elevation.

The third string course has been discussed in reference to the two arched windows which interrupt it. Here the projecting brickwork creates the impression of columns around the windows. Its position on the gable also highlights a differentiation between the dominant gable form and the main eaves line of the house - the fourth string course detail - which is approximately 200mm higher.

The fifth string course creates the datum for the third floor windowsill. It sits between two brick piers beneath the gable's eaves that are decorated with square terracotta motifs. This string course, together with the third also helps to frame the half-circle brick arches.

The brick corbel detail to the gable's eaves does return around the side elevation, allowing the eaves to project over the brick walls.

Proposed fenestration and brick courses

The door to the extension is an accessible entrance which is to be evidently secondary to the front door by proportionally scaling it down. It has been designed with a fanlight that takes the same arched header as the front door, yet is shorter and therefore less visually prominent than the main entrance.

The windows of the extension interact with the hierarchy of the existing fenestration yet also reinvent the pattern on the new elevation. At ground floor, a bay window is proposed which continues the existing pattern seen on the Chester Road gables. Two sash windows are proposed to the ground floor bay to indicate that it is secondary to the original, which has three. Above, a single arched dormer window breaks up the line of the eaves in the same way that the pair over the original bay break up the brick course. The proposed window beneath a half-circle arch is designed to match the original pair in height and width. The arch is proposed to be finished in zinc, clearly defining it as a contemporary interpretation of the original.

The proposed window to the left (facing Dartmouth Park Hill) is designed to match the existing first floor bathroom window.

The proposed window to the right of the arched dormer window is designed to be less dominant on the elevation. To create this window, the proportions of the original sash windows have been adopted and scaled down. Due to its smaller size, its top panel is instead divided into three panes.



fig. 41 - Chester Road, material palette



fig. 42 - Slate tiles and reclaimed red brick

4.5

Materials

The Pre-application feedback clarified that ‘... The architectural style may either be contemporary or replicate that of the host building. The proposed façade including the apertures and architectural details should take cues from the surrounding context...The material palette of red brick and slate is considered appropriate.’

Reclaimed red brick laid in Flemish bond to match the existing is proposed to the extension as it is vital to the character of the E.H Blunt terraces. The characteristic brick courses of No.1 Chester Road will also be employed to divide portions of the front brick elevation, enhancing the relationship between the host building and the extension.

The brick arches over the windows are proposed to match the existing whilst the half-circle arch to the dormer window will be finished in zinc.

The roof slope is proposed to be finished in slate. Although No.1 Chester Road - and another house along its terrace - have been re-roofed with concrete tiles in the past, the proposal would reference the original and more natural roof finish of this terrace, with slate.

White-painted timber frame, double glazed, sash windows and door are proposed, in-keeping with the local conservation area. Window bars to match No.1 Chester Road are also proposed to further enhance the relationship between the specific host building and the extension.

To the rear, it is proposed to restore and re-paint the render finish to the existing house. The rear elevation of the proposed extension will be of reclaimed red brick laid in Flemish bond, mirroring the finish of the existing chimney on the opposite party wall line. Zinc cladding and a metal window is proposed to the loft storage space, located to the rear aspect of the roof. The proposed ground and first floor windows to the shower room and landing are to be double-glazed, white-painted timber frame casement windows.

New double-glazed aluminium sliding doors, within a timber frame which incorporates a fixed timber window above, are proposed to replace the existing metal door and windows to the rear of the existing living room. The style of the new doors will improve the appearance of the existing rear elevation.

At ground floor, another secondary window is designed to match that of the existing ground floor WC.

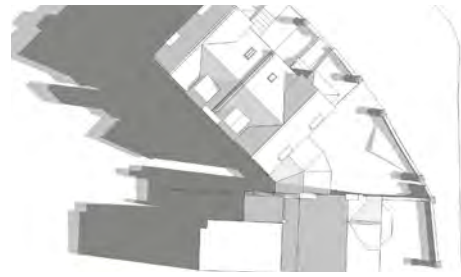
At first floor, all of the windowsills are proposed to sit at the same height as the originals.

It is proposed to divide the front elevation of the extension into two portions, using a brick course detail to match the existing. This will run over the top of the ground floor bay window as well as over the recess. This detail is at the same height as the corbelled course to the original bay window’s eaves and will enhance the relationship between the original and the new bay.

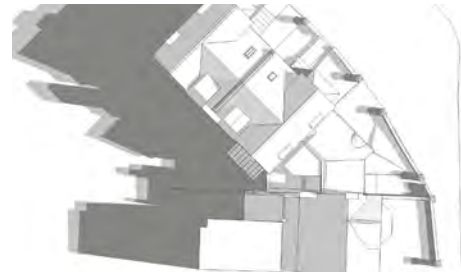
A second brick course detail is proposed to the eaves of the extension, continuing the line of the existing.

Existing

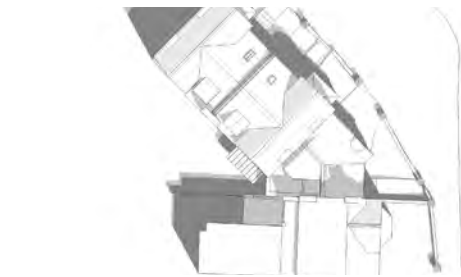
Proposed



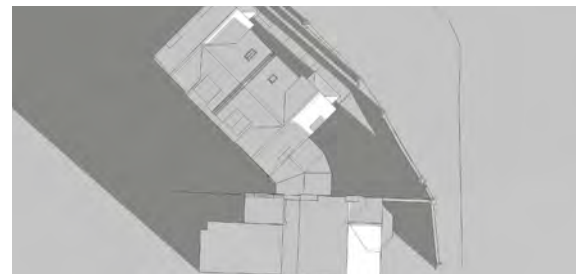
Summer 9am



Summer 12pm



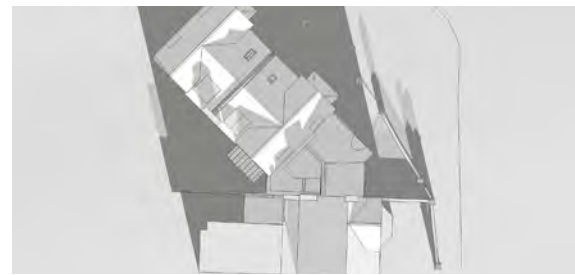
Summer 4pm



Winter 9am



Winter 12pm



Winter 4pm



4.6

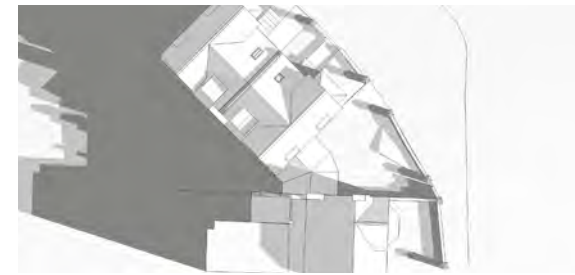
Daylight

This sunlight study shows that the existing site is largely in shade for much of the year. Morning sunlight reaches the fronts of No.1 Chester Road and Bramshill Mansions, although the period of morning sun on Chester Road is relatively brief - disappearing behind Bramshill Mansions from 10am. The existing conservatory is almost completely in shade, at midday, in all seasons and is therefore very cold and inefficient.

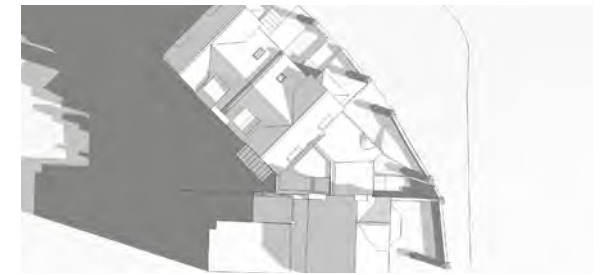
The study demonstrates that the proposed mass of the extension would not impact light levels to neighbouring properties, at any point in the year. The extension is proposed north of the neighbouring property and will therefore not cause any loss of light to Nos. 7-8 Bramshill Mansions.

Existing

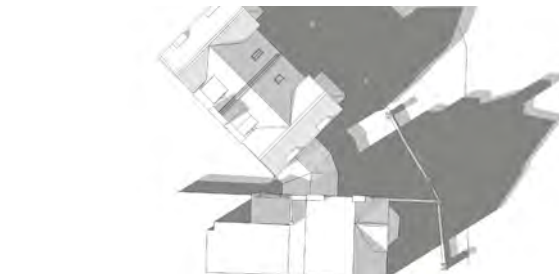
Proposed



Spring / Autumn 9am



Spring / Autumn 12pm



Spring / Autumn 4pm



fig. 43 - Sunlight study, Existing and Proposed

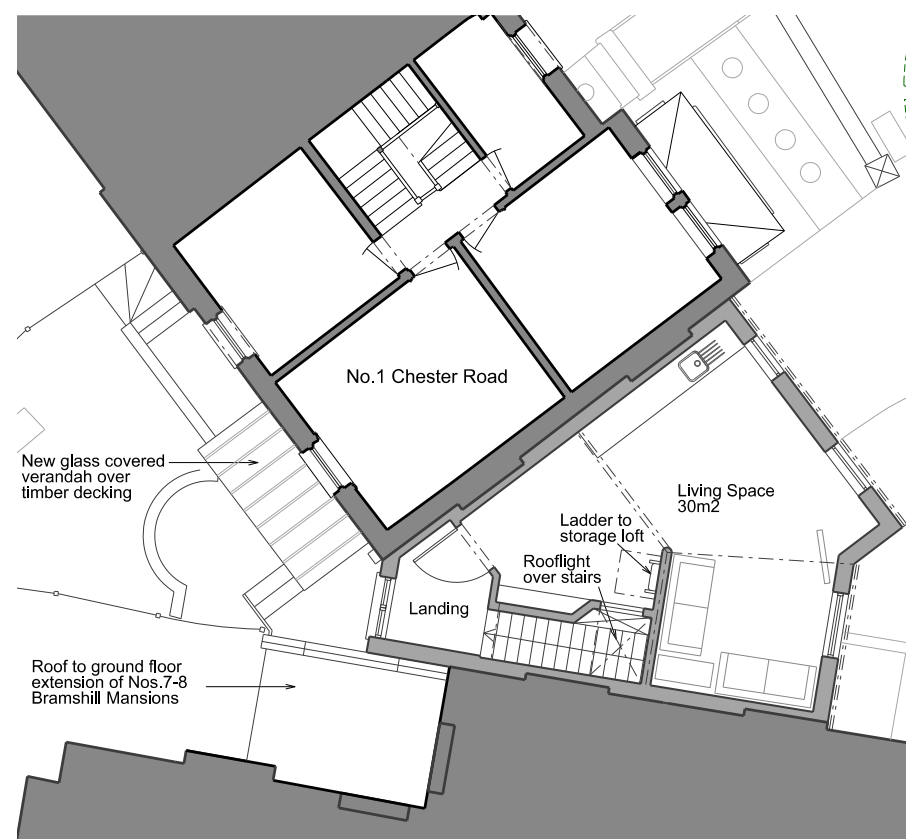


fig. 44 - Proposed first floor plan



fig. 45 - Proposed rear elevation

4.7

Privacy

All of the windows to the front elevation have an outlook over the public street and therefore do not have any impact on privacy.

There are three windows proposed to the rear. At ground floor, the window serves the shower room and will therefore have obscured glazing. At first floor, the window is proposed to the landing and is angled to look out over the garden of No.1 Chester Road. This window serves a secondary, circulation space and does not over look the windows of Nos. 7-8 Bramshill Mansions. Above the first floor living space, a loft space is proposed for storage. The loft space is recessed by approximately 1.5m from the main mass of the proposal and its window serves a secondary storage space, therefore it would not impact on the privacy of Nos. 7-8 Bramshill Mansions.

The rear elevation of the extension is proposed to follow the angle of the boundary with Nos.7-8 Bramshill Mansions and to return to meet the southern-most corner of No.1 Chester Road. As discussed overleaf, the extension is proposed to the north of Nos. 7-8 Bramshill Mansions and will therefore not cause loss of light. The design of the rear extension will, however, improve the level of privacy between the two houses by reducing the visual link between windows and over the garden.

5.1 Access

The proposal provides side access to the house which is more secure than the existing.

The existing access to the house includes steps whilst the proposed extension has been designed with Building Regulations Document M in mind. The extension is proposed to provide step-free access to the house, via a ramp. The extension provides internal spaces with enhanced accessibility; including an accessible bedroom and shower room on the entrance level. The driveway has been retained to accommodate one car, as existing.

5.2 Landscaping and Boundary Treatment

It is proposed to rebuild the boundary wall and brick piers to the front of No.1 Chester Road, in order to improve its visual quality and therefore the site’s impact on the conservation area. A black-painted metal gate is proposed to grant access to the ramped entrance. Considered planting to the front garden will help to soften the appearance of the corner and will be sensitive to the character of the conservation area. Inspiration for the proposed boundary wall has been taken from the front wall to No.3 Chester Road. These two houses form a pair and continuing the language of the boundary will greatly strengthen the relationship between the two.

To the rear garden, A timber decking sheltered by a glass covered verandah is proposed. This will be accessed via a proposed set of glazed sliding doors, which lead from the living room of the existing house.

The existing series of steps down to the garden level are proposed to be simplified into one set, which lead from the decking. The proposed decking will rise to the same level as the existing living room floor. This will vastly improve access and use of the rear garden.

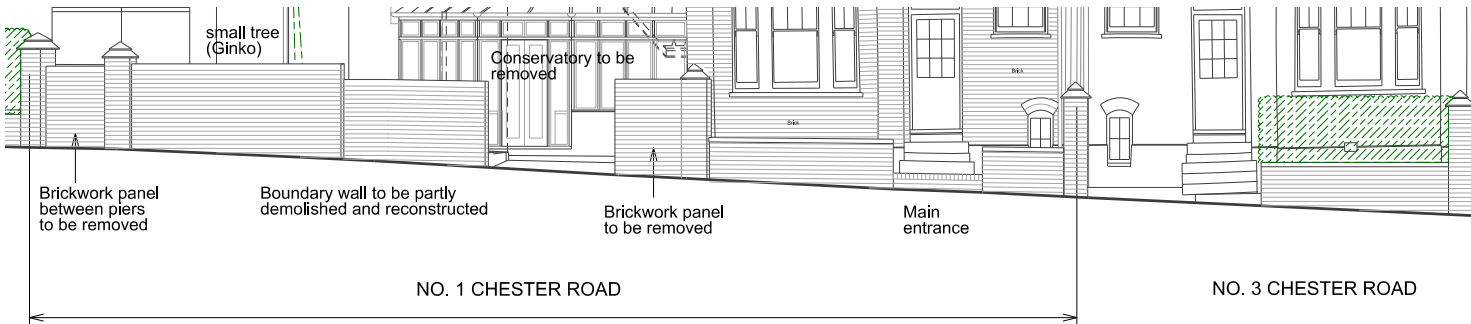


fig. 46 - Existing boundary wall in elevation



fig. 47 - Proposed boundary wall in elevation

Department for Communities and Local Government, (2015) Technical housing standards – nationally described space standard, Available at: [<https://www.gov.uk/government/publications/technical-housing-standards-nationally-described-space-standard>]

Mayor of London, (2016) Housing Supplementary Planning Guidance: London Plan Available at: [<https://www.london.gov.uk/what-we-do/planning/implementing-london-plan/planning-guidance/housing-supplementary>]

Camden Council, (2020) Pre-application Advice Letter 2020/1790/PRE

Space	Existing Area (m2)	Proposed additional (m2)	Total following proposal
Living / Dining / Habitable	29.4	+30	59.4
Kitchen	9	-	9
Home office	12.7	-	12.7
Bed 1	14.8	-	14.8
Bed 2	9.3	-	9.3
Bed 3	13	-	13
Bed 4	15.2	-	15.2
Accessible Bed 5	-	14	14
WC	1.6	-	1.6
Bathroom 1	5.1	-	5.1
Bathroom 2	6.3	-	6.3
Accessible Shower room	-	7.6	7.6
Private External	43.5	-	43.5
Total GIA	132	+68	200

Schedule of Areas